

REVISED AGENDA

WORCESTER COUNTY COMMISSIONERS

Worcester County Government Center, Room 1101, One West Market Street, Snow Hill, Maryland 21863

February 16, 2016

Item #

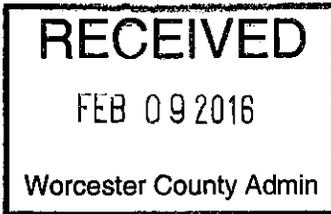
- 9:00 AM - Meet in Commissioners' Conference Room - Room 1103 Government Center, One West Market Street, Snow Hill, Maryland - Vote to Meet In Closed Session
- 9:01 - Closed Session: Discussion regarding hiring a Welcome Center Greeter for Tourism, three (3) Correctional Officer Trainees at the Jail, one additional Assistant State's Attorney, a Deputy Director of Economic Development; a request to reclassify a position to create a Natural Resources Planner II position in Environmental Programs; receiving legal advice from Counsel; and performing administrative functions
- 10:00 - Call to Order, Prayer, Pledge of Allegiance
- 10:01 - Report on Closed Session; Review and Approval of Minutes
- 10:10 - Chief Administrative Officer: Administrative Matters 1-19
(Housing Rehabilitation Bid Package, Worcester County Volunteer Services Division Branding - Logo; Appointments to County Boards and Commissions; Position on State Legislation - Worcester County - Alcoholic Beverages - Class A Beer, Wine and Liquor License; Tidal Wetlands License for Pipe Under Turville Creek; Award of Bids for: Health Department Entrance Doors - Snow Hill, Blacktop Surfacing County Roads, Chip Seal Surfacing County Roads, Slurry Seal Surfacing County Roads, Design of Ocean Pines WWTP Operations Center; Approval of Bid Specifications for Upgrading Pump Stations A and F in Ocean Pines; Out of State Travel for SCADA Radio Training; Report on October 2015 Household Hazardous Waste and Electronics Recycling (HHW&E-Cycle) Day; Scheduling HHW&E-Cycle Day for April 2016; Surplus Vehicles and Equipment to be Auctioned on GovDeals.com; Use of County Roads for Cycling Event; Gypsy Moth Aerial Suppression Program 2016; Utilization of New Mystic Harbour Sanitary Capacity; Scheduling of Public Hearing on Rezoning Map Amendment Case No. 398 - on property located on the south side of St. Martins Neck Road and West Side of Salt Grass Point Road from E-1 Estate to A-2 Agricultural District; and potentially other administrative matters)
- 10:20 -
- 10:30 -
- 10:40 -
- 10:50 -
- 11:00 - Legislative Session: Introduction of Legislative Bills:
- Zoning - Commercial Marine Yards in the CA Commercial Airport District 20
- Public Safety - Townhouse Fire Sprinkler Systems 21
- 11:10 - Chief Administrative Officer: Administrative Matters 1-19, continued
- 11:20 -
- 11:30 -
- 11:40 -
- 11:50 -
- 12:00 - Questions from the Press
- Lunch
- 1:30 PM - Chief Administrative Officer: Administrative Matters (If Necessary) 1-19, continued
- 1:40 -
- 1:50 -
- 2:00 -

AGENDAS ARE SUBJECT TO CHANGE UNTIL THE TIME OF CONVENING

Hearing Assistance Units Available - see Kelly Shannahan, Asst. CAO.

Please be thoughtful and considerate of others.

Turn off your cell phones & pagers during the meeting!



1

DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863

TEL: 410.632.1200 / FAX: 410.632.3008
www.co.worcester.md.us/drp/drpindex.htm

PLANNING DIVISION
BUILDING DIVISION
ADMINISTRATIVE DIVISION

DATA RESEARCH DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

Memorandum

To: Worcester County Commissioners
CC: File
From: Jo Ellen Bynum *JEB*
Date: 2/9/2016
Re: Housing Rehabilitation Bid Package

Attached please find a bid package for the housing rehabilitation of a single family home located in the Berlin area. This project is proposed to be funded through the County's current CDBG Housing Rehabilitation grant, MD-15-CD-23. Please review the package and approve to be placed out for bids per the County's procurement requirements.

WORCESTER COUNTY HOUSING REHABILITATION PROGRAM

GENERAL SPECIFICATIONS

These specifications cover general items of information relating to this bid solicitation. Detailed specifications for the homes to be rehabilitated are attached. Bids will be accepted until 1:00 p.m. on Monday, March 7, 2016 at the Worcester County Commissioners Office, Room 1103, One West Market Street, Snow Hill, Maryland 21863 at which time they will be opened and read aloud. General telephone inquiries may be directed to the County's Housing Consultant, Jo Ellen Bynum, at 410-632-1200, ext. 1171 or 410-632-2876. Questions of a technical nature may be directed to the Program Inspector, John Nosworthy, at 443-736-7085. Bids may be mailed or delivered in person. Faxed bids are not acceptable. Bids must be clearly marked "Housing Rehabilitation Bid – March 7, 2016". Each bid must be signed and dated.

Contractor qualifications: Any contractor who has not submitted a Contractor Qualification form to the Program within the past six (6) months must complete and return the enclosed form. Contractors for these projects must be licensed Maryland Home Improvement Contractors as well as possess active liability insurance (\$100,000/\$300,000 for personal injury and \$50,000/\$100,000 for property damage).

Completion of job: Contractors are expected to commence work within thirty (30) days of the issuance of the Notice To Proceed. Work must be completed within sixty (60) days of commencement of job. If anticipated start date and completion schedule is different than outlined above, please write estimated dates on enclosed Bid Form.

Contracting Policy: Attached to this bid is a copy of the Rehabilitation Program Guidelines. Contractors are urged to read this document carefully.

WORCESTER COUNTY IS REQUESTING QUOTATIONS FROM QUALIFIED CONTRACTORS FOR REPAIRS TO:

PROPERTY OF: **Delores Wright**
ADDRESS: **10326 Harrison Road**
Berlin, MD 21811
TELEPHONE: **443-523-0454**

TOTAL QUOTE: _____

CONTRACTOR: _____ DATE: _____
NO QUOTATIONS AFTER: 03/07/16

PART ONE: GENERAL CONDITIONS
PART TWO: SCOPE OF WORK

PART ONE – GENERAL CONDITIONS

- 1) The Contractor shall coordinate all work in progress with the homeowner so as not to severely disrupt living conditions. Inside work which is disruptive, or displaces the use of the kitchen, bathroom, or bedrooms, shall be pursued continuously on normal working days.
- 2) The Contractor shall be responsible for removing and replacing furniture and other articles, to and from other storage areas on premises, as needed to allow work space or to protect such possessions. Provide plastic film protection over all furniture (if not removed), carpets, finished floors, etc. – also install film at doorways as required.
- 3) The Contractor shall remove all excess material, construction debris, and other existing debris and material specified herein, to an approved dumpsite off premises. Work area shall be broom swept at the end of each work day.
- 4) The Contractor shall contact the Program Inspector or Housing Administrator for direction in the event that coordination or clarification problems arise with the homeowner or other contractors.
- 5) The Contractor shall coordinate closely with the homeowner as to which possessions are considered “junk and debris” and which are valuable before hauling anything away.
- 6) The Contractor shall leave all work areas on the premises in a neat and clean condition, and shall instruct the homeowner in the care and use of all installed equipment and appliances. Owner’s manuals and warranty booklets are to be provided to the homeowner for all applicable equipment, appliances, and materials.
- 7) The Contractor shall not undertake or engage in any additional work intended to be billed to the Program as an “extra” or as additional cost to the original contract without a written change order signed by the Program Inspector, Housing Administrator, and homeowner. A written change order as outlined above is also

required for substitutions or additions to the original scope of work not involving additional costs.

- 8) The Contractor shall obtain and pay for all building, plumbing, electrical, well, septic and other permits required for specified work.
- 9) The Contractor shall call for all inspections required by County law as well as inspections to receive draw payments and any special inspections required by the Program Inspector. All work shall conform to code.
- 10) All of the above general conditions shall be adhered to unless otherwise specifically described in the following scope of work.

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10326 Harrison Rd
Berlin, MD 21811
443-523-0454

10/22/15

WORKSCOPE

A. Roof:

1. ADD a second layer. Remove the existing vent flashings and cap shingles, prepare the ridge for a vent.
2. Install no-caulk vent flanges and 30 year architectural shingle, in a color to be selected by the owner. Use a 5 nail specification, no staples are allowed. Do not over-sink the nail heads or low-nail with air gun installations. Cut and fit "starters" course and shorten the "first" course as per manufacturer's installation instructions printed on every bundle of shingles.
3. Install a nail-over ridge vent of 1" + thick plus poly mesh or equal. Provide proper width cut-away at peak air pathway, and remove this sheathing as needed. Extend the vent length for each ridge as per instructions.
4. Install two Broan model 443, or equal, roof top mounted exhaust hoods for the two bathroom exhaust fans. Connect hood to exhaust with semi-rigid metal flex piping.

Price _____

What is your Unit Price per sheet of sheathing installed in place of rot? _____

B. Exterior:

1. Power wash the exterior vinyl siding, shutters, metal fascia's, gutter and downspouts, two sets of concrete steps, the front and back doors, and front and back metal handrails.
2. Re-secure loose fascia metal on Side B.
3. Repair or replace missing Gutter end caps, outlets, elbows, brackets, sealant, and any splash blocks.
4. Furnish and install 2 pairs missing white vinyl shutters, like in kind.

Price _____

C. Exterior Access:

1. Front entrance: Scrape/wire brush the metal handrails, apply spray primer/top coat Rust-o-leum, or equal.
2. Rear entrance: Install a salt-treated guardrail with graspable handrail on missing side. Balusters attach to salt-treated rails secured to 4 x 4 newel posts resting on proper concrete footings, up against the side of the existing preformed concrete steps. As per code.

Price _____

D. Doors:

1. Front Door: Adjust/Rehang the recently installed front door so it meets the jamb evenly and without visible daylight in the gap between. Make even contact with weather stripping. Confirm smooth lock and deadbolt operation.
2. Remove the white painted wood trim beneath the door threshold. Install a piece of salt 2 x 4 in its place, secure with four 4" long exterior screws.

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10/22/15

3. Install an Andersen white aluminum storm/screen door. Select from Series 2000 with a Fixture allowance of \$250. Dual door closers for this windy location.
4. Replace 3 damaged interior doors with like-in-kind materials and finishes.
5. Slightly trim-off 3 other binding interior doors, finish shaved area to match.

Price _____

E. Window:

1. Remove and replace the failing 4 section bow window in the living room with a series of three mullied together Andersen double-hung wood clad units, like in kind. Interior trim and natural finish to match elsewhere. Use the spare vinyl-siding piece located in the crawlspace to cover the exterior wall of the old bay window roof up to the soffit.
2. Apply a pair of white vinyl shutters to match existing elsewhere.

Price _____

F. Plumbing:

1. Replace the rear exterior spigot with a quarter-turn frost free anti-siphon spigot.
2. Add a missing down-tube to the TPR valve on the hot water heater.
3. Add a missing pressure gauge to the Gould's well pump in the crawlspace.
4. Remove and replace 2 cracked bathroom sinks with ceramic drop-in bowls. Replace all faucets, drain assemblies, risers. Shut-off have already been replaced.

Price _____

G. Electrical:

1. Replace and Upgrade smoke detectors to current Worcester requirements.
2. Replace two duplex receptacles that are worn beyond holding plugs. This is the island receptacle and hallway receptacle.
3. Replace defective light fixture above kitchen sink. Select LED fixture.

Price _____

H. Crawlspace/Attic:

1. Remove all foreign debris and replace the vapor barrier in the crawlspace using 6 mil plastic, smooth out and secure edges with bent insulation stays inserted into the soil at perimeter.
2. Remove and replace the flex duct connected to the dryer. Run this in smooth wall galvanized pipe lengths from above the utility floor all the way to the outside vent hood, Suspend to the bottom of the floor joists and run in as straight a line as practical.
3. Wrap all exposed PVC water supply lines in crawl with poly foam pipe insulation.
4. Supplement exposed attic insulation with additional to meet R-38 value.

Price _____

I. Kitchen:

1. Remove and replace the kitchen countertop. Choose a color or pattern from standard laminates using standard edge treatments. Like-in-kind is the intention.

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2. Replace the kitchen sink complete with like-in-kind Stainless Steel double-bowl using new faucet assembly, sprayer, dish washer air gap device, drain baskets, drain line, and risers. New shut-offs are already installed.

Price _____

OP TION: Upcharge for synthetic solid-surface countertop. Price _____

(Loan funding only)

J. Bathroom:

1. Replace ceiling fan/light combination with Broan LED bulb/fan combination in both bathrooms. It is Energy Star Label.
2. Remove the in-wall radiant heater, wire nut and tape off and secure the abandoned electrical wiring. Mark the circuit in the main-panel that it was connected to. Make dry wall repairs, sand, prime the patch, and paint all walls in this bathroom. Re-secure the paper holder.
3. Repair ceiling damaged drywall in #2 bedroom (rear). Replace the drywall tape joint, finish, sand, spot prime with Kil-stain. A satisfactory joint is not visible when completed. Paint the entire ceiling latex flat ceiling-white.
4. See sinks under Plumbing: F-4

K. HVAC:

1. Remove and replace 20 year old condensing unit, air handler, and all parts. Furnish and install Energy Star label heat pump system capable of heating the interior to 78 degrees when exterior temperature is 0 degrees F; sizing to comply with ACCA standards. Minimum SEER rating of 15. To include all vents, vent covers, returns, ducts and concrete pad for exterior condenser, electrical and plumbing connections as per code. Balance system for maximum efficiency. Controls to be a 7 day set-back programmable thermostat. All ductwork shall be sealed with mastic sealant. Ductwork in unconditioned areas shall be insulated. All work related to HVAC installations must comply with mandatory IECC 2015 requirements.

*Attach sheet stating the exact unit that will be provided; include specs on tonnage, SEER rating, efficiency, etc.

Price _____

Project Total _____

I have reviewed the above specifications and hereby accept them as written.

Delores Wright 2-4-16
Owner Date

ATTENTION: THIS BID FORM MUST BE REPRODUCED ON YOUR COMPANY LETTERHEAD AND BE SUBMITTED WITH YOUR BID PACKAGE. ALL PAGES OF WORK SCOPE WITH LINE ITEM PRICING DETAIL MUST BE INCLUDED. ANY MISSING INFO OR WORDING MAY DISQUALIFY YOUR BID. THE BID PACKAGE IS ALSO AVAILABLE ON-LINE AT www.co.worcester.md.us

BID FORM

***must be signed to be valid**

**Property of Delores Wright
10326 Harrison Road
Berlin, MD 21811**

I have reviewed the specifications and provisions for rehabilitation work on the above referenced property and understand said requirements. I hereby propose to perform this work for the total price of:

Total Quote : \$ _____

Date: _____

Signature

Typed Name

Title

Company Name

Address

Phone Number(s)

MHIC License # Expiration Date

**WORCESTER COUNTY HOUSING REHABILITATION PROGRAM
CONTRACTOR QUALIFICATION FORM**

Contractor _____

Address _____

Phone Number _____

Federal I.D. or S.S. # _____

Insurance Company, Agent, & Coverages: _____

List of Company Officers: _____

List of Licenses Currently Held:

_____ MHIC Number _____ Exp. Date

_____ MBR Number _____ Exp. Date

_____ MDE Lead Cert. _____ Exp. Date

_____ EPA Lead Cert. _____ Exp. Date

Trade References (2)

_____ Name _____ Phone

_____ Name _____ Phone

Client References (2)

_____ Name _____ Phone

_____ Name _____ Phone

Is contractor in a State of Bankruptcy? _____ Yes _____ No

Is contractor on HUD's debarred list? _____ Yes _____ No

Is contractor any of the following? (not required to qualify)

- _____ Minority Business Enterprise
- _____ Women's Business Enterprise
- _____ Disadvantaged Business Enterprise
- _____ Section 3 Employer

AIM Services, Inc.
Attn: Steve Coady
2314 Allen Drive
Salisbury, MD 21801

John Catanzaro
J.A. Argetakis Contracting
3723 Eastern Ave.
Baltimore, MD 21224

Allstate Renovation &
New Homes
P.O. Box 303
Trappe, MD 21673

J&G Maintenance & Repair
10446 Dinges Rd.
Berlin, MD 21811

Apex Construction
Attn: Mike Meade
12650 Sunset Ave., Ste 7
Ocean City, MD 21842

Mallard Home Improvements
P.O. Box 28
Quantico, MD 21856

Apostle Construction
716 Naylor Mill Road
Salisbury, MD 21801

Medli Home Improvement
1806 Jersey Rd.
Salisbury, MD 21801

C.A.R.E. Property
Attn: Allen Hepler
12507 Sunset Ave.
Ocean City, MD 21842

The Myers Group
1147 S. Salisbury Blvd.
#8-140
Salisbury, MD 21801

Covenant Contractors
10522 Jones Rd.
Berliu, MD 21811

Carroll Odom
631 Naylopr Mill Rd.
Salisbury, MD 21804

Curtis Mercer Remodeling
9937 Hotel Rd.
Bishopville, MD 21813

Peeples Contracting
76 Climbhouse Drive
Berlin, MD 21811

Custom Line Contracting
10663 Piney Island Dr.
Bishopville, MD 21813

Shoreman Construction
606 E. Pine St.
Delmar, MD 21875

Edge Creek Builders
9525 Shiloh Farms Rd.
Berlin, MD 21811

Three Guys Construction
8660 Lake Somerset Rd.
Westover, MD 21871

Hebreux St. Fleur
P.O. Box 4501
Salisbury, MD 21803

Vernon Esham Homes
P.O. Box 375
Hebbon, MD 21830



MEMORANDUM

Volunteer Services

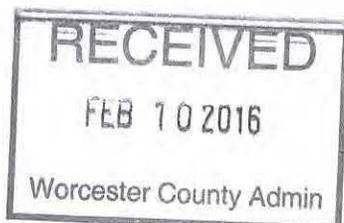
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TO: County Commissioners
FROM: Kelly Brinkley, Volunteer Services Manager *KJB*
DATE: February 10, 2016
SUBJECT: Division Branding

Volunteer Services is updating the brochure used throughout the county. The current brochure has outdated content and contact information. The updated brochure will have current information to direct residents on how they can become involved with local nonprofits in Worcester county.

When researching other volunteer centers in MD, it was noted that they had logos. The logo and name of their centers encouraged volunteerism in their communities. I have an attachment which lists the names of the other volunteer centers in the state. I am requesting to use the brand "Volunteer Connection". This revised name will clearly identify the purpose which is currently being carried out by this division. Volunteer Connection will distinguish itself as the one stop shop for volunteer opportunities in the county. There is a corresponding logo attached. As you can see, there is still county recognition within the logo.

Thank you for your consideration for this request.





Anne Arundel County Volunteer Center

Fay Mauro
Executive Director
2666 Riva Road, Suite 130
Annapolis, MD 21401
410-897-9207 p
410-222-4589 f
info@volunteerannearundel.org
www.volunteerannearundel.org

Business Volunteers Maryland's Volunteer Central

Sarah Long
Civic Engagement Programs
Manager
175 West Ostend Street, Suite 100
Baltimore, MD 21230
410-366-6030 p
410-366-6032 f
information@volunteercentral.net
www.volunteercentral.net

RSVP - Baltimore County Volunteers

611 Central Avenue, Room 314
Towson, MD 21204
410-887-3101 p
410-887-2656 f
volunteers@baltimorecountymd.gov
www.baltimorecountymd.gov/Agencies/volunteers

RSVP – Cecil County Senior Services & Community Transit

Krista Gilmore
Volunteer/Community Resource
Coordinator
200 Chesapeake Boulevard, #2550
Elkton, MD 21921
410-996-8416 p
410-620-9483 f
kgilmore@ccgov.org
www.ccgov.org/dept_aging/volunteerpage.cfm

Chesapeake Helps! Volunteer Center

*Dorchester, Caroline, Kent, Queen
Anne's, Talbot Counties*
Ann Van Benschoten
Coordinator
Chesapeake Helps!
1000 College Circle
Wye Mills, MD 21679
410-822-5400 x2325
avanbenschoten@chesapeake.edu
volunteercenter@chesapeake.edu
www.chesapeake.edu/volunteer

Prince George's County Volunteer Center (CERT)

James Morrow
Volunteer Service Coordinator
14741 Governor Oden Bowie Drive
Upper Marlboro, MD 20772
301-780-8255
jlmorrow@co.pg.md.us

United Way of Frederick County

629 N Market
Frederick, MD 21701
301.663.4231 p
info@unitedwayfrederick.org
www.unitedwayfrederick.org/volunteer

Volunteer Harford

319 South Main Street
Bel Air, MD 21014
410-638-3389 p
410-803-0433 f
www.volunteerharford.org

Volunteer Center Serving Howard County

Pamela Simonson
Director
10221 Wincopin Circle
Columbia, MD 21044
410-715-3179 p
410-715-0845 f
pam@volunteerhoward.org
www.volunteerhoward.org

Montgomery County Volunteer Center

Molly Callaway
Director
12900 Middlebrook Road
Suite 1600
Germantown, MD 20874
240-777-2600 p
240-777-2601 f
molly.callaway@montgomerycountymd.gov
www.montgomeryserves.org

ShoreCAN Volunteer Center Wicomico, Somerset, Worcester Counties

1324 Belmont Avenue, Suite 401
Salisbury, MD 21804
410-742-9911 p
410-742-6638 f
cfes@cfes.org
www.cfes.org/shorecan

Volunteer Southern Maryland

*Calvert, Charles, St. Mary's
Counties*
College of Southern Maryland
8730 Mitchell Road, P.O. Box 910
La Plata, MD 20646-0910
301-934-7642 p
301-934-7680 f
volunteer@csmd.edu
vsmd.csmd.edu

Volunteer Services Worcester County Government

Kelly Brinkley
Government Center, Room 1301
One West Market Street
Snow Hill, MD 21863
410-632-0090 ext. 1403 p
410-632-5614 f
kbrinkley@co.worcester.md.us
www.co.worcester.md.us/volunteerservices.htm

Volunteer Washington County

33 W. Franklin St. Ste. 203
Hagerstown, MD 21740
301-739-8200 p
wwwcliveunited@unitedwaywashcounty.org
volunteer.unitedwaywashcounty.org



WORCESTER COUNTY

Volunteer Connection



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COMMISSIONERS
MADISON J. BUNTING, JR., PRESIDENT
MERRILL W. LOCKFAW, JR., VICE PRESIDENT
ANTHONY W. BERTINO, JR.
JAMES C. CHURCH
THEODORE J. ELDER
JOSEPH M. MITRECIC
DIANA PURNELL

OFFICE OF THE
COUNTY COMMISSIONERS

HAROLD L. HIGGINS, CPA
CHIEF ADMINISTRATIVE OFFICER
MAUREEN F.L. HOWARTH
COUNTY ATTORNEY

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103

SNOW HILL, MARYLAND

21863-1195

February 9, 2016

TO: Worcester County Commissioners
FROM: Kelly Shannahan, Assistant Chief Administrative Officer *kl.*
SUBJECT: Current Board Appointments - Terms Beginning January 1, 2016

Attached, please find copies of the Board Summary sheets for all County Boards or Commissions (9) which have members who have resigned or whose terms have expired and either need to be reappointed or replaced (13 total). They are as follows: Commission on Aging Board (2), Drug & Alcohol Abuse Council (1), Housing Review Board (1), Local Management Board/Initiative to Preserve Families (1), Local Development Council for Ocean Downs Video Lottery Facility (2), Lower Shore Workforce Investment Board (2), Tourism Advisory Committee (1), Water and Sewer Advisory Council - Ocean Pines (1), and Commission for Women (2). I have circled the members whose terms have expired on each of these boards.

Most of these Boards and Commissions specify that current members' terms expired on December 31st. Current members will continue to serve beyond their term until they are either reappointed or a replacement is named. Please consider these reappointments or new appointments at your next meeting so I can notify the board members and staff contacts as soon as possible to restore full appointed membership on each of these boards.

Since your last meeting, I have added vacancies on both the Tourism Advisory Committee (Linda Glorioso) and Commission for Women (Shirley Dale) due to resignations.

I have also been in touch with Jason Cunha regarding one of the vacancies on the Lower Shore Workforce Investment Board (LSWIB) and I am pleased to report that Jason is still interested in serving if one of you would like to nominate him. For the second member, the Lower Shore Workforce Alliance (LSWA) has requested a representative from one of the following industries: Logistics (Sysco), Trades (small independent contractors), Hospitality (hotel, motel, restaurant), Health Care (AGH, Assisted Living, Coastal Hospice), or Manufacturing (wineries, breweries). If you are having difficulty identifying good candidates, we could reach out to the Chambers of Commerce like we did last year. *

If you have any questions or concerns, please don't hesitate to contact me. Thank You!

Pending Board Appointments - By Commissioner

- District 1 - Lockfaw** p. 9 - Local Development Council for Ocean Downs Casino (Ron Taylor) - 4-year
p. 19 - Commission for Women (Laura McDermott - **resigned-replace** - for remainder of term through 2016) - 3-year
- District 2 - Purnell** p. 19 - Commission for Women (Shirley Dale - **resigned-replace** - for remainder of term through 2018) - 3-year
- District 3 - Church** p. 16 - Tourism Advisory Committee (Linda Glorioso - **resigned-replace**) - 4-year
- District 4 - Elder** All District Appointments received. Thank You!
Please consider nominations for At-Large positions listed below - "All Commissioners"
- District 5 - Bertino** All District Appointments received. Thank You!
Please consider nominations for At-Large positions listed below - "All Commissioners"
- District 6 - Bunting** All District Appointments received. Thank You!
Please consider nominations for At-Large positions listed below - "All Commissioners"
- District 7 - Mitrecic** p. 7 - Housing Review Board (Ruth Waters) - 3-year
p. 9 - Local Development Council for Ocean Downs Casino (Todd Ferrante) - 4-year

All Commissioners

- p. 8 - (1) Local Management Board - Initiative to Preserve Families (Mark Frostrom) - 3-year
- p. 10 - (2) Lower Shore Workforce Investment Board (Replace John Ostrander - full term through 2019 - and Craig Davis - remainder of term through 2017 - Business Representatives) - 4-year
- p. 11 - LSWA requests appointment of representatives from the following industries: Logistics (Sysco), Trades (small independent contractors), Hospitality (hotel, motel, restaurant), Health Care (AGH, Assisted Living, Coastal Hospice), or Manufacturing (wineries, breweries).
- P. 14 - Consider appointing **Jason Cunha** - Transamerica Agency Network in Pocomoke - who volunteered to serve last year and is still interested; and/or request volunteers from Chambers of Commerce again
- p. 18 - (1) Water and Sewer Advisory Council - Ocean Pines (Gail Blazer) - 4-year

All Commissioners - (Awaiting Nominations)

- p. 3 - (2) Commission on Aging Board (Replace Gloria Blake - resigned - for remainder of terms through 2016)
- Commission on Aging is searching for two female members from Northern Worcester to replace Gloria Blake (remainder of term through 2016) and new member (for full 3-year term through 2018).
- **Any suggestions or recommendations?**
- p. 5 - (1) Drug and Alcohol Abuse Council (Marty Pusey - Substance Abuse Prevention Provider)
- Awaiting nomination of Marty Pusey's replacement by Health Officer Debbie Goeller

COMMISSION ON AGING BOARD

Reference: By Laws of Worcester County Commission on Aging
- As amended March 2008

Appointed by: Self-Appointing/Confirmed by County Commissioners

Function: Supervisory/Policy Making

Number/Term: Not less than 12; 3 year terms, may be reappointed
Terms Expire September 30

Compensation: None

Meetings: Monthly except July, August, December

Special Provisions: At least 50% of members to be consumers or volunteers of services provided by Commission on Aging, with a representative of minorities and from each of the senior centers; one County Commissioner; and Representatives of Health Department, Social Services and Board of Education as Ex-Officio members

Staff Contact: Worcester County Commission on Aging, Inc. - Snow Hill
Rob Hart, Executive Director (410-632-1277)

Current Members:

<u>Member's Name</u>	<u>Resides/Represents</u>	<u>Years of Term(s)</u>
Gloria Blake	Bishopville	*05-07-10-13, 13-16
Fred Grant	Snow Hill	*15-16
Cynthia Malament	Berlin	07-10-13, 13-16
George "Tad" Pruitt	Snow Hill	05-08-11-14, 14-17
Lloyd Parks	Girdletree	08-11-14, 14-17
Larry Walton	Ocean Pines	*13-14, 14-17
Bonnie C. Caudell	Snow Hill	*09-11-14, 14-17
Clifford Gannett	Pocomoke	*12-14, 14-17
Tommy Tucker	Snow Hill	09-12-15, 15-18
Tommy Mason	Pocomoke	15-18
Rebecca Cathell	Agency - Maryland Job Service	
Dr. Jerry Wilson	Agency - Worcester County Board of Education	
Peter Buesgens	Agency - Worcester County Department of Social Services	
Deborah Goeller	Agency - Worcester County Health Department	
Madison J. Bunting, Jr.	Worcester County Commissioners' Representative	

← Resigned/
Replace
- propose two
women from
north county

* = Appointed to fill an unexpired term

Prior Members:

Since 1972

Virginia Harmon
 Maude Love
 Dr. Donald Harting
 John C. Quillen
 Violet Chesser
 William Briddell
 Harrison Matthews
 John McDowell
 Mildred Brittingham
 Maurice Peacock
 Father S. Connell
 Rev. Dr. T. McKelvey
 Samuel Henry
 Rev. Richard Hughs
 Dorothy Hall
 Charlotte Pilchard
 Edgar Davis
 Margaret Quillen
 Lenore Robbins
 Mary L. Krabill
 Leon Robbins
 Claire Waters
 Thelma Linz
 Oliver Williams
 Michael Delano
 Father Gardiner
 Iva Baker
 Minnie Blank
 Thomas Groton III
 Jere Hilbourne
 Sandy Facinoli
 Leon McClafin
 Mabel Scott
 Wilford Showell
 Rev. T. Wall
 Jeaninne Aydelotte
 Richard Kasabian
 Dr. Fred Bruner
 Edward Phillips
 Dorothy Elliott
 John Sauer
 Margaret Kerbin
 Carolyn Dorman
 Marion Marshall
 Dr. Francis Ruffo
 Dr. Douglas Moore
 Hibernia Carey
 Charlotte Gladding
 Josephine Anderson
 Rev. R. Howe
 Rev. John Zellman
 Jessee Fassett
 Delores Waters
 Dr. Terrance A. Greenwood
 Baine Yates
 Wallace T. Garrett
 William Kuhn (86-93)
 Mary Ellen Elwell (90-93)
 Faye Thornes

Mary Leister (89-95)
 William Talton (89-95)
 Sunder Henry (89-95)
 Josephine Anderson
 Saunders Marshall (90-96)
 Louise Jackson (93-96)
 Carolyn Dorman (93-98)
 Constance Sturgis (95-98)
 Connie Morris (95-99)
 Jerry Wells (93-99)
 Robert Robertson (93-99)
 Margaret Davis (93-99)
 Dr. Robert Jackson (93-99)
 Patricia Dennis (95-00)
 Rev. C. Richard Edmund (96-00)
 Viola Rodgers (99-00)
 Baine Yates (97-00)
 James Shreeve (99-00)
 Tad Pruitt (95-01)
 Rev. Walter Reuschling (01-02)
 Armond Merrill, Sr. (96-03)
 Gene Theroux
 Blake Fohl (98-05)
 Constance Harmon (98-05)
 Catherine Whaley (98-05)
 Wayne Moulder (01-05)
 Barbara Henderson (99-05)
 Gus Payne (99-05)
 James Moeller (01-05)
 Rev Stephen Laffey (03-05)
 Anne Taylor (01-07)
 Jane Carmean (01-07)
 Alex Bell (05-07)
 Inez Somers (03-08)
 Joanne Williams (05-08)
 Ann Horth (05-08)
 Helen Richards (05-08)
 Peter Karras (00-09)
 Vivian Pruitt (06-09)
 Doris Hart (08-11)
 Helen Heneghan (08-10)
 Jack Uram (07-10)
 Robert Hawkins (05-11)
 Dr. Jon Andes
 Lloyd Pullen (11-13)
 John T. Payne (08-15)
 Sylvia Sturgis (07-15)

* = Appointed to fill an unexpired term

DRUG AND ALCOHOL ABUSE COUNCIL

Reference: PGL Health-General, Section 8-1001

Appointed by: County Commissioners

Functions: Advisory
Develop and implement a plan for meeting the needs of the general public and the criminal justice system for alcohol and drug abuse evaluation, prevention and treatment services.

Number/Term: At least 18 - At least 7 At-Large, and 11 ex-officio (also several non-voting members)
At-Large members serve 4-year terms; Terms expire December 31

Compensation: None

Meetings: As Necessary

Special Provisions: Former Alcohol and Other Drugs Task Force was converted to Drug and Alcohol Abuse Council on October 5, 2004.

Staff Contact: David Baker, Council Secretary, Health Department (410-632-1100, ext. 1106)
Doug Dods, Council Chair, Sheriff's Office (410-632-1111)

Current Members:

<u>Name</u>	<u>Representing At-Large Members</u>	<u>Years of Term(s)</u>
Marty Pusey	Substance Abuse Prevention Provider	04-11, 11-15
Kim Moses	Knowledgeable on Substance Abuse Issues	08-12, 12-16
Karen Johnson	Knowledgeable on Substance Abuse Issues	*14-16
Colleen Wareing	Knowledge of Substance Abuse Treatment	*06-09-13, 13-17
Rev. Bill Sterling	Knowledge of Substance Abuse Issues	13-17
Eric Gray (Christina Purcell)	Substance Abuse Treatment Provider	*15-18
Sue Abell-Rodden	Recipient of Addictions Treatment Services	10-14, 14-18
Colonel Doug Dods	Knowledgeable on Substance Abuse Issues	04-10 (advisory), 10-14, 14-18
Jim Freeman, Jr.	Knowledgeable on Substance Abuse Issues	04-11-15, 15-19
Jennifer LaMade	Knowledgeable on Substance Abuse Issues	*12-15, 15-19

*Retired - replace
Debbie Goeller to
propose*

Ex-Officio Members

Debbie Goeller	Health Officer	Ex-Officio, Indefinite
Peter Buesgens (Roberta Baldwin)	Social Services Director	Ex-Officio, Indefinite
Spencer Lee Tracy, Jr.	Juvenile Services, Regional Director	Ex-Officio, Indefinite
Trudy Brown	Parole & Probation, Regional Director	Ex-Officio, Indefinite
Beau Oglesby	State's Attorney	Ex-Officio, Indefinite
Burton Anderson	District Public Defender	Ex-Officio, Indefinite
Sheriff Reggie Mason (Doug Dods)	County Sheriff	Ex-Officio, Indefinite
Bob Rothermel (Aaron Dale)	Board of Education President	Ex-Officio, Indefinite
Diana Purnell	County Commissioners	Ex-Officio, Indefinite
Judge Thomas Groton (Jen Bauman)	Circuit Court Administrative Judge	Ex-Officio, Indefinite
Judge Gerald Purnell (Tracy Simpson)	District Court Administrative Judge	Ex-Officio, Indefinite
Garry Mumford	Warden, Worcester County Jail	Ex-Officio, Indefinite

* Appointed to a partial term for proper staggering

Advisory Members

Sharon Smith	Stephen Decatur H.S. - SADD Advisor	Since 2004
Lt. Earl W. Starner	Maryland State Police	Since 2004
Jennifer Standish	Recreation & Parks Department	
Charles "Buddy" Jenkins	Business Community - Jolly Roger Amusements	
Chief Ross Buzzuro (Lt. Rick Moreck)	Ocean City Police Dept.	
Leslie Brown	Hudson Health Services, Inc.	
(Vacant)	Student Rep - Stephen Decatur HS - appointed by Principal	
(Vacant)	Student Rep - Snow Hill HS - appointed by Principal	
(Vacant)	Student Rep - Pocomoke HS - appointed by Principal	
(Vacant)	Student Rep - Worcester Preparatory - appointed by Principal	

Prior Members:

Vince Gisriel
Michael McDermott
Marion Butler, Jr.
Judge Richard Bloxom
Paula Erdie
Tom Cetola
Gary James (04-08)
Vickie Wrenn
Deborah Winder
Garry Mumford
Judge Theodore Eschenburg
Andrea Hamilton
Fannie Birckhead
Sharon DeMar Reilly
Lisa Gebhardt
Jenna Miller
Dick Stegmaier
Paul Ford
Megan Griffiths
Ed Barber
Eloise Henry-Gordy
Lt. Lee Brumley
Ptl. Noal Waters
Ptl. Vicki Fisher
Chief John Groncki
Chief Arnold Downing
Frank Pappas
Captain William Harden
Linda Busick (06-10)
Sheriff Chuck Martin
Joel Todd
Diane Anderson (07-10)
Joyce Baum (04-10)
James Yost (08-10)
Ira "Buck" Shockley (04-13)
Teresa Fields (08-13)
Frederick Grant (04-13)
Doris Moxley (04-14)
Commissioner Merrill Lockfaw
Kelly Green (08-14)
Sheila Warner - Juvenile Services

Since 2004

Chief Bernadette DiPino - OCPD
Chief Kirk Daugherty -SHPD
Mike Shamburek - Hudson Health
Shirleen Church - BOE
Tracy Tilghman (14-15)

HOUSING REVIEW BOARD

Reference: Public Local Law §BR 3-104

Appointed by: County Commissioners

Function: Regulatory/Advisory
To decide on appeals of code official's actions regarding the Rental Housing Code. Decide on variances to the Rental Housing Code.
Review Housing Assistance Programs.

Number/Term: 7/3 year terms
Terms expire December 31st

Compensation: \$50 per meeting (policy)

Meetings: As Needed

Special Provisions: Immediate removal by Commissioners for failure to attend meetings.

Staff Support: Development Review & Permitting Department
Jo Ellen Bynum, Housing Program Administrator - 410-632-1200, x 1171

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Terms(s)</u>
Ruth Waters	D-7, Gulyas	Berlin	12-15
C. D. Hall	D-1, Lockfaw	Pocomoke	10-13, 13-16
Debbie Hileman	D-6, Bunting	Ocean Pines	10-13, 13-16
John Glorioso	D-3, Church	Ocean Pines	*06-11-14, 14-17
Scott Tingle	D-4, Elder	Snow Hill	14-17
Donna Dillon	D-5, Bertino	Ocean Pines	08-11-14, 14-17
Sharon Teagle	D-2, Purnell	Ocean Pines	00-12-15, 15-18

Prior Members:

Phyllis Mitchell	Albert Bogdon (02-06)
William Lynch	Jamie Rice (03-07)
Art Rutter	Howard Martin (08)
William Buchanan	Marlene Ott (02-08)
Christina Alphonsi	Mark Frostrom, Jr. (01-10)
Elsie Purnell	Joseph McDonald (08-10)
William Freeman	Sherwood Brooks (03-12)
Jack Dill	Otho Mariner (95-13)
Elbert Davis	Becky Flater (13-14)
J. D. Quillin, III (90-96)	
Ted Ward (94-00)	
Larry Duffy (90-00)	
Patricia McMullen (00-02)	
William Merrill (90-01)	
Debbie Rogers (92-02)	
Wardie Jarvis, Jr. (96-03)	

* = Appointed to fill an unexpired term

WORCESTER COUNTY'S INITIATIVE TO PRESERVE FAMILIES BOARD

Previously - Local Management Board; and Children, Youth and Family Services Planning Board

Reference: Commissioners' Resolution No. 09-3, adopted on January 6, 2009

Appointed by: County Commissioners

Functions: Advisory/Policy Implementation/Assessment and Planning
 - Implementation of a local, interagency service delivery system for children, youth and families;
 - Goal of returning children to care and establishment of family preservation within Worcester County;
 - Authority to contract with and employ a service agency to administer the State Service Reform Initiative Program

Compensation: \$50 Per Meeting for Private Sector Members

Number/Term: 9 members/5 Public Sector, 4 Private Sector with 3-year terms
 51% of members must be public sector
 Terms expire December 31st

Meetings: Monthly

Staff Contact: Jessica Sexauer, Acting Director, Local Management Board - (410) 632-3648
 Jennifer LaMade - Local Management Board - (410) 632-3648
 Pete Buesgens, Chair - (410) 677-6807; Eloise Henry-Gordy, Vice-Chair

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides/Representing</u>	<u>Years of Term(s)</u>
Mark Frostrom	At-Large - Lockfaw	Pocomoke City	*99-09, 09-12, 12-15
Ira "Buck" Shockley	At-Large - D. Purnell	Snow Hill	03-09-12, 13-16
Eloise Henry Gordy	At-Large - J. Purnell	Snow Hill	*07-08-11-14, 14-17
Andrea Watkins	At-Large - Bertino	Ocean Pines	*13-14, 14-17
Jennifer LaMade	<i>Ex officio</i>	Core Service Agency	Indefinite
Deborah Goeller	<i>Ex officio</i>	Health Department	Indefinite
Sheila Warner	<i>Ex officio</i>	Juvenile Justice	Indefinite
Dr. Jerry Wilson	<i>Ex officio</i>	Board of Education	Indefinite
Peter Buesgens	<i>Ex officio</i>	Department of Social Services	Indefinite

Prior Members (since 1994):

Tim King (97)	Jeannette Tresler (02-05)	Judy Baumgartner (07-10)
Sandra Oliver (94-97)	Lou Taylor (02-05)	Claudia Nagle (09-10)
Velmar Collins (94-97)	Paula Erdie	Megan O'Donnell (10)
Catherine Barbierrri (95-97)	Rev. Pearl Johnson (05-07)	Kiana Smith (10)
Ruth Geddie (95-98)	Peter Fox (05-07)	Christopher Bunting (10)
Rev. Arthur George (94-99)	Lou Etta McClafflin (04-07)	Simi Chawla (10)
Kathey Danna (94-99)	Bruce Spangler (04-07)	Jerry Redden
Sharon Teagle (97-99)	Sharon DeMar Reilly	Jennifer Standish
Jeanne Lynch (98-00)	Kathy Simon	Anne C. Turner
Jamie Albright (99-01)	Vickie Stoner Wrenn	Marty Pusey
Patricia Selig (97-01)	Robin Travers	Virgil L. Shockley
Rev. Lehman Tomlin (99-02)	Jordan Taylor (09)	Dr. Jon Andes (96-12)
Sharon Doss	Aaron Marshall (09)	Dr. Ethel M. Hines (07-13)
Rick Lambertson	Allen Bunting (09)	
Cyndy B. Howell	LaTrele Crawford (09)	
Sandra Lanier (94-04)	Sheriff Charles T. Martin	
Dr. James Roberts (98-04)	Joel Todd, State's Attorney	
Dawn Townsend (01-04)	Ed Montgomery (05-10)	
Pat Boykin (01-05)	Edward S. Lee (07-10)	
	Toni Keiser (07-10)	

* = Appointed to fill an unexpired term

**LOCAL DEVELOPMENT COUNCIL
FOR THE OCEAN DOWNS CASINO**

Reference: Subsection 9-1A-31(c) - State Government Article, Annotated Code of Maryland

Appointed by: County Commissioners

Function: Advisory
Review and comment on the multi-year plan for the expenditure of the local impact grant funds from video lottery facility proceeds for specified public services and improvements; Advise the County on the impact of the video lottery facility on the communities and the needs and priorities of the communities in the immediate proximity to the facility.

Number/Term: 15/4 year terms; Terms Expire December 31

Compensation: None

Meetings: At least semi-annually

Special Provisions: Membership to include State Delegation (or their designee); one representative of the Ocean Downs Video Lottery Facility, seven residents of communities in immediate proximity to Ocean Downs, and four business or institution representatives located in immediate proximity to Ocean Downs.

Staff Contacts: Kim Moses, Public Information Officer, 410-632-1194
Maureen Howarth, County Attorney, 410-632-1194

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Represents/Resides</u>	<u>Years of Term(s)</u>
Ron Taylor °	Dist. 1 - Lockfaw	Resident - Pocomoke	*09-10, 10-14
Todd Ferrante °	Dist. 7 - Gulyas	Resident - Ocean City	*09-11, 11-15
Mayor Charlie Dorman	Dist. 4 - Shockley	Resident - Snow Hill	12-16
Rod Murray °	Dist. 6 - Bunting	Resident - Ocean Pines	*09-12, 12-16
Mayor Rick Meehan °	At-Large	Business - Ocean City	*09-12, 12-16
Mayor Gee Williams °	Dist. 3 - Church	Resident - Berlin	09-13, 13-17
Jim Rosenberg °	Dist. 5 - Boggs	Resident - Ocean Pines	09-13, 13-17
David Massey °	At-Large	Business - Ocean Pines	09-13, 13-17
Cam Bunting °	At-Large	Business - Berlin	*09-10-14, 14-18
James N. Mathias, Jr. °		Maryland Senator	09-10-14, 14-18
Mary Beth Carozza		Maryland Delegate	14-18
Charles Otto		Maryland Delegate	14-18
Roxane Rounds	Dist. 2 - Purnell	Resident - Berlin	*14-15, 15-19
Mark Wittmyer	At-Large	Business - Ocean Pines	15-19
Joe Cavilla	Ocean Downs Casino	Ocean Downs Casino	12-indefinite

Prior Members: Since 2009

J. Lowell Stoltzfus ° (09-10)
 Mark Wittmyer ° (09-11)
 John Salm ° (09-12)
 Mike Pruitt ° (09-12)
 Norman H. Conway ° (09-14)
 Michael McDermott (10-14)
 Diana Purnell ° (09-14)
 Linda Dearing (11-15)

* = Appointed to fill an unexpired term/initial terms staggered
 ° = Charter Member

LOWER SHORE WORKFORCE INVESTMENT BOARD

(Previously Private Industry Council Board - PIC)

Reference: Workforce Investment Act of 1998, Section 117

Appointed by: County Commissioners

Functions: Advisory/Regulatory
Provide education and job training opportunities to eligible adults, youth and dislocated workers who are residents of Somerset, Wicomico and Worcester counties.

Number/Term: 24 - 5 Worcester County, 7 At-Large (by Tri-County Council), 12 Other 2, 3 or 4-year terms; Terms expire September 30

Compensation: None

Meetings: Quarterly (January, April, July, October) on the 2nd Wednesday

Special Provisions: Board must be at least 51% business membership.
Chair must be a businessperson

Staff Contact: Lower Shore Workforce Alliance
Milton Morris, Workforce Director (410-341-3835, ext 6)
One-Stop Job Market, 31901 Tri-County Way, Suite 215, Salisbury, MD 21804

Current Members (Worcester County - also members from Wicomico, Somerset and Tri-County Council):

<u>Name</u>	<u>Resides/Agency</u>	<u>Term</u>	<u>Representing</u>
John Ostrander	Ocean Pines	07-11, 11-15	Business Rep.
Walter Maizel	Bishopville	*12, 12-16	Private Business Rep.
Craig Davis	Berlin	13-17	Business Rep.
Donna Weaver	Berlin	*08-09-13, 13-17	Business Rep.
Geoffrey Failla	Whaleyville	*15-18	Business Rep.

*Resigned/
Replaced*

Prior Members: Since

Baine Yates	Heidi Kelley (07-08)
Charles Nicholson (98-00)	Bruce Morrison (05-08)
Gene Theroux (97-00)	Margaret Dennis (08-12)
Jackie Gordon (98-00)	Ted Doukas (03-13)
Caren French (97-01)	Diana Nolte (06-14)
Jack Smith (97-01)	
Linda Busick (98-02)	
Edward Lee (97-03)	
Joe Mangini (97-03)	
Linda Wright (99-04)	
Kaye Holloway (95-04)	
Joanne Lusby (00-05)	
William Greenwood (97-06)	
Gabriel Purnell (04-07)	
Walter Kissel (03-07)	

** See attached →*

Request Rep. from

- Health Care
- Hospitality
- Manufacturing
- Trades
- Logistics/Supply

** Jason Cunha is still interested in serving*

Kelly Shannahan

From: Dione Shaw <dshaw@tcclesmd.org>
Sent: Wednesday, January 20, 2016 3:55 PM
To: Kelly Shannahan
Cc: Maria Waller; Walter Maizel
Subject: Lower Shore Workforce Alliance - Workforce Development Board Members
Attachments: WDB Resignations.pdf

Hello Kelly,

It was great talking with you today. Copies of the resignation letters for Craig Davis and John Ostrander are attached.

We currently have two Worcester County vacancies and are seeking individuals from these industries:

Logistics - Sysco
Trades – Small Independent Contractors
Hospitality – Hotel/Motels and Restaurant
Healthcare – AGH, Assistant Living, Coastal Hospice
Manufacturing -- Wineries/Breweries, Dunkin Donuts

*

We look forward to hearing from you in the near future.

Thank you for all you do to help us keep our Workforce Development Board in compliance.

Di

DIONE SHAW
OPERATIONS COORDINATOR
LOWER SHORE WORKFORCE ALLIANCE
31901 TRI-COUNTY WAY
SALISBURY, MARYLAND 21804
PHONE: 410-341-3835
FAX: 410-341-3735
EMAIL: DSHAW@LSWA.ORG
WEB: WWW.LOWERSHORE.ORG

 Please consider the environment before printing this email
LEGAL DISCLAIMER: [ELECTRONICCOMMUNICATIONS](#)

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For more information please visit <http://www.symanteccloud.com>

**Received
10/8/15**

John Ostrander
11009 Manklin Meadows Ln
Ocean Pines, MD21811

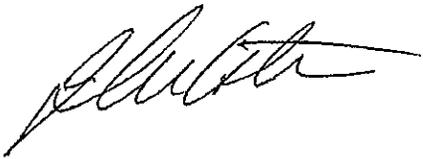
9/9/15

Mr Milton Morris
Workforce Investment Board
One-stop Job Market
31901 Tri-County Way
Salisbury, MD 21804

Dear Milton,

As my term ends, I find that I must resign my position on the Board.

Sincerely,



John Ostrander

Received
3/4/15

TAYLOR'S NEIGHBORHOOD RESTAURANT

11021 Nicholas Lane, Suite 1, Ocean Pines, MD 21811

(410) 208-4260

March 4, 2015

To: Mr. Jim Bunting

Cc: Milton Morris

I am writing this letter to inform you that I must resign from my position on the Lower Shore Workforce Investment Board. Thank you for your understanding with this matter.

Sincerely,

Craig Davis

Craig Davis

Owner

Taylor's Neighborhood Restaurant

443-235-4601 cell

Jason Cunha
Transamerica Agency Network
1532 Ocean Highway Suite 104
Pocomoke, MD 21851
jason.cunha@transamericanetwork.com
(410) 726-9229

Objective:

To utilize the management skills I have developed in the insurance business as well as the newspaper industry. I truly enjoy helping people develop the skills needed to be successful in the business world. Both careers I have been involved in, I have been the primary hiring manager. During this time, I have seen first hand what skills and abilities need development in our local communities. In both positions I have also had the pleasure of working with other business owners and managers. I believe my management experience coupled with my desire to make a difference, would make me an ideal candidate for this board.

Experience:

Transamerica Agency Network, Pocomoke, MD
Managing Director, 2009-present

I manage a staff of 23 full time insurance agents as well as 40 independent agents. My primary function in this position encompasses everything from initial interviewing all the way through the hiring and appointment process. After the completion of state licensing, my team and I train and manage these agents in the art of educational sales. Our office in Pocomoke, has 6.4 Million of annualized premium in force. The office's service area starts in Cape Charles, Va through Salisbury, MD and includes the entire Worcester County area. The office in 2014, ranked 4th in year over year growth out of 137 other Transamerica offices nationwide. This feat was accomplished through the development of our sales force that we make a priority in our office. I am responsible annually for submitting a detailed business plan that includes our vision, mission, core values and business projections/ objectives.

The Daily Times, Salisbury, MD
Director of Circulation/Operations, 1995-2008

I served on the senior operating committee and was involved in all major decisions for our newspaper group. One of my primary functions in this position was to lead and develop key personnel. As the department head, I managed the day to day operation from budgeting and meeting an expense budget of \$1.5 million per year. In addition, I also budgeted and met a revenue budget of \$2.5 million per year. I managed a staff of 28 full-time employees as well as 125 independent contractors. I was responsible for the management of all payroll and accounts payable functions. I also developed an annual operation plan yearly that detailed priorities, new strategies

and outlined obstacles that needed to be corrected. My responsibilities included marketing the newspaper. I successfully developed sales techniques to market our products to increase readership. As the director, I managed the operation and maintained customer satisfaction to over 200,000 customers. I developed cost saving measures that improved our products and ultimately improved the bottom line. I reviewed and adjusted contracts with independent contractors and outside vendors annually.

Monumental Life Insurance, Pocomoke, MD

Insurance Agent, 1992-1995

Primarily provided sales and service to customers in the Delmarva area. I completed personal needs evaluations to assist customers with the financial protection.

Education:

University Of Maryland Eastern Shore 1990-1992

Graduate of Pocomoke High School 1990

Specialized Training:

Management Development courses in both the Insurance and Newspaper industry

TOURISM ADVISORY COMMITTEE

Reference: County Commissioners' Resolution of May 4, 1999 and 03-6 of 2/18/03

Appointed by: County Commissioners

Function: Advisory
Advise the County Commissioners on tourism development needs and recommend programs, policies and activities to meet needs, review tourism promotional materials, judge tourism related contests, review applications for State grant funds, review tourism development projects and proposals, establish annual tourism goals and objectives, prepare annual report of tourism projects and activities and evaluate achievement of tourism goals and objectives.

Number/Term: 7/4-Year term - Terms expire December 31st

Compensation: \$50 per meeting expense allowance

Meetings: At least bi-monthly (6 times per year), more frequently as necessary

Special Provisions: One member nominated by each County Commissioner

Staff Contact: Tourism Department - Lisa Challenger (410-632-3110)

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)²</u>	
Linda Glorioso	D-3, Church	West Ocean City	08-12, 12-16	Resigned
Teresa Travatello	D-5, Boggs	Ocean Pines	09-13, 13-17	
Lauren Taylor	D-7, Gulyas	Ocean City	13-17	
Gregory Purnell	D-2, Purnell	Berlin	14-18	
Barbara Tull	D-1, Lockfaw	Pocomoke	03-11-15, 15-19	
Molly Hilligoss	D-4, Elder	Snow Hill	*15, 15-19	
Isabel Morris	D-6, Bunting	Bishopville	11-15, 15-19	

Prior Members: Since 1972

Isaac Patterson ¹	Barry Laws (99-03)
Lenora Robbins ¹	Klein Leister (99-03)
Kathy Fisher ¹	Bill Simmons (99-04)
Leroy A. Brittingham ¹	Bob Hulburd (99-05)
George "Buzz" Gering ¹	Frederick Wise (99-05)
Nancy Pridgeon ¹	Wayne Benson (05-06)
Marty Batchelor ¹	Jonathan Cook (06-07)
John Verrill ¹	John Glorioso (04-08)
Thomas Hood ¹	David Blazer (05-09)
Ruth Reynolds (90-95)	Ron Pilling (07-11)
William H. Buchanan (90-95)	Gary Weber (99-03, 03-11)
Jan Quick (90-95)	Annemarie Dickerson (99-13)
John Verrill (90-95)	Diana Purnell (99-14)
Larry Knudsen (95)	Kathy Fisher (11-15)
Carol Johnsen (99-03)	
Jim Nooney (99-03)	

* = Appointed to fill an unexpired term

1 = Served on informal ad hoc committee prior to 1990, Committee abolished between 1995-1999

2 = All members terms reduced by 1-year in 2003 to convert to 4-year terms

Kelly Shannahan

From: Lisa Challenger
Sent: Tuesday, February 2, 2016 7:40 PM
To: Kelly Shannahan
Subject: Fwd: Tourism board

Sent from my Verizon Wireless 4G LTE smartphone

----- Original message -----

From: John Glorioso <glorioso00@comcast.net>
Date: 02/02/2016 6:00 PM (GMT-05:00)
To: Lisa Challenger <lchallenger@co.worcester.md.us>
Subject: Re: Tourism board

Worcester County Cimmissioners:

Please accept my resignation from the Worcester County Tourism Committee
Thank you for giving me the opportunity of being a member of this committee

Linda Glorioso

Sent from my iPhone

On Feb 2, 2016, at 3:40 PM, Lisa Challenger <lchallenger@co.worcester.md.us> wrote:

Hi Linda,
So sorry to bother you with this but could you please just email me a brief resignation. The commissioners require this formality.
Thank you,
Lisa

Lisa Challenger
Director
Worcester County Tourism
104 West Market Street
Snow Hill, MD 21863
410-632-3110

www.beachandbeyond.org
www.facebook.com/beachandbeyond
www.twitter.com/beachandbeyond

Tourism supports 13,408 jobs in Worcester County, generates \$1.5 billion in visitor spending and \$301.3 million in tourism tax revenues. Source: Tourism Economics

**WATER AND SEWER ADVISORY COUNCIL
OCEAN PINES SERVICE AREA**

Reference: County Commissioners' Resolution of November 19, 1993

Appointed by: County Commissioners

Function: Advisory
Advise Commissioners on water and sewer needs of the Service Area; review amendments to Water and Sewer Plan; make recommendations on policies and procedures; review and recommend charges and fees; review annual budget for the service area.

Number/Term: 5/4-year terms
Terms Expire December 31

Compensation: Expense allowance for meeting attendance as authorized in the budget.

Meetings: Monthly

Special Provisions: Must be residents of Ocean Pines Service Area

Staff Support: Department of Public Works - Water and Wastewater Division
John Ross - (410-641-5251)

Current Members:

<u>Name</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Gail Blazer	Ocean Pines	07-11, 11-15
Frederick Stiehl	Ocean Pines	*06-08-12, 12-16
Mike Hegarty	Ocean Pines	*08-09-13, 13-17
Michael Reilly	Ocean Pines	*14-17
James Spicknall	Ocean Pines	07-10-14, 14-18

Prior Members: (Since 1993)

Andrew Bosco (93-95)
 Richard Brady (96-96, 03-04)
 Michael Robbins (93-99)
 Alfred Lotz (93-03)
 Ernest Armstrong (93-04)
 Jack Reed (93-06)
 Fred Henderson (04-06)
 E. A. "Bud" Rogner (96-07)
 David Walter (06-07)
 Darwin "Dart" Way, Jr. (99-08)
 Aris Spengos (04-14)

* = Appointed to fill an unexpired term

COMMISSION FOR WOMEN

Reference: Public Local Law CG 6-101

Appointed by: County Commissioners

Function: Advisory

Number/Term: 11/3-year terms; Terms Expire December 31

Compensation: None

Meetings: At least monthly (3rd Tuesday at 5:30 PM - alternating between Berlin and Snow Hill)

Special Provisions: 7 district members, one from each Commissioner District
 4 At-large members, nominations from women's organizations & citizens
 4 Ex-Officio members, one each from the following departments: Social Services, Health & Mental Hygiene, Board of Education, Public Safety
 No member shall serve more than six consecutive years

Contact: Eloise Henry-Gordy, Chair
 Worcester County Commission for Women - P.O. Box 1712, Berlin, MD 21811

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Laura McDermott	D-1, Lockfaw	Pocomoke City	*11-13, 13-16
Hope Carmean	D-4, Elder	Snow Hill	*15-16
Dawn Cordrey Hodge	At-Large	Ocean City	13-16
Mary Beth Quillen	Dept of Social Services		13-16
Julie Phillips	Board of Education		13-16
Charlotte Cathell	D-5, Bertino	Ocean Pines	*09-11-14, 14-17
Alice Jean Ennis	At-Large	Pocomoke	14-17
Eloise Henry-Gordy	At-Large	Snow Hill	08-11-14, 14-17
Corporal Lisa Maurer	Public Safety - Sheriff's Office		*13-14, 14-17
Debbie Farlow	Health Department		*13-14, 14-17
Shirley Dale	D-2, Purnell	Ocean Pines	12-15, 15-18
Michelle Bankert	D-3, Church	West Ocean City	*14-15, 15-18
Bess Cropper	D-6, Bunting	Berlin	15-18
Nancy Fortney	D-7, Mitrecic	Ocean City	12-15, 15-18
Carol Rose	At-Large	Berlin	*14-15, 15-18

Resigned/
Replace

Prior Members: Since 1995

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> Ellen Pilchard^c (95-97) Helen Henson^c (95-97) Barbara Beaubien^c (95-97) Sandy Wilkinson^c (95-97) Helen Fisher^c (95-98) Bernard Bond^c (95-98) Jo Campbell^c (95-98) Karen Holck^c (95-98) Judy Boggs^c (95-98) Mary Elizabeth Fears^c (95-98) Pamela McCabe^c (95-98) Teresa Hammerbacher^c (95-98) Bonnie Platter (98-00) Marie Velong^c (95-99) | <ul style="list-style-type: none"> Carole P. Voss (98-00) Martha Bennett (97-00) Patricia Ilczuk-Lavanceau (98-99) Lil Wilkinson (00-01) Diana Purnell^c (95-01) Colleen McGuire (99-01) Wendy Boggs McGill (00-02) Lynne Boyd (98-01) Barbara Trader^c (95-02) Heather Cook (01-02) Vyoletus Ayres (98-03) Terri Taylor (01-03) Christine Selzer (03) Linda C. Busick (00-03) | <ul style="list-style-type: none"> Gloria Bassich (98-03) Carolyn Porter (01-04) Martha Pusey (97-03) Teole Brittingham (97-04) Catherine W. Stevens (02-04) Hattie Beckwith (00-04) Mary Ann Bennett (98-04) Rita Vaeth (03-04) Sharyn O'Hare (97-04) Patricia Layman (04-05) Mary M. Walker (03-05) Norma Polk Miles (03-05) Roseann Bridgman (03-06) Sharon Landis (03-06) |
|---|--|---|

* = Appointed to fill an unexpired term
 c = Charter member

Prior Members: Since 1995 (continued)

Dr. Mary Dale Craig (02-06)
Dee Shorts (04-07)
Ellen Payne (01-07)
Mary Beth Quillen (05-08)
Marge SeBour (06-08)
Meg Gerety (04-07)
Linda Dearing (02-08)
Angela Hayes (08)
Susan Schwarten (04-08)
Marilyn James (06-08)
Merilee Horvat (06-09)
Jody Falter (06-09)
Kathy Muncy (08-09)
Germaine Smith Garner (03-09)
Nancy Howard (09-10)
Barbara Witherow (07-10)
Doris Moxley (04-10)
Evelyne Tyndall (07-10)
Sharone Grant (03-10)
Lorraine Fasciocco (07-10)
Kay Cardinale (08-10)
Rita Lawson (05-11)
Cindi McQuay (10-11)
Linda Skidmore (05-11)
Kutresa Lankford-Purnell (10-11)
Monna Van Ess (08-11)
Barbara Passwater (09-12)
Cassandra Rox (11-12)
Diane McGraw (08-12)
Dawn Jones (09-12)
Cheryl K. Jacobs (11)
Doris Moxley (10-13)
Kutresa Lankford-Purnell (10-12)
Terry Edwards (10-13)
Dr. Donna Main (10-13)
Beverly Thomas (10-13)
Caroline Bloxom (14)
Tracy Tilghman (11-14)
Joan Gentile (12-14)
Carolyn Dorman (13-16)
Arlene Page (12-15)

Kelly Shannahan

From: Kelly Shannahan
Sent: Thursday, January 28, 2016 3:47 PM
To: Commissioner Diana Purnell
Subject: Shirley Dale - Commission for Women

Commissioner Purnell,

I just learned that Shirley Dale, who you appointed to the Commission for Women, has apparently resigned. I don't have anything official, but was advised that she had resigned by the former Secretary of the Commissioner for Women, Nancy Fortney. I'll try to get confirmation, but in the meantime, you may want to begin looking for a replacement.

Thanks,

Kelly Shannahan
Assistant Chief Administrative Officer

Worcester County Administration
Room 1103 Government Center
One West Market Street
Snow Hill, MD 21863-1195
410-632-1194
410-632-3131 (fax)

TEL: 410-632-1194
FAX: 410-632-3131
E-MAIL: admin@co.worcester.md.us
WEB: www.co.worcester.md.us



4

COMMISSIONERS
MADISON J. BUNTING, JR., PRESIDENT
MERRILL W. LOCKFAW, JR., VICE PRESIDENT
ANTHONY W. BERTINO, JR.
JAMES C. CHURCH
THEODORE J. ELDER
JOSEPH M. MITRECIC
DIANA PURNELL

OFFICE OF THE
COUNTY COMMISSIONERS

HAROLD L. HIGGINS, CPA
CHIEF ADMINISTRATIVE OFFICER
MAUREEN F.L. HOWARTH
COUNTY ATTORNEY

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103

SNOW HILL, MARYLAND

21863-1195

To: Harold Higgins, Chief Administrative Officer
From: Maureen Howarth, County Attorney *MH*
Re: State Legislation Worcester County -Alcoholic Beverages - Class A Beer, Wine, and Liquor License
Date: February 10, 2016

At your request, I have reviewed the two legislative bills put forward by our local delegation related to the Department of Liquor Control exit strategy.

House Bill 697 (HB 697) was sponsored by Delegates Carozza and Otto. As the County Commissioners requested, HB 697 amends Article 2B of the Maryland Annotated Code to allow Class A, Beer, Wine and Liquor Licenses (off-sale) in Worcester County with certain restrictions- specifically the Class A beer, wine and liquor license may only be issued for an establishment that is outside a 10 mile radius of a County owned or County operated dispensary. If an establishment wants to locate within the 10 mile radius, they have to obtain the County's consent. Passage of HB 697 will satisfy our request and enable the County to proceed with the exit strategy as planned, including sub-leasing or selling our existing stores in order to reduce the losses associated with winding down operations.

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3

Senate Bill 967 (SB 967) was sponsored by Senator Mathias. SB 967 authorizes a Class A Beer, Wine and Liquor License in Worcester County, however, it does not impose the 10 mile radius restriction around a County owned or County operated dispensary. It also states a holder of said license may sell beer, wine and liquor on Monday through Sunday from 6 AM to 2AM. The absence of the radius restriction is very concerning. The intent of the exit strategy accepted by the Commissioners was to end the Department of Liquor Control and to minimize the financial impact to the taxpayers. With the 10-mile radius restriction in place, the County's current dispensaries are a significant asset that can be sold or sub-let to private operators. If we are unable to sub-lease our current dispensaries, the additional liability to the County for remaining lease payments on our stores totals approximately \$804,000. This amount would be in addition to the projected \$1 million loss to the County under the best case scenario presented on December 1, 2015 for a revised projection of \$1.8 million in losses to the County. Without the 10-mile radius restriction, a new Class A license holder will be able to open a store in any location, to include being blocks away from our stores. As a result, the value of our current dispensaries would be diminished and we may be unable to sub-lease our stores to cover the lease obligations.

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5

In developing the fiscal note for these bills, Director Ed Tudor and License Administrator April Payne with Development Review and Permitting (DRP) have attempted to estimate new revenue for the county as a result of annual license fees. Both bills include an annual license fee of \$4,500 for a Class A Beer/Wine/Liquor license. While it is anyone's guess as to how many new license applications will be

received and how many current Class D Beer/Wine/Liquor licensees will opt to convert to a Class A license, DRP has given a best guess estimate of \$70,775 new revenue based on 4 new Class A licenses, and 18 license conversions from Class D to Class A. These revenues will certainly help to offset any losses from the lease obligations, including the \$100,000 annual liability at 16th Street in Ocean City. Mr. Tudor further points out that unless the house and senate versions of the bill are identical or nearly identical, it is unlikely that the legislation will ultimately pass. Therefore, it would behoove us to work with our local delegation to encourage a consistent bill so that Class A Beer/Wine/Liquor licenses will be available beginning July 1, 2016.

We are therefore requesting direction from the County Commissioners whether to either:

- Write a letter of support for HB 697 which includes the 10-mile radius restriction and encourage Senator Mathias to amend SB 967 to mirror HB 697, or
- Write a letter of support for SB 967 which excludes the 10-mile radius provision and encourage Delegates Carozza and Otto to amend HB 697 to mirror SB 967, or
- Meet with Senator Mathias and Delegates Carozza and Otto to develop a compromise between the two bills that they can all three support.

Please have the Commissioners review this matter at their next meeting to provide direction.

HOUSE BILL 697

A2

6lr3033

By: Delegates Otto and Carozza
Introduced and read first time: February 5, 2016
Assigned to: Economic Matters

A BILL ENTITLED

1 AN ACT concerning

2 **Worcester County – Alcoholic Beverages – Class A Beer, Wine, and Liquor**
3 **License**

4 FOR the purpose of repealing a certain provision of law that prohibits the issuance of a
5 Class A beer, wine, and liquor license in Worcester County; establishing a Class A
6 beer, wine, and liquor license in Worcester County; specifying the scope of
7 authorization of the license; authorizing the Worcester County Board of License
8 Commissioners to issue the license for an establishment that is outside a certain
9 distance of a Worcester County owned or operated retail dispensary; authorizing the
10 Worcester County Board of License Commissioners to issue the license for an
11 establishment that is within a certain distance of a Worcester County owned or
12 operated dispensary, with the consent of the Worcester County Commissioners;
13 specifying a certain annual fee for a Class A beer, wine, and liquor license; and
14 generally relating to the sale of alcoholic beverages in Worcester County.

15 BY repealing

16 Article – Alcoholic Beverages

17 Section 33–901

18 Annotated Code of Maryland

19 (As enacted by Chapter ____ (S.B. ____)(6lr1406) of the Acts of the General
20 Assembly of 2016)

21 BY adding to

22 Article – Alcoholic Beverages

23 Section 33–901

24 Annotated Code of Maryland

25 (As enacted by Chapter ____ (S.B. ____)(6lr1406) of the Acts of the General
26 Assembly of 2016)

27 SECTION 1. BE IT ENACTED BY THE GENERAL ASSEMBLY OF MARYLAND,
28 That the Laws of Maryland read as follows:

EXPLANATION: CAPITALS INDICATE MATTER ADDED TO EXISTING LAW.

[Brackets] indicate matter deleted from existing law.



1 Article – Alcoholic Beverages

2 [33-901.

3 A Class A beer, wine, and liquor license may not be issued in the County.]

4 **33-901.**

5 (A) THERE IS A CLASS A BEER, WINE, AND LIQUOR LICENSE.

6 (B) (1) THE LICENSE AUTHORIZES THE LICENSE HOLDER TO SELL BEER,
7 WINE, AND LIQUOR, AT RETAIL, AT THE PLACE DESCRIBED IN THE LICENSE.8 (2) THE LICENSE HOLDER SHALL SELL THE BEER, WINE, AND LIQUOR
9 IN A SEALED PACKAGE OR CONTAINER.10 (3) THE PACKAGE OR CONTAINER MAY NOT BE OPENED AND ITS
11 CONTENTS MAY NOT BE CONSUMED ON THE PREMISES WHERE THE BEER, WINE, AND
12 LIQUOR IS SOLD.13 (C) (1) EXCEPT AS PROVIDED IN PARAGRAPH (2) OF THIS SUBSECTION,
14 THE LICENSE MAY BE ISSUED ONLY FOR AN ESTABLISHMENT THAT IS OUTSIDE A
15 10-MILE RADIUS OF A COUNTY-OWNED OR COUNTY-OPERATED DISPENSARY. *16 (2) THE LICENSE MAY BE ISSUED FOR AN ESTABLISHMENT THAT IS
17 WITHIN A 10-MILE RADIUS OF A COUNTY-OWNED OR COUNTY-OPERATED
18 DISPENSARY IF THE COUNTY COMMISSIONERS CONSENT.

19 (D) THE ANNUAL LICENSE FEE IS \$4,500.

20 SECTION 2. AND BE IT FURTHER ENACTED, That this Act shall take effect July
21 1, 2016.

SENATE BILL 967

A2

6lr3351
CF 6lr3394

By: **Senator Mathias**

Introduced and read first time: February 5, 2016

Assigned to: Education, Health, and Environmental Affairs

A BILL ENTITLED

1 AN ACT concerning

2 **Worcester County – Alcoholic Beverages – Class A Beer, Wine, and Liquor**
3 **License**

4 FOR the purpose of establishing a Class A beer, wine, and liquor license in Worcester
5 County; providing that the license authorizes the sale of beer, wine, and liquor at the
6 place described in the license for off-premises consumption under certain conditions;
7 providing for an annual license fee and hours and days of sale; and generally relating
8 to alcoholic beverages licenses in Worcester County.

9 BY repealing and reenacting, without amendments,
10 Article – Alcoholic Beverages
11 Section 33–102
12 Annotated Code of Maryland
13 (As enacted by Chapter ____ (S.B. 724) of the Acts of the General Assembly of 2016)

14 BY repealing and reenacting, with amendments,
15 Article – Alcoholic Beverages
16 Section 33–901
17 Annotated Code of Maryland
18 (As enacted by Chapter ____ (S.B. 724) of the Acts of the General Assembly of 2016)

19 BY adding to
20 Article – Alcoholic Beverages
21 Section 33–2005(a)
22 Annotated Code of Maryland
23 (As enacted by Chapter ____ (S.B. 724) of the Acts of the General Assembly of 2016)

24 SECTION 1. BE IT ENACTED BY THE GENERAL ASSEMBLY OF MARYLAND,
25 That the Laws of Maryland read as follows:

26 **Article – Alcoholic Beverages**

EXPLANATION: CAPITALS INDICATE MATTER ADDED TO EXISTING LAW.

[Brackets] indicate matter deleted from existing law.



1 33-102.

2 This title applies only in Worcester County.

3 33-901.

4 (A) [A] THERE IS A Class A beer, wine, and liquor license [may not be issued in
5 the County].

6 (B) (1) THE LICENSE AUTHORIZES THE LICENSE HOLDER TO SELL BEER,
7 WINE, AND LIQUOR AT THE PLACE DESCRIBED IN THE LICENSE.

8 (2) THE LICENSE HOLDER SHALL SELL THE BEER, WINE, AND LIQUOR
9 IN A SEALED PACKAGE OR CONTAINER.

10 (3) THE PACKAGE OR CONTAINER MAY NOT BE OPENED AND ITS
11 CONTENTS MAY NOT BE CONSUMED ON THE PREMISES WHERE THE BEER, WINE, OR
12 LIQUOR IS SOLD.

← No radius restriction

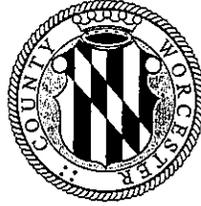
13 (C) THE ANNUAL LICENSE FEE IS \$4,500.

14 33-2005.

15 (A) A HOLDER OF A CLASS A BEER, WINE, AND LIQUOR LICENSE MAY SELL
16 BEER, WINE, AND LIQUOR ON MONDAY THROUGH SUNDAY, FROM 6 A.M. TO 2 A.M.
17 THE FOLLOWING DAY.

18 SECTION 2. AND BE IT FURTHER ENACTED, That this Act shall take effect July
19 1, 2016.

TEL: 410-632-1194
FAX: 410-632-3131
E-MAIL: admin@co.worcester.md.us
WEB: www.co.worcester.md.us



COMMISSIONERS
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JOSEPH M. MITRECIC
DIANA PURNELL

OFFICE OF THE
COUNTY COMMISSIONERS

HAROLD L. HIGGINS, CPA
CHIEF ADMINISTRATIVE OFFICER
JOHN E. "SONNY" BLOXOM
COUNTY ATTORNEY

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103

SNOW HILL, MARYLAND

21863-1195

December 1, 2015

Honorable James N. Mathias, Jr.
James Senate Office Building, Room 216
11 Bladen Street
Annapolis, Maryland 21401

Honorable Charles J. Otto
House Office Building, Room 321
6 Bladen Street
Annapolis, Maryland 21401

Honorable Mary Beth Carozza
House Office Building, Room 203
6 Bladen Street
Annapolis, Maryland 21401

RE: Proposed Amendment to Alcoholic Beverage License Law for Worcester County

Dear Senator Mathias, Delegate Otto & Delegate Carozza:

The Worcester County Commissioners have determined that they would like to wind-up the operations of and eventually abolish the Worcester County Department of Liquor Control (DLC).

As part of the exit strategy to accomplish that goal, with the least amount of negative financial impact to the County, they are requesting that Article 2B of the Maryland Annotated Code be amended to allow Class A, Beer, Wine and Liquor Licenses (off-sale) in the County with certain restrictions. This will allow the County to sell and/or sublet its current retail dispensaries as part of winding-up operations and will allow the private sector to fill the need in areas where there are currently or in the future no County owned/operated retail dispensaries.

Specifically, the Commissioners request that Article 2B, §6-101(y) (see attached copy of the current law) be amended to remove the existing language and replace with the following:

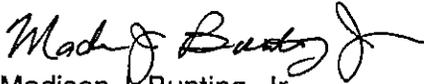
“(1) This subsection applies only in Worcester County.

- (2) In Worcester County, this license may not be issued for any premise that is within a ten-mile radius of a County owned or operated retail dispensary, without the consent of the Worcester County Commissioners.
- (3) The annual license fee is \$4,500.00.”

The Commissioners urge that you introduce and support this amendment as it is an essential part of the County's exit strategy and further request that it become effective July 1, 2016. If there are any questions regarding this matter, please contact our County Attorney, Sonny Bloxom or Maureen Howarth, at 410-632-1194.

Thank you for your kind attention to this matter.

Sincerely,


Madison J. Bunting, Jr.
President

MJB/JEB/fac

H:\1-wpdocs\MISC\LCB Management Committee\Package Store amendment DLC.wpd

TEL: 410-632-1194
FAX: 410-632-3131
E-MAIL: admin@co.worcester.md.us
WEB: www.co.worcester.md.us



OFFICE OF THE
COUNTY COMMISSIONERS

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103

SNOW HILL, MARYLAND

21863-1195

5

HAROLD L. HIGGINS, CPA
CHIEF ADMINISTRATIVE OFFICER
MAUREEN F.L. HOWARTH
COUNTY ATTORNEY

COMMISSIONERS
MADISON J. BUNTING, JR., PRESIDENT
MERRILL W. LOCKFAW, JR., VICE PRESIDENT
ANTHONY W. BERTINO, JR.
JAMES C. CHURCH
THEODORE J. ELDER
JOSEPH M. MITRECIC
DIANA PURNELL

To: Harold Higgins, Chief Administrative Officer
From: Maureen Howarth, County Attorney *MH*
Re: Tidal Wetlands License- Pipe under Turville Creek
Date: February 11, 2016

In the construction of the expansion of the sanitary facilities at Ocean Downs by Ocean Enterprises 589, LLC, a force main was built under Turville Creek. Upon completion of the construction, this pipe was turned over to the County by Deed of Sale dated March 13, 2015. The tidal wetlands license used for the construction of the force main was still in the name of Ocean Enterprises 589, LLC. Ocean Enterprises and the State of Maryland Board of Public Works has requested to change the name on the tidal wetlands license to Worcester County, as we own the force main. Public Works agrees with this request. There will be no cost to holding the license. The attached wetlands license no. 12-0972(R) should be executed by the President of the County Commissioners.

Maureen L. Howarth

From: John Ross
Sent: Thursday, February 11, 2016 3:10 PM
To: Maureen L. Howarth
Cc: John Tustin
Subject: Ocean Downs Wetlands License

Attorney Howarth;

Per our discussion earlier today, I have met with the operators of the Ocean Downs Casino in regards to the wetlands license that they acquired while constructing the pipeline connection to the Ocean Pines Service Area. This wetlands license was obtained by Ocean Downs (Ocean Enterprises 589 LLC) allowing them to construct the pipeline under Turville Creek and as they have now turned that pipeline over to the County for operation, they have requested that we also be named the holder of the wetlands license. I have discussed this transfer with the Maryland Board of Public Works and as a municipal holder of the license, there will be no cost (initial or annual) associated with holding the license.

If you need any additional information, let me know.

John S. Ross, P.E. Deputy Director of Public Works
1000 Shore Lane
Ocean Pines, MD 21811
(410)641-5251 X-112
(410)641-5185 (fax)
(443-783-0032 (cell)



William Morgante, PWS
Wetlands Administrator

State of Maryland
Board of Public Works

Wetlands Administration
Post Office Box 1510
Annapolis, Maryland 21404
410-260-7791
Fax: 410-974-5240
Toll Free: 1-877-591-7320

Lawrence J. Hogan, Jr.
Governor

Nancy K. Kopp
Treasurer

Peter Franchot
Comptroller

Sheila C. McDonald
Executive Secretary

February 2, 2016

Ms. Debbie Kasraei
MD Department of the Environment
Montgomery Park Business Center
1800 Washington Boulevard
Baltimore, MD 21203

Re: Tidal Wetlands License No. 12-0972 and 12-0972(R)
Ocean Enterprises 589 LLC – now Worcester County Commissioners
Compensation Billing

Dear Ms. Kasraei:

Please see attached document re above-mentioned license. Since Worcester County is now the owner, no yearly fee is required. Please cancel Invoice No. AC029329, for \$1,125.00 and cease billing for this License.

Thank you for your assistance and call if you have any questions.

Sincerely,

William Morgante
Wetlands Administrator

Enclosure

cc: John Ross, Worcester County DPW



William Morgante, PWS
Wetlands Administrator

State of Maryland
Board of Public Works

Wetlands Administration
Post Office Box 1510
Annapolis, Maryland 21404
410-260-7791
Fax: 410-974-5240
Toll Free: 1-877-591-7320

Lawrence J. Hogan, Jr.
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Nancy K. Kopp
Treasurer

Peter Franchot
Comptroller

Sheila C. McDonald
Executive Secretary

February 2, 2016

Worcester Co. Dept. of
Public Works
Attn: John Ross, Dep. Dir.
1000 Shore Lane
Ocean Pines, MD 21811

Re: Tidal Wetlands License No. 12-0972 and 12-0972(R)
Ocean Enterprises 589 LLC – now Worcester County Commissioners
Compensation Billing

Dear Mr. Ross:

Per our phone conversation, please see attached document re above-mentioned license, sign and return it to our office. Attach a copy to the original license for your files.

Thank you for your assistance and call if you have any questions.

Sincerely,

Angela Parks
Wetlands Associate

Enclosure



William Morgante, PWS
Wetlands Administrator

State of Maryland
Board of Public Works

Wetlands Administration
Post Office Box 1510
Annapolis, Maryland 21404
410-260-7791
Fax: 410-974-5240
Toll Free: 1-877-591-7320

Lawrence J. Hogan, Jr.
Governor
Nancy K. Kopp
Treasurer
Peter Franchot
Comptroller
Sheila C. McDonald
Executive Secretary

WETLANDS LICENSE NO. 12-0972(R)

WORCESTER COUNTY COMMISSIONERS

Reference is made to the original Wetlands License issued to Ocean Enterprises 589 LLC on November 14, 2012 (approved by the Board of Public Works on November 14, 2012 as Item 4 on the Secretary's Agenda).

The following changes are made to the License:

- A. Original Licensee: Ocean Enterprises 589 LLC
New Licensee: Worcester County Commissioners
- B. Special Condition F: Is no longer applicable since new Licensee is a public entity and is exempt from the yearly fees in this Condition.
- C. All other terms and conditions of this Wetlands License remain in effect.

By the authority of the Board of Public Works:

Issued for an in behalf of the
Members of the Board:


Sheila C. McDonald
Executive Secretary

Effective Date: November 14, 2012
Revised: February 2, 2016

The terms and conditions of this License are hereby accepted.

Date

Licensee (Signature)

Please print name

DEED, BILL OF SALE
AND
ASSIGNMENT

This Deed, Bill of Sale and Assignment made this 13th day of MARCH, 2015, by and between Ocean Enterprise 589, LLC, "Developer" and County Commissioners of Worcester County, Maryland, "Commissioners".

WHEREAS, Developer, pursuant to all required permits, has constructed a certain Sanitary Facility, "Facility" pursuant to Section 5-307 of Public Works Article, the Code of Public Local Laws of Worcester County, Maryland on property generally described as Ocean Downs VLT and Racetrack – Public Sewer Extension and;

WHEREAS, Facility is now complete, free and clear of all mechanics and materialman's liens and encumbrances and ready to be transferred to Commissioners in accordance with prior Agreements and Section 5-307 as aforesaid, and;

WHEREAS, Facility is fully operational in accordance with all required permits and;

WHEREAS, all real or personal property lien holders have joined in herein or executed separate documents for the purpose of releasing any and all right, title and interest they may have in and to any of the property herein described.

NOW THEREFORE THIS DEED, BILL OF SALE, AND ASSIGNMENT
WITNESSETH:

That for good and valuable consideration, receipt and sufficiency which is hereby acknowledged, the parties do hereby agree as follows:

1. All of the following described components, rights, permits, licenses, personal property, real property, easements and being all of the right title and interest of Developer associated with, in, and to Facility are hereby granted, conveyed and transferred unto Commissioners.
 - A. Facility is described in Exhibit A.
 - B. Permits and approvals associated with Facility are described in Exhibit B.
 - C. Personal property and mechanical equipment a part of and associated with the Facility is described as Permits described in Exhibit C.
 - D. Real Property or interests in Real Property (including easements) are described in Exhibit D.
2. Commissioners agree that the final inspection has been conducted of Facility and it is approved and accepted.

3. Commissioners hereby accept operational control and ownership of the Facility as herein set forth.
4. Developer warrants and agrees that construction of the Facility is in accordance with all permits and approvals.
5. Developer warrants for a period of two (2) years that the Facility is constructed in a workmanlike manner, in accordance with industry standards, is free and clear of all faulty materials, is properly designed for its intended use, is free of imperfections, and will operate in accordance with its design and further that it is free and clear of all liens and encumbrances and that written releases of all workers and suppliers have been delivered.
6. Developer posts herewith its bond in the amount of \$ ^{53,300.00 See H-4} ~~244,949.00~~ to insure performance of Developers guaranty in Paragraph 5 hereof.
7. Lienholder hereby releases its lien upon any property hereby transferred.
8. Developer shall execute such other and further assurances hereof as Commissioners may require.
9. Any special conditions and agreements are set forth in Exhibit E.

IN WITNESS WHEREOF, the hands and seals of the parties hereto, as of the date and year first above written.

M. Hawk

DEVELOPER

By: [Signature] (SEAL)

ON BEHALF OF
COUNTY COMMISSIONERS OF
WORCESTER COUNTY

John E. Boyon

By: [Signature] (SEAL)
Harold L. Higgins, Chief Administrative Officer

LIENHOLDER

By: _____ (SEAL)

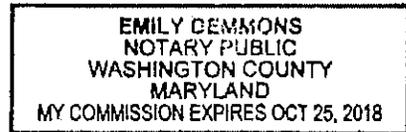
STATE OF MARYLAND, WORCESTER COUNTY, TO WIT:

I HEREBY CERTIFY, that on this 4th day of February, 2015, before the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared William M Rickman, known to me (or satisfactorily proven) to be the developer, named in the foregoing instrument, and executed the same in the capacity stated and for the purposes herein contained.



Emily B Demmons
Notary Public

Commission Expires: October 25, 2018



STATE OF MARYLAND, WORCESTER COUNTY, TO WIT:

I HEREBY CERTIFY, that on this 13th day of March, 2015, before the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared HAROLD L HIGGINS, known to me (or satisfactorily proven) to be the Chief Administrative Officer of Worcester County, and executed the same as such Chief Administrative Officer for the purposes herein contained.



Diane Downing
Notary Public

Commission Expires: 9/01/15

STATE OF MARYLAND, WORCESTER COUNTY, TO WIT:

I HEREBY CERTIFY, that on this _____ day of _____, 2015, before the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared _____, known to me (or satisfactorily proven) to be _____, Lienholder, and executed the same in the capacity stated and for the purposes herein contained.

Notary Public

Commission Expires: _____

SCHEDULE OF EXHIBITS

EXHIBIT A
Description of Facility

Public Sewer Extention: Force Main and Pumping Station

EXHIBIT B
Permits and Approvals

MDE Construction Permit No.: 13-22:23 – 1012

EXHIBIT C
Personal Property and Mechanical Equipment

Force Main and Pumping Station, including all appurtenances, as shown on the drawings prepared by J.W. Engineering, Inc., dated August 2012.

EXHIBIT D
Real Property - Legal Description, Including Easements

Easement Plan for Lands of Ocean Enterprise 589, LLC, prepared by Frank G. Lynch, Jr. and Associates, Inc., dated January 9, 2015.

EXHIBIT E
Special Conditions and Agreements

Worcester County small project agreement between Ocean Enterprise 589, LLC and Worcester County



State of Maryland
Board of Public Works

Wetlands Administration
Post Office Box 1510
Annapolis, Maryland 21404
410-260-7791
Fax: 410-974-5240
Toll Free: 1-877-591-7320

Martin O'Malley
Governor

Nancy K. Kopp
Treasurer

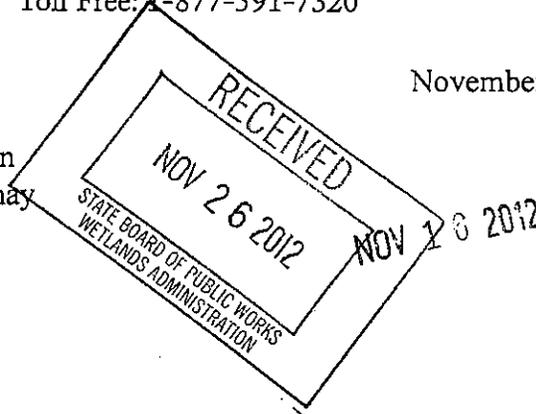
Peter Franchot
Comptroller

Sheila C. McDonald
Executive Secretary

Doldon W. Moore, Jr.
Wetlands Administrator

November 14, 2012

Ocean Enterprises 589 LLC-Rickman
c/o Environmental Resources – Launay
P. O. Box 169
Selbyville, DE 19975



Dear Applicant(s):

RE: Wetlands License 12-0972 – Turville Creek, Worcester County, MD

Enclosed please find the original and one copy of the above-mentioned wetlands license issued to you on November 14, 2012.

After you have read all the conditions of the license, please ensure that the license is signed by the named licensee and the entire original is returned to this office within 15 days in the enclosed envelope. Please retain the copy of the license for your records. This license is valid for a period of three years, as indicated on page three.

Please note that you must notify the MD Department of the Environment, Inspections and Compliance Program, by calling (410) 537-3510 in Baltimore, or (410) 901-4020 in Cambridge, prior to commencing work.

This does not constitute your federal authorization. Please contact the U.S. Army Corps of Engineers, Baltimore District, at (410) 962-4500 (Maryland Section Southern) or (410) 962-4252 (MD Section Northern) regarding the status of the federal permit.

If you have any questions concerning any of the terms and conditions of the attached license, please contact me at the address or telephone number shown above.

Sincerely,

Doldon W. Moore, Jr.
Wetlands Administrator

Enclosure

cc: MDE, Tidal Wetlands Division



Doldon W. Moore, Jr.
Wetlands Administrator

State of Maryland
Board of Public Works

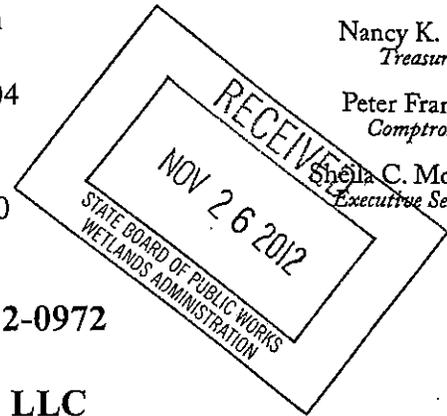
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Martin O'Malley
Governor

Nancy K. Kopp
Treasurer

Peter Franchot
Comptroller

Sheila C. McDonald
Executive Secretary



WETLANDS LICENSE NO. 12-0972

OCEAN ENTERPRISES 589 LLC

In response to an application dated June 4, 2012, for a Wetlands License, upon the recommendation of the Wetlands Administrator of the Board of Public Works, and pursuant to the provisions of Title 16, Environment Article, Annotated Code of Maryland (1996 Repl. Vol. and Supplement), entitled "Wetlands and Riparian Rights," enacted to provide a State policy for the preservation of wetlands and regulation of the filling and dredging of wetlands in Maryland, and for other purposes, you are hereby authorized by the Board of Public Works, for the State of Maryland to:

"Directionally bore 450 linear feet and install a 6-inch diameter force main a minimum of 10 feet below the existing creek bottom."

Turville Creek in Ocean Pines, Worcester County, Maryland

This license is subject to the following special conditions:

- A. All work shall be permitted under, and performed in accordance with, the Critical Area requirements of the local jurisdiction where the project is located. This authorization does not constitute authorization for disturbance in the 100-foot Critical Area Buffer. "Disturbance" in the Buffer means clearing, grading, construction activities, or removal of any size of tree or vegetation. Any anticipated Buffer disturbance requires prior written approval, before commencement of land-disturbing activity, from the local jurisdiction in the form of a Buffer Management Plan.
- B. All work shall be performed in accordance with the required Soil Erosion and Sediment Control Plan as approved by the Worcester County Soil Conservation District.
- C. All work shall be performed in accordance with the required Water Quality Certification issued by the Maryland Department of the Environment and in accordance with the Maryland State Programmatic General Permit (MDSPPG-4) or the U.S. Army Corps of Engineers' Individual Authorization.
- D. No marsh shall be filled, dredged, or otherwise altered or destroyed.

Tidal Wetlands License No. 12-0972
Ocean Enterprises 589 LLC
November 14, 2012

- 1A -

- E. The Maryland Department of Environment has determined that the proposed activity complies with, and will be conducted in a manner consistent with, the State's Coastal Zone Management Program, as required by Section 307 of the Federal Coastal Zone Management Act of 1972, as amended.
- F. The licensee shall pay to the State of Maryland the following fees:
 - * A non-recurring processing fee of \$1,000;
 - * For the first five-year period, an annual fee of \$2.50 per linear foot of cable;
 - * At the end of the first five-year period and at the end of each succeeding five-year period thereafter, the amount of the annual fee shall be adjusted so as to reflect the change for said period in the Consumer Price Index, as published by the United States Department of Labor, Bureau of Labor Statistics, or if that index should cease to be published, then by an appropriate index to be selected by the Board of Public Works.
- G. The licensee agrees to indemnify, defend and save harmless the State of Maryland, its elected officials, officers and employees from and against any and all liability, suits, claims and actions of whatsoever kind, caused by or arising from the placement of the conduit under Turville Creek pursuant to this wetlands license.
- H. The licensee agrees at its own expense to relocate, move or otherwise alter the position of the submerged conduit, should such action be required by the Board of Public Works for the health, safety and welfare of the citizens of the State, including but not limited to, safe passage on navigable waters.
- I. The Commander (O-2), Fifth Coast Guard District, Federal Building, 431 Crawford Street, Portsmouth, Virginia 23705, (757) 398-6486, must be contacted to ascertain the need for their approval of the proposed project.
- J. The licensee shall advise the Board of Public Works, Wetlands Administration (410) 260-7791, of the project completion date.
- K. The licensee shall follow the best management practices (BMP) as stated in the publication *Horizontal Direction Drill Good Practices Guidelines* by HDD Consortium and David Bennett, PhD; Samuel T. Ariaratnam, PhD and Casey E. Como, dated 2004 and 2001.

Tidal Wetlands License No. 12-0972
Ocean Enterprises 589 LLC
November 14, 2012

- 1B -

- L. An independent engineering company (Contractor), shall be selected by the licensee and approved by the Wetlands Administrator, Maryland Board of Public Works, prior to the start of any work. The Contractor shall report directly to the Wetlands Administrator, not the licensee. During construction, the Contractor shall inspect, monitor and report any adverse affects upon State lands and waters, vegetated wetlands and contiguous upland that may be contrary to the protection of the State's natural resources.
- M. Licensee shall bear the cost of the Contractor's services that are provided as required by the Board of Public Works as related to the License and pay the Contractor's invoice within 30 days of the invoice's date.
- N. A pre-construction meeting shall occur prior to the start of construction of the tidal crossing, Contractor's representatives, licensee's representatives and the Wetlands Administrator, Maryland Board of Public Works, shall be present. It is the Licensees responsibility to contact the Wetlands Administrator to advise that it is time to set a meeting date.
- O. The licensee, while crossing state tidal wetlands, shall provide weekly HDD monitoring reports to include, but not limited to, volume of drilling material used and recovered, method of material disposal, and depth of bore below the river's bottom, to the Department of the Environment, Inspection and Compliance Division, and the Contractor.
- P. Daily visual monitoring of the drilling route and surrounding area complete with documentation shall be performed during the entire drilling process, and provided to the Contractor.
- Q. A contingency plan for inadvertent returns shall be submitted and approved by the Department of the Environment prior to any HDD construction. If a frac-out occurs, the drilling operation must cease and the Department of the Environment and the Contractor shall be contacted immediately, with documentation and implement the contingency plan.
- R. The licensee shall restore and re-vegetate all disturbed wetlands to original contours upon completion of construction.

Tidal Wetlands License No. 12-0972
Ocean Enterprises 589 LLC
November 14, 2012

- 1C -

- S. In order to ascertain the effect of horizontal directional drilling (HDD) and installation of pipes or conduits on the topography of wetland bottoms, the licensee shall, before construction and in cooperation with the Contractor, select and use methods of bathymetry suitable for each wetland crossing.

In order to effectively control inadvertent returns (“frac-outs”) of drilling mud or millings, the licensee shall, before construction and in cooperation with the Board’s Contractor, identify potential locations of these events, a schedule for monitoring these locations and the methods of clean-up of each.

- T. All abandoned drill holes must be sealed with bentonite or other approved material upon withdrawal of the drill stem and in accordance with best management practices. An abandonment report must be submitted to the Contractor within 48 hours of completion of the sealing.
- U. No in-water work shall be performed from March 1 through June 15 of any year.

The authorized work is to be accomplished in accordance with the plans and drawings attached hereto, dated and revised April 6, 2012.

This license is subject to the following general conditions and is revocable or subject to modification prior to the completion of the project as described above when such action is deemed to be in the State's interest.

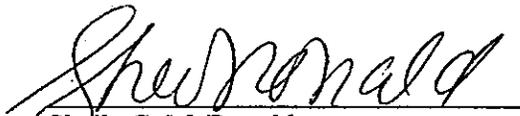
This license is subject to the following **standard conditions**:

- a. This license does not authorize a trespass or infringement upon private or public property rights or interests, nor does it relieve the licensee of the obligation to obtain applicable federal, State, or local approvals.
- b. The legal requirements of all federal, State, and local agencies shall be met.
- c. The license does not transfer a property interest of the State unless expressly stated by the Board of Public Works (usually in a separate document).
- d. The licensee shall allow full and free use by the public of State wetlands and navigable waters.
- e. A copy of this license and the plans or drawings attached hereto shall be available at the site until the construction or activity is complete.
- f. The licensee shall submit written notification to the Inspections and Compliance Program of the MD Department of the Environment at least 10 days in advance of commencing the construction or activity, and shall furnish written notification of the date of its completion within 30 days.
- g. The licensee consents to reasonable inspections by representatives of the Board of Public Works or the MD Department of the Environment to ensure consistency with the conditions of the license.
- h. The licensee shall comply promptly with any lawful regulations, conditions, or site complaints and orders affecting the structure or activity authorized herein, if and when issued by the MD Department of the Environment, which is authorized to enforce this license.
- i. The licensee shall maintain the structure authorized herein in good condition or perform the activity in accordance with the approved plans or drawings and otherwise comply with all license provisions until the structure is removed or the activity permanently ceases.
- j. The Board of Public Works or the Wetlands Administrator may modify, suspend, or revoke this license as necessary to protect the State's interests. The decision to modify, suspend, or revoke the license shall be based upon a consideration of the ecological, economic, developmental, recreational, and aesthetic values involved as they may affect the public and proprietary interests of the State.

- k. Any modification, suspension, or revocation of this license shall not be the basis for a claim for damages against the State of Maryland, or any unit or agency of the State.
- l. All provisions of this license shall be binding on any assignee or successor in interest of the licensee, with the procedure for assignment or transfer set by the Board of Public Works.
- m. The licensee or any successor or assignee agrees to make every reasonable effort to construct the structure or perform the activity authorized herein in a workmanlike manner so as to eliminate or minimize any adverse effects of the construction or activity on fish, wildlife and natural environmental values.
- n. The licensee agrees to indemnify, defend and save harmless the State of Maryland, its elected officials, officers and employees from and against any and all liability, suits, claims and actions of whatsoever kind, caused by or arising from the placement of fill and/or piles or construction of structures in the waters of the State pursuant to this wetlands license.
- o. If the structure or activity authorized herein is not completed on or before the 14th day of November, 2015, this license, if not previously revoked or specifically extended, shall cease and be null and void. **NOTE:** In most cases, a 3-year license may be renewed for one additional 3-year period if the request is received prior to the expiration date; 6-year licenses cannot be renewed and licensee must reapply to the Maryland Department of Environment.

By the authority of the Board of Public Works:

Issued for and in behalf of
the Members of the Board



 Sheila C. McDonald
 Executive Secretary

Effective Date: November 14, 2012

The terms and conditions of this license are hereby accepted.

11/19/12

 Date

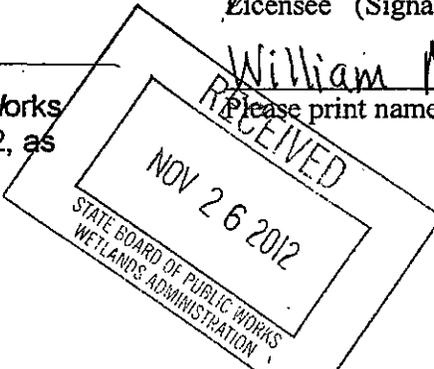


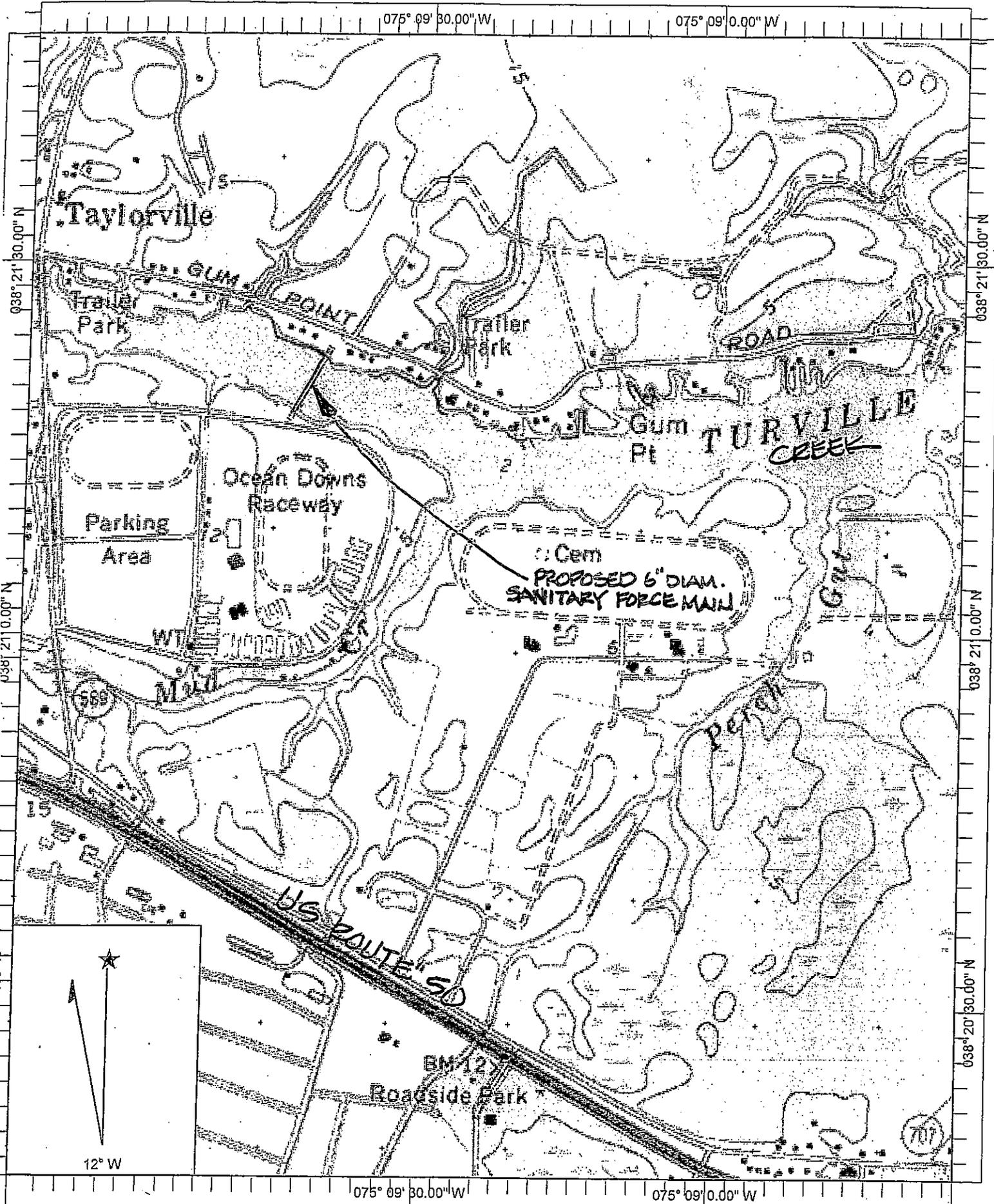
 Licensee (Signature)

William M. Rickman

 Please print name

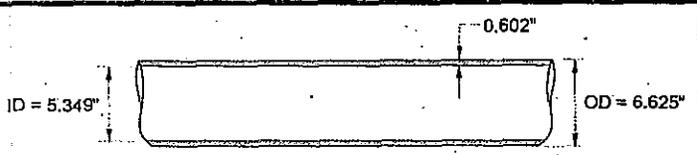
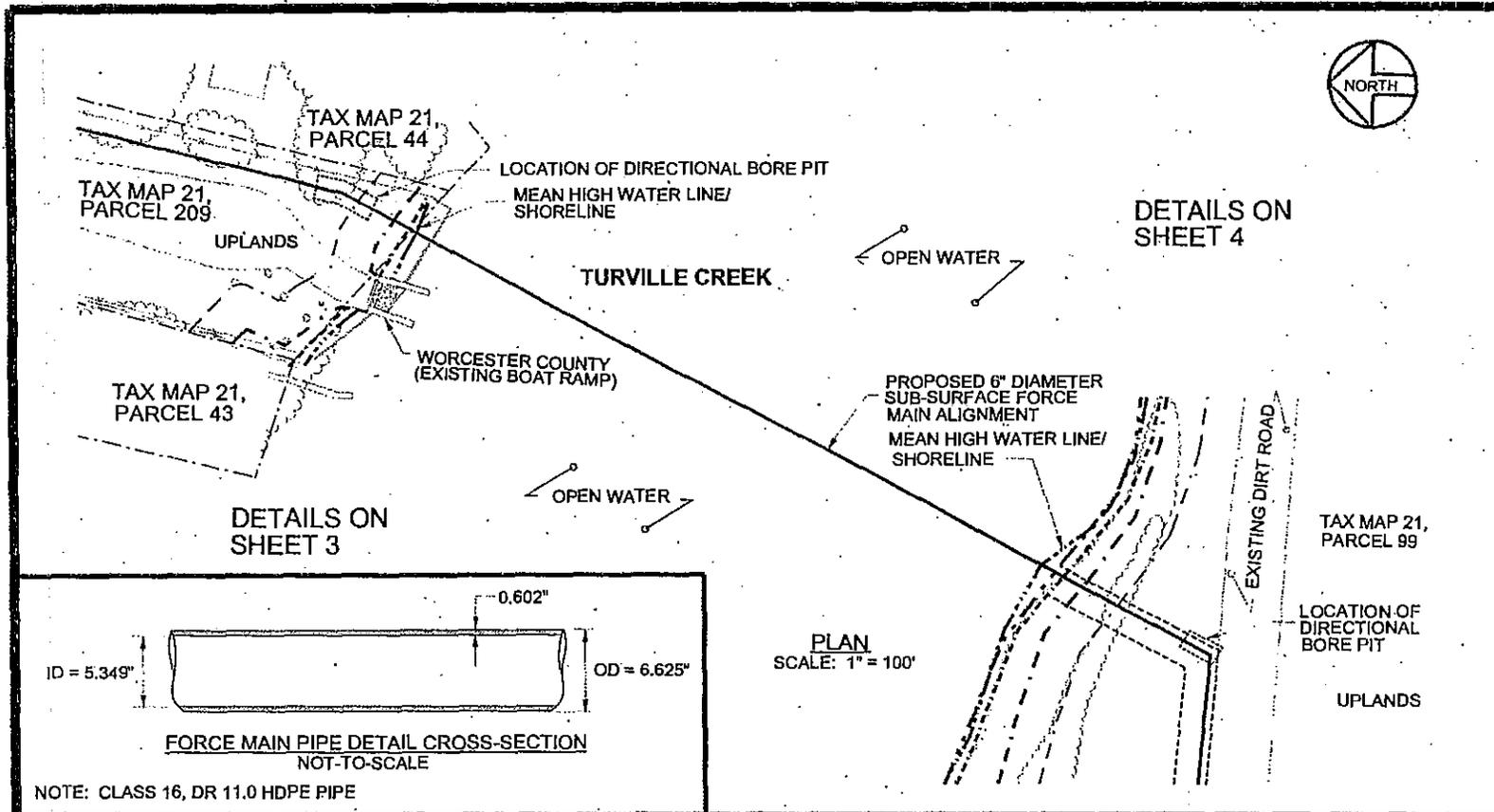
Approved by the Board of Public Works
on the 14th day of November, 2012, as
Item 4 on the Secretary's Agenda.





Name: BERLIN *1A-WL-0992*
 Date: 4/6/2012 *AS# 137807*
 Scale: 1 inch equals 1000 feet *201260873*
 Sheet *1 OF 5*

Location: 038° 21' 02.4" N 075° 09' 22.8" W
 Caption: PROJECT LOCATION PROPOSED FORCE MAIN
 CROSSING OF TURVILLE CREEK, OCEAN PINES, MD



FORCE MAIN PIPE DETAIL CROSS-SECTION
NOT-TO-SCALE

NOTE: CLASS 16, DR 11.0 HDPE PIPE

PLAN
SCALE: 1" = 100'

PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK

PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21

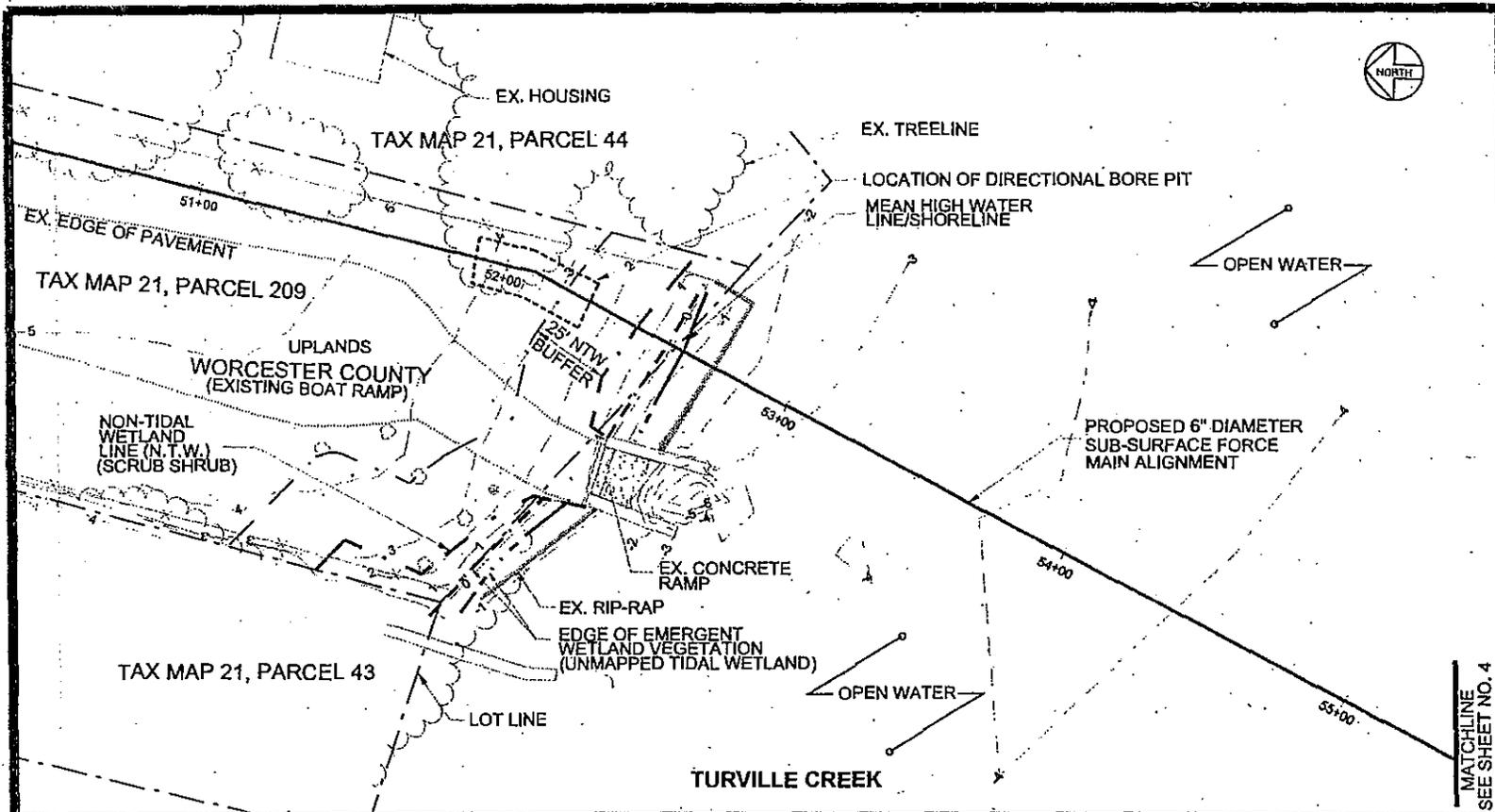
TENTH TAX DISTRICT

WORCESTER COUNTY

MARYLAND

AT # 137807
12-WL-0972
201260873

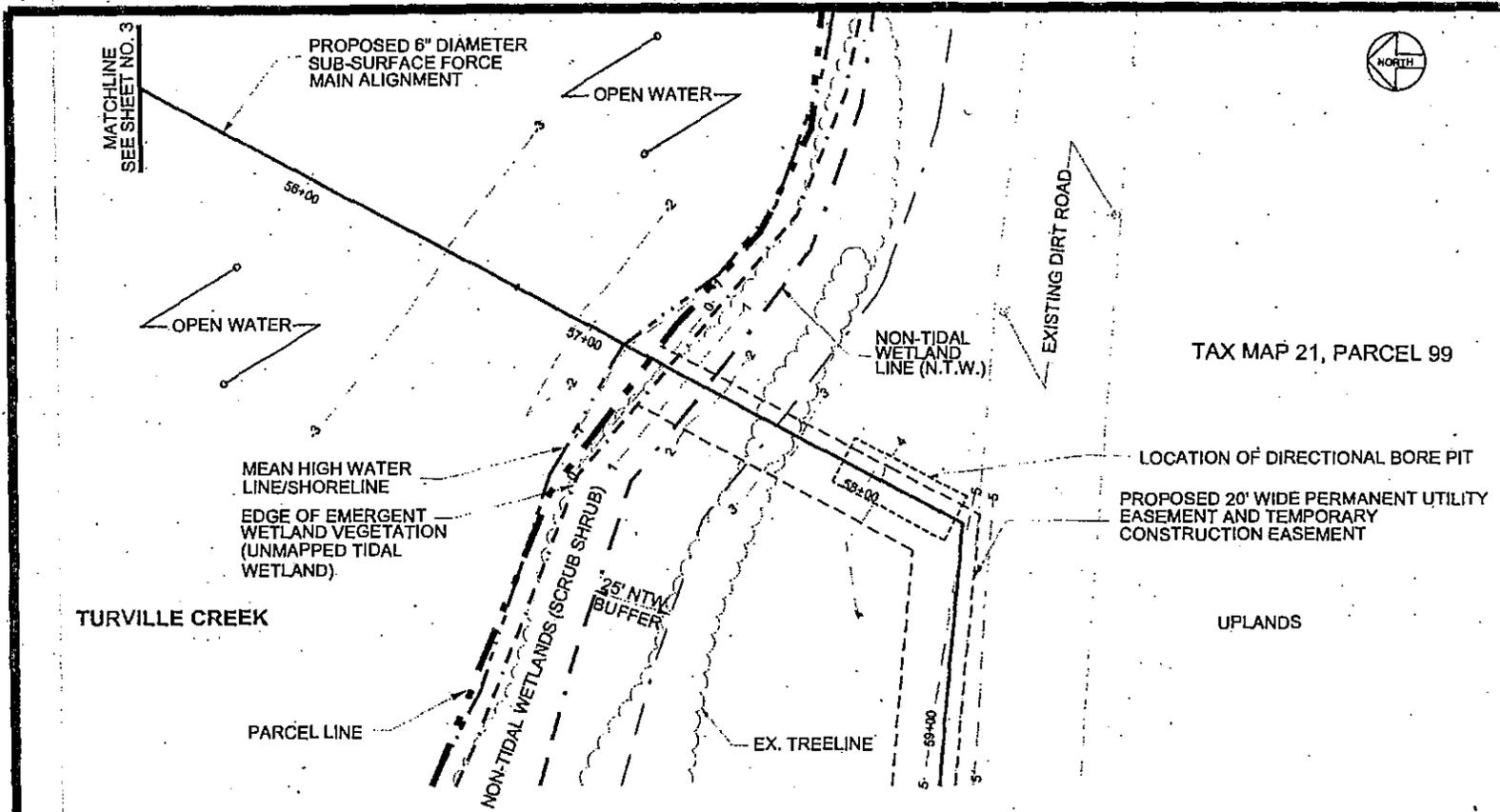
J.W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811		ENVIRONMENTAL RESOURCES, INC. 38173 DUPONT BOULEVARD P.O. BOX 169 SELBYVILLE, DE 19975		OVERALL SITE PLAN	
SCALE: AS SHOWN	DATE: REV. 1: 9/27/12 JAN. 2012	DRAWING No.: 231-01-102	SHEET No.: 2	APPLICANT: OCEAN ENTERPRISES 589, LLC 15215 SHADY GROVE ROAD ROCKVILLE, MD 20850-3235 (301) 840-2011	



AI # 137907 PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK
 12-WL-0972 PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21

TENTH TAX DISTRICT 20120873 WORCESTER COUNTY MARYLAND

J.W. SALM ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811		ENVIRONMENTAL RESOURCES, INC. 38173 DUPONT BOULEVARD P.O. BOX 169 SELBYVILLE, DE 19975		SITE PLAN	
SCALE: 1"=50'	DATE: REV. 1: 9/27/12 JAN. 2012	DRAWING No.: 231-01-103	SHEET No.: 3	APPLICANT: OCEAN ENTERPRISES 589, LLC 15215 SHADY GROVE ROAD ROCKVILLE, MD 20850-3235 (301) 840-2011	



PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK

TENTH TAX DISTRICT **AE # 137809** **PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21** **MARYLAND**
12-WL-0992 **201260873** **WORCESTER COUNTY**

J.W. SALM ENGINEERING, INC.
 P.O. BOX 307, 9842 MAIN STREET, SUITE 3
 BERLIN, MD 21811

ENVIRONMENTAL RESOURCES, INC.
 38173 DUPONT BOULEVARD
 P.O. BOX 169
 SELBYVILLE, DE 19975

SITE PLAN

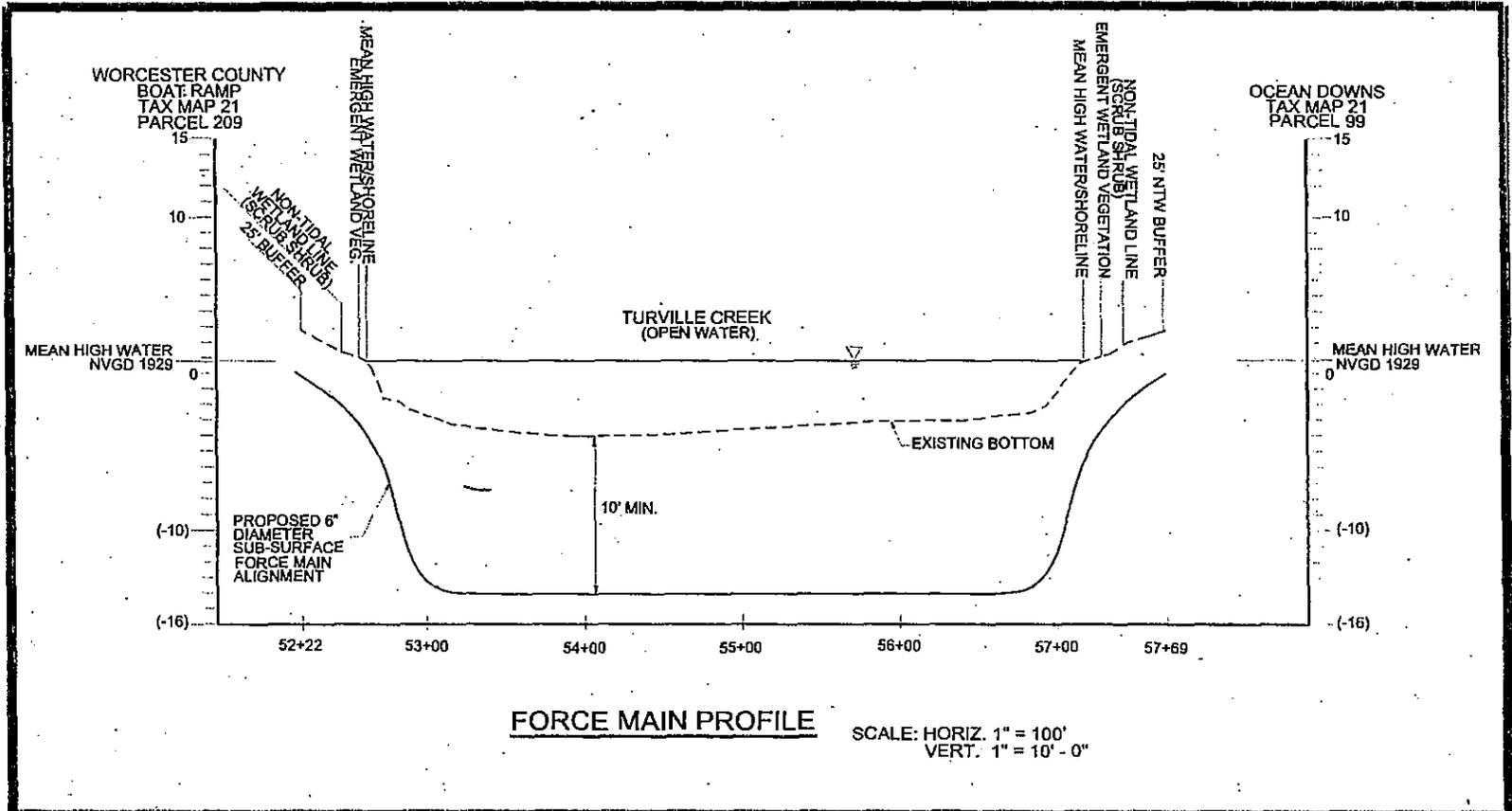
APPLICANT: OCEAN ENTERPRISES 589, LLC
 15215 SHADY GROVE ROAD
 ROCKVILLE, MD 20850-3235
 (301) 840-2011

SCALE:
 1"=50'

DATE:
 REV. 1: 9/27/12
 JAN. 2012

DRAWING No.:
 231-01-104

SHEET No.:
 4



FORCE MAIN PROFILE

SCALE: HORIZ. 1" = 100'
VERT. 1" = 10' - 0"

<p>12-wl-0972 APR 13 2007 200260873</p> <p>PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK</p> <p>PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21</p>				
TENTH TAX DISTRICT		WORCESTER COUNTY		MARYLAND
<p>J.W. SALL ENGINEERING, INC. P.O. BOX 397, 9842 MAIN STREET, SUITE 3 BERLIN, MD. 21811</p>		<p>ENVIRONMENTAL RESOURCES, INC. 38173 DUPONT BOULEVARD P.O. BOX 169 SELBYVILLE, DE 19975</p>		<p>FORCE MAIN PROFILE</p>
SCALE:	DATE:	DRAWING No.:	SHEET No.:	<p>APPLICANT: OCEAN ENTERPRISES 589, LLC 15215 SHADY GROVE ROAD ROCKVILLE, MD 20850-3235 (301) 840-2011</p>
1"=100'	JAN. 2012	231-01-105	5	



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

Operations Division

August 10, 2012

SUBJECT: CENAB-OP-RMS (Ocean Downs Racetrack & Casino / Utility Line) 2012-60873

Mr. William Rickman
Ocean Enterprises 589, LLC
15215 Shady Grove Road
Rockville, Maryland 20850

Dear Mr. Rickman:

This is in reference to your application dated May 1, 2102 wherein you requested Department of the Army (DA) authorization to horizontally directionally bore a minimum of 10 feet under the creek bed for the installation of a 6 inch diameter force main with a total bore length of approximately 450 linear feet under tidal waters of Turville Creek and 46 linear feet under non-tidal and fringe tidal wetlands abutting Turville Creek, to connect the existing County-operated wastewater treatment facility located in Ocean Pines to the Ocean Downs facility, off MD Route 589, Worcester County, Maryland. The Corps received the application on June 13, 2012.

The U. S. Army Corps of Engineers, Baltimore District, has determined that the proposed work, if accomplished in accordance with the enclosed plans dated January 2012 and the attached Frac-Out Contingency Plan, is authorized as a Category B c. (1) under the Maryland State Programmatic General Permit-4 (MDSPGP-4). This general permit was published in the Corps Special Public Notice #11-77 issued on September 28, 2011. This MDSPGP-4 verification is provided pursuant to Section 10 of the Rivers and Harbors Act of 1899 and/or Section 404 of the Clean Water Act. If any of the information contained in your application and/or plans is later found to be in error, the MDSPGP-4 authorization for your project may be modified, suspended, or revoked.

In addition to the enclosed list of conditions, you must also comply with the following special conditions:

1. In order to protect anadromous fish spawning, the permittee must not conduct dredging authorized by this permit during the period between 1 March and 15 June in any year this permit is valid.

The enclosed list of activity-specific impact limits and requirements and general conditions must be followed for purposes of the MDSPGP-4 in performing the work.

As a condition of the MDSPGP-4 authorization, you are required to complete and sign the enclosed Compliance Self-Certification Form regarding the completed work and any required mitigation. The signed form should be returned to the Regulatory Branch at the above address

within 60 days following completion of the authorized work and any required mitigation. Your signature on the self-certification form verifies your understanding that the work was completed in accordance with the terms and conditions associated with your DA permit.

Please be aware that the terms and conditions of this permit will continue to be binding on the new property owner(s) if structures or work authorized by this permit exist at the time of ownership transfer of the associated property. Although the construction period for work authorized by this MDSPGP-4 is finite, the permit itself, with its limitations, does not expire. To validate the transfer of this permit and the legal responsibility to comply with its terms and conditions, the transferee (new owner) must provide a mailing address and telephone number along with their signature and date in the space provided below and mail a copy to the above address.

Your MDSPGP-4 authorization is valid until September 30, 2016 unless the permit is modified, reissued, or revoked. You must remain informed of the changes to the MDSPGP-4. When changes to the MDSPGP-4 occur, a public notice announcing the changes will be issued.

Be advised that you have 12 months from the effective date of the MDSPGP-4's expiration, modification or revocation to complete the work under the present terms and conditions provided you have commenced construction or are under contract to commence construction of the authorized work.

In order for this authorization to be valid, you must obtain all required Federal, State, and local permits. This information is also being coordinated with MDE Tracking # 2012-60873 / AI 137807.

If you have any questions concerning this letter, please call me at the Easton Field Office, at (410) 820-8629.

Sincerely,



Eugene J. Morgenthaler
Project Manager, Maryland Section Southern

Enclosure(s)

TRANSFEEE SIGNATURE

DATE

AREA CODE / TELEPHONE NO.

PRINTED NAME

ADDRESS

075° 09' 30.00" W

075° 09' 0.00" W

038° 21' 30.00" N

038° 21' 30.00" N

038° 21' 0.00" N

038° 21' 0.00" N

038° 20' 30.00" N

075° 09' 30.00" W

075° 09' 0.00" W

Taylorville

Trailer Park

GUM POINT

Trailer Park

ROAD

Gum Pt

TURVILLE CREEK

Ocean Downs Raceway

Parking Area

Cem
PROPOSED 6" DIAM. SANITARY FORCE MAIN

589

WT

MILL

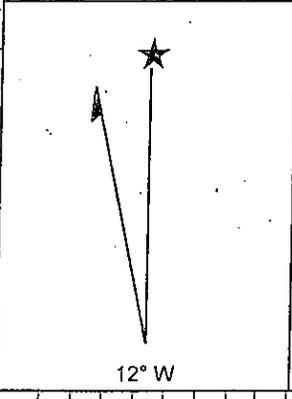
POTEN

US ROUTE 50

BM 127

Roadside Park

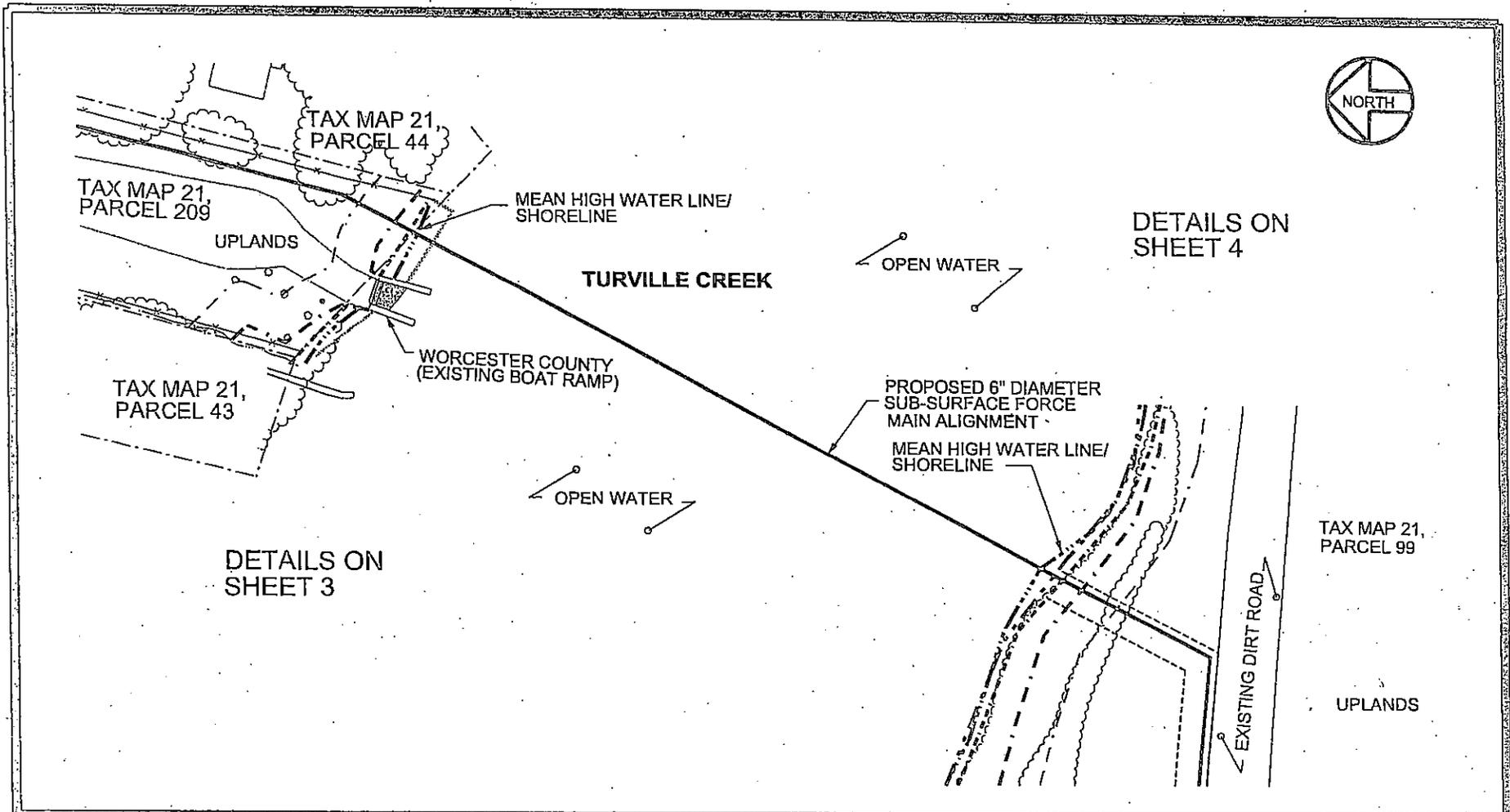
707



Name: BERLIN
 Date: 4/6/2012
 Scale: 1 inch equals 1000 feet
 Sheet 1 of 5

Location: 038° 21' 02.4" N 075° 09' 22.8" W
 Caption: PROJECT LOCATION PROPOSED FORCE MAIN
 CROSSING OF TURVILLE CREEK, OCEAN PINES, MD

24



PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK

PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21

TENTH TAX DISTRICT

WORCESTER COUNTY

MARYLAND

J.W. SAIN ENGINEERING, INC.

P.O. BOX 397, 9042 MAIN STREET, SUITE 3
BERLIN, MD 21811

ENVIRONMENTAL RESOURCES, INC.

38173 DUPONT BOULEVARD
P.O. BOX 169
SELBYVILLE, DE 19975

OVERALL SITE PLAN

APPLICANT: OCEAN ENTERPRISES 589, LLC

15215 SHADY GROVE ROAD
ROCKVILLE, MD 20850-3235
(301) 840-2011

SCALE:

1"=100'

DATE:

JAN. 2012

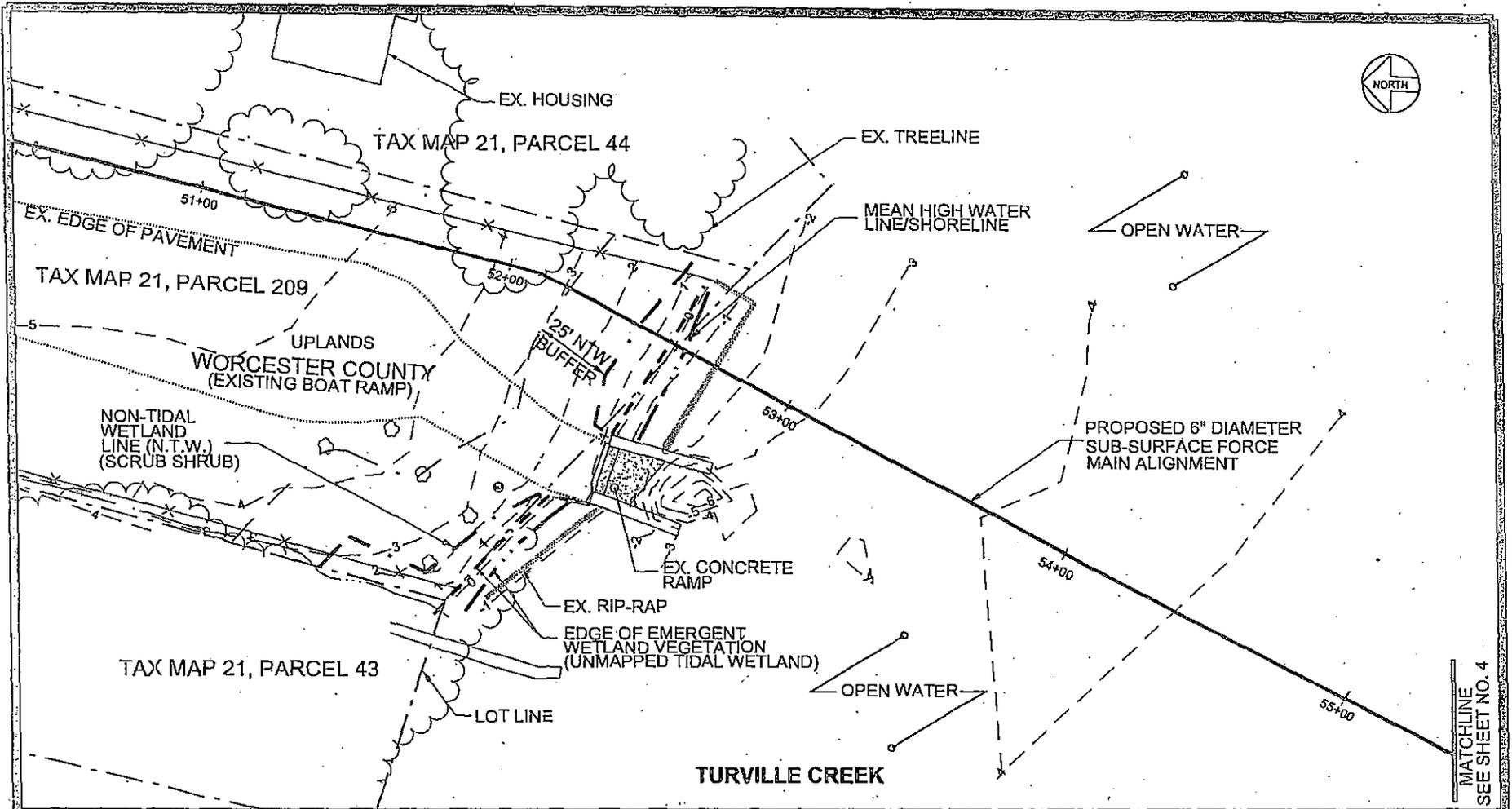
DRAWING No.:

231-01-102

SHEET No.:

2

52



MATCHLINE
SEE SHEET NO. 4

PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK

PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21

TENTH TAX DISTRICT

WORCESTER COUNTY

MARYLAND

J.W. SALM ENGINEERING, INC.

P.O. BOX 397, 9042 MAIN STREET, SUITE 3
BERLIN, MD 21811

ENVIRONMENTAL RESOURCES, INC.

38173 DUPONT BOULEVARD
P.O. BOX 169
SELBYVILLE, DE 19975

SITE PLAN

APPLICANT: OCEAN ENTERPRISES 589, LLC
15215 SHADY GROVE ROAD
ROCKVILLE, MD 20850-3235
(301) 840-2011

SCALE:

1"=50'

DATE:

JAN. 2012

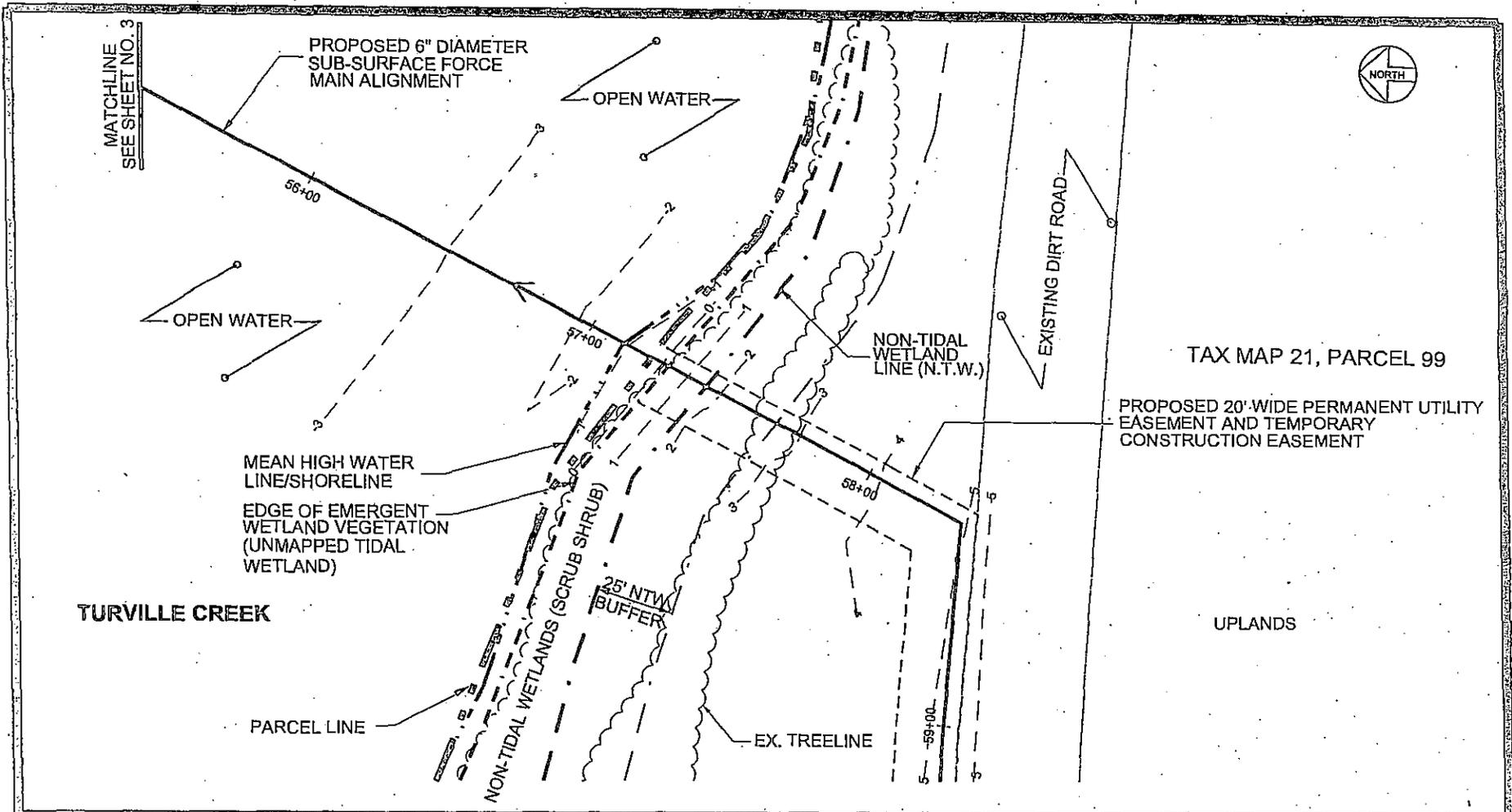
DRAWING No.:

231-01-103

SHEET No.:

3

96



PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK

PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21

TENTH TAX DISTRICT

WORCESTER COUNTY

MARYLAND

J.W. SALM ENGINEERING, INC.

P.O. BOX 397, 9842 MAIN STREET, SUITE 3
BERLIN, MD 21811

ENVIRONMENTAL RESOURCES, INC.

38173 DUPONT BOULEVARD
P.O. BOX 169
SELBYVILLE, DE 19975

SITE PLAN

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15215 SHADY GROVE ROAD
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(301) 840-2011

SCALE:

1"=50'

DATE:

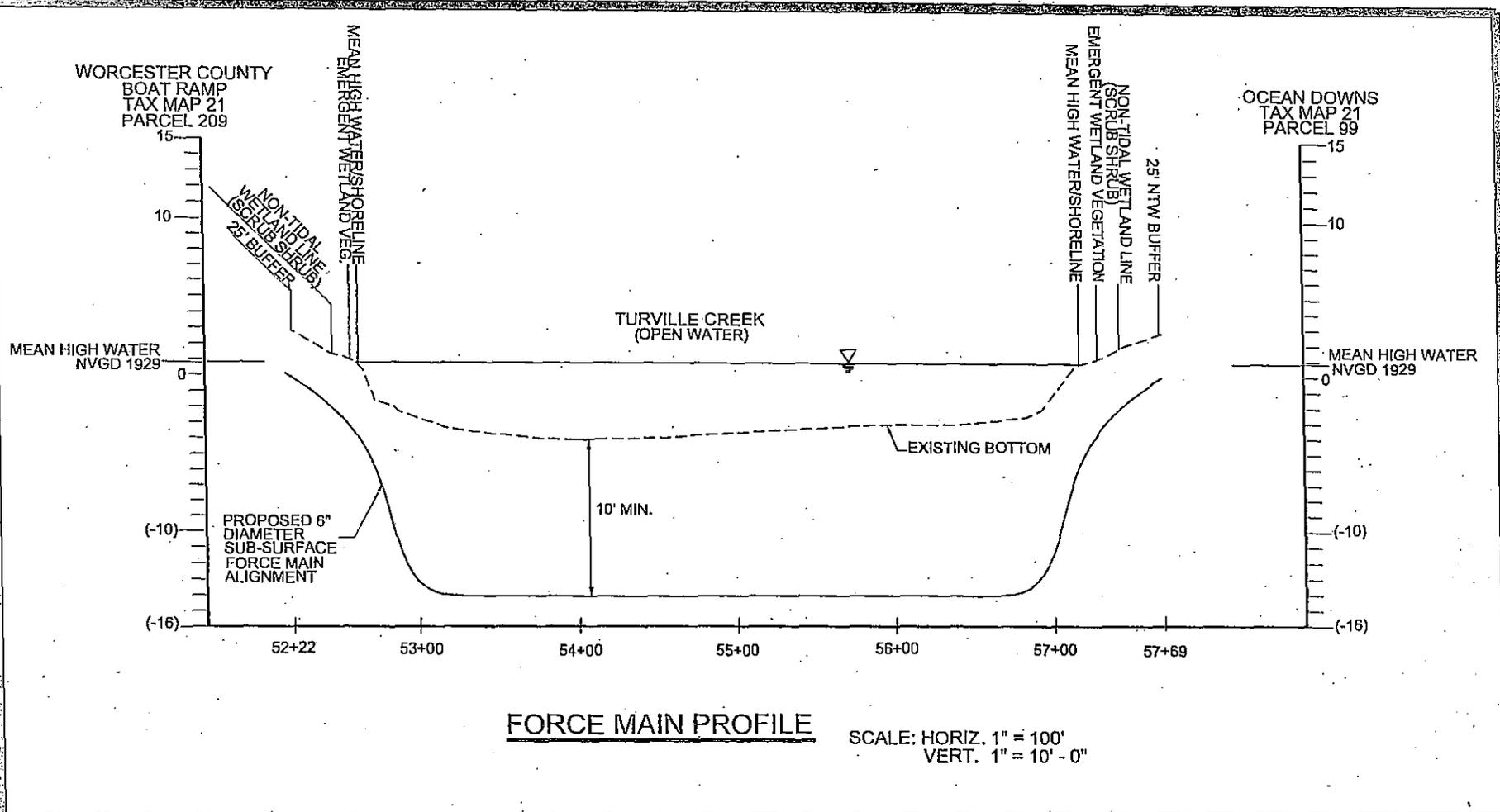
JAN. 2012

DRAWING No.:

231-01-104

SHEET No.:

4



PROPOSED FORCE MAIN CROSSING, TURVILLE CREEK

PARCEL 209, TAX MAP 21 & PARCEL 99, TAX MAP 21

TENTH TAX DISTRICT

WORCESTER COUNTY

MARYLAND

J.W. SALM ENGINEERING, INC.

P.O. BOX 397, 9842 MAIN STREET, SUITE 3
BERLIN, MD 21011

ENVIRONMENTAL RESOURCES, INC.

38173 DUPONT BOULEVARD
P.O. BOX 169
SELBYVILLE, DE 19975

FORCE MAIN PROFILE

APPLICANT: OCEAN ENTERPRISES 589, LLC
15215 SHADY GROVE ROAD
ROCKVILLE, MD 20850-3235
(301) 840-2011

SCALE:

1"=100'

DATE:

JAN. 2012

DRAWING No.:

231-01-105

SHEET No.:

5

FRAC-OUT CONTINGENCY PLAN FOR OCEAN DOWNS ENTERPRISES, LLC
496-FOOT 6-INCH SANITARY SEWER FORCE MAIN
HORIZONTAL DIRECTIONAL DRILLING
BENEATH TURVILLE CREEK
OCEAN PINES, WORCESTER COUNTY, MARYLAND

ERI PROJECT 0417#0304

Dated: AUGUST 2012

1.0 INTRODUCTION

This Frac-Out Contingency Plan has been developed on behalf of Ocean Enterprises, LLC (permittee) to address the unlikely event of discharges of slurry or other pollutants associated with the proposed horizontal directional drilling (HDD) crossing of Turville Creek. The project engineer for Ocean Downs, LLC is J.W. Salm Engineering, Inc. The environmental consultant for the project is Environmental Resources, Inc.

The permittee and their contractor under direction of the project engineer shall follow the best management practices (BMP) during construction as stated in the publication, Horizontal Direction Drill Good Practices Guidelines by HDD Consortium and David Bennett, PhD and Casey E. Como, dated 2004 and 2001.

In order to ascertain the effect of HDD and installation of pipes or conduits on the topography of wetlands and waterway bottoms, prior to construction the permittee shall conduct a bathymetric survey in the vicinity of the sanitary sewer force main crossing.

A preconstruction meeting shall occur prior to the start of construction of the HDD crossing; Contractor's representatives, the project engineer and representatives of the Wetlands Administrator, Maryland Board of Public Works, shall be present.

During construction the permittee while crossing State and federally regulated tidal wetlands and waters shall provide weekly HDD monitoring reports to include, but not limited to, volume of drilling material used and recovered, method of material disposal and depth of bore below the creek bottom to the Department of the Environment, Inspection and Compliance Division. During construction daily visual monitoring of the drilling route and surrounding area, daily inspection notes shall be included with HDD records.

Should any evidence of a frac-out occur in federally or State regulated waters or wetlands, the following plan will be followed.

2.0 RESPONSE TO INADVERTENT FRAC-OUTS

In the event a frac-out is observed during the horizontal directional drilling (HDD) crossing, the frac-out will be assessed to determine the amount of slurry being released and potential for the

frac-out to reach Turville Creek and/or the associated wetlands. Response measures will vary based on the location of frac-out as described below.

A. Upland Locations

- Evaluate the frac-out to determine if containment structures are warranted and if they will effectively contain the frac-out;
- Promptly notify the on-site construction supervisor, environmental consultant and project engineer;
- Implement appropriate containment measures as needed to contain and recover the frac-out slurry as feasible;
- If the frac-out cannot be controlled, initiate immediate suspension of drilling operation until appropriate containment is in place;
- Depending on the volume of drilling-mud lost through the frac-out, the slurry may be removed by vacuum truck, shovel or in the case of small amounts, left in place;
- Removal of excess drilling mud at a rate sufficient to prevent an uncontrollable frac-out.

B. Wetland Location

- Temporarily suspend forward drilling and promptly notify the on-site supervisor and the project engineer and environmental consultant;
- Notifications by the permittee or his representative will be made to the Maryland Department of the Environment (MDE) and the United States Army Corps of Engineers, Baltimore District (CORPS);
- The on-site supervisor, project engineer and environmental consultant will evaluate wetland frac-outs and implement appropriate response and cleanup measures. Frac-out slurries in wetlands or within a 50-foot wetland buffer will be removed to the extent practical. Efforts to contain and recover slurry in wetlands may result in further disturbance by equipment and personnel, and possibly offset the benefit gained in removing the slurry. Because it is difficult to predict the effect of a frac-out and attempts to recover the slurry, frac-out within a wetland will be evaluated on a case-by-case basis in consultation with MDE and the Corps, and an appropriate level of response will be implemented;
- If the amount of the frac-out slurry is too small to allow the practical physical collection from the affected area, it will be diluted with fresh water and/or the fluid will be allowed to dry and dissipate naturally;
- If the amount of the slurry exceeds that which can be contained with hand-placed barriers, small collection sumps (less than 5 cubic yards) may be used to remove the slurry;

- If the amount of the slurry exceeds that which can be contained and collected using small sumps, drilling operations will be suspended until the frac-out can be brought under control;
- The slurry will be stored in a temporary holding tank or other suitable structure, out of the wetland area, for reuse or disposal.

C. In-Stream Locations

Ocean Enterprises, LLC and their project engineer has designed the HDD to minimize the potential for frac-out into Turville Creek and adjacent wetlands. However, if an inadvertent frac-out is observed in Turville Creek, the following measures will be implemented:

- Temporarily suspend forward progress and notify the on-site supervisor, project engineer, environmental consultant, MDE and the Corps. The project engineer will monitor the extent of the frac-out slurry plume;
- Initiate containment measures and recovery of the frac-out slurry as appropriate. Containment is not always feasible for in-stream frac-outs. However, conditions will be assessed as to whether hand-placed containment recovery or other measures such as silt curtains and turbidity barriers would be effective and beneficial at the specific frac-out location;
- Evaluate the current drill profile (e.g., drill pressures, pump volume rates, drilling mud consistency) to identify means to prevent further frac-out events. Drilling operations will not be suspended unless the release poses a threat to human health and safety;
- If the fracture is mitigated and controlled, forward progress of the drilling may resume;
- The project engineer will prepare a report that summarizes the incident.

3.0' CONTAINMENT MATERIALS

At a minimum, the following containment, response, and clean-up equipment will be available at the HDD crossing location:

- hay bales;
- silt fence;
- plastic sheeting;
- turbidity barriers;
- shovels, pails;
- push brooms;
- squeegees;
- pumps and sufficient hose;
- mud storage tanks;
- boat(s);
- vacuum truck on 24-hour call; and
- light plant/generator.

4.0 CLEAN-UP

Site-specific clean-up measures will be developed by the on-site supervisor, project engineer, environmental consultant, MDE and the Corps following a frac-out. The following measures are considered appropriate:

- Drilling mud will be cleaned up by hand using hand shovels, buckets and soft-bristled brooms as much as possible without causing extensive damage to existing vegetation. Fresh water washes will be employed if deemed beneficial and feasible;
- Containment structures will be pumped out and the ground surface scraped to bare topsoil without causing undue loss of topsoil or ancillary damage to existing and adjacent vegetation;
- Material will be collected in containers for temporary storage prior to removal from the site;
- Potential for secondary impact from the clean-up process is to be evaluated and clean-up activities terminated if physical damage to the site may exceed the benefits of clean-up activities.
- The need to restore disturbances to tidal wetlands will be determined in consultation with the Corps and MDE;

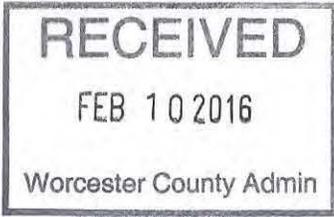
5.0 RESPONSE CLOSE-OUT PROCEDURES

When the frac-out has been contained and cleaned up, response closeout activities will be conducted at the direction of the on-site supervisor and project engineer and will include the following:

- The recovered drilling fluid will be recycled or disposed of at a stable upland location or commercial disposal facility. No recovered drilling mud will be disposed of in streams or storm drains;
- All containment measures (e.g., fiber rolls, straw bale) will be removed, unless otherwise specified by the project engineer and approved by the appropriate regulatory agencies.

6.0 PROJECT COMPLETION REPORTING

At the completion of the project, on behalf of the permittee, the project engineer shall submit a final completion report summarizing the impacts of the HDD project, if any, to the Department of the Environment, Inspection and Compliance Division including results of the weekly monitoring reports. The project engineer will also provide a final bathymetric survey of the HDD crossing and the vicinity as part of this final report comparing it with preconstruction survey results.



6

Snow Hill (Main Office)
410-632-1100
Fax 410-632-0906

Worcester County

HEALTH DEPARTMENT
P.O. Box 249 • Snow Hill, Maryland 21863-0249
www.worcesterhealth.org

Deborah Goeller, R.N., M.S.
Health Officer

MEMORANDUM

TO: Harold L. Higgins, Chief Administrative Officer
Kelly Shannahan, Assistant Chief Administrative Officer

FROM: Heather Barton, Director of Administrative Services *HJB*
Worcester County Health Department

CC: John Tustin, Director, Department of Public Works
Ken J. Whited, Maintenance Superintendent, Department of Public Works

DATE: February 6, 2016

SUBJ: Snow Hill Health Facility – Bid Recommendation for Replacement Doors

Following the bid review process, we are requesting your approval of awarding the bid for the entrance door assembly at Snow Hill Health to Walker Laberge as the low bidder. The Department of Public Works has performed a scope review with Walker Laberge and the bid is a valid one per the clarification that Walker Laberge provided on 1/12/2016, which is attached.

Thank you for your consideration.

Competitive Bid Worksheet

Item: Entrance Door Assembly Replacement Project at Health Department Facility in Snow Hill

Bid Deadline/Opening Date: 1:00 P.M., January 11, 2016

Bids Received by deadline = 2

Vendor's Submitting Bids

Total Bid Price

Walker & Laberge Glass, Co.
30235 Foskey Lane
Delmar, Maryland 21875

\$14,790⁰⁰

(page 4)

Charles Brown Glass, Co.
6581 Hobbs Road
Salisbury, Maryland 21804

\$17,895⁰⁰

(page 9)

Bid Specifications (page 11)

**WORCESTER COUNTY HEALTH FACILITY
 ENTRANCE DOOR REPLACEMENT PROJECT**

BID TABULATION

CT.	BIDDER	BASE BID	INFORMATIONAL PRICING HOURLY RATES			MAT. MARK UP	ALTERNATES
			SUPERVISION	JOURNEYMAN	APPRENTICE		
1	Walker Laberge Glass Company	\$14,790.00	Bid Form Note: Additional work will have to be quoted				Stanley Magic Force Door Operator
2	Charles Brown Glass Co., Inc.	\$17,895.00	\$85.00	\$75.00	\$60.00	10%	Record USA 8100 Series HD Operators

Walker & Laberge Co., Inc.
Glass & Glazing Contractor
30235 Foskey Lane Delmar, Maryland 21875



E-MAIL bobharringtonwl@verizon.net
PHONE 410-749-9400 FAX 410-749-8591

Bid Scope

1/12/16
Worcester County Health

“Supply and install door assemblies per the Bid Documents and Specifications to include a substitution of Stanley Magic Force door operators in lieu of the specified Horton door operators and glass that meets the requirements of the Bid Document Addendum #1.”

Quote 14,790.00

Thank You
Robert Harrington

BID FORM

**County Commissioners of Worcester County Maryland
"Entrance Door Assembly – Snow Hill Health Facility"**

We the undersigned have received all of the Bid Documents, Addenda and reviewed the referenced work site as related to this project and fully understand the documents and requirements in their entirety. We agree to perform these services at a total cost as follows:

TOTAL BID PRICE: \$ 14,790 .00

The Owner may request additional work or the Contractor may identify work that is required to complete the project but was not included in the Scope of Supply in the Bid Documents. All Bidders shall list their rates for additional work below.

INFORMATIONAL PRICING

Supervision...Additional Labor...per man hour.....ADD	\$ _____
Journeyman/Tech/Mechanic...Additional Labor...per man hour...ADD	\$ _____
Apprentice/Laborer...Additional Labor...per man hour.....ADD	\$ _____
Material Mark Up.....% ADD	

Additional work will have to be quoted

BID MUST BE SIGNED TO BE CONSIDERED

Date: 1/8/15 Signature: *Robert Harrington*
Name: Robert Harrington
Company: Walker Laberge Glass Company
Address: 30235 Foskey Lane
Delmar MD 21875
Telephone: 410-249-9400

NOTE: 1) ALTERNATE PRODUCTS TO BE LISTED AS AN ATTACHMENT TO THIS FORM...SEE FORM INCLUDED 2) ALTERNATE PRODUCT SUBMITTAL TO ACCOMPANY THIS FORM UNDER SEPARATE COMPANY LETTERHEAD.

Walker & Laberge Co., Inc.
Glass & Glazing Contractor
30235 Foskey Lane Delmar, Maryland 21875



E-MAIL bobharringtonwl@verizon.net
PHONE 410-749-9400 FAX 410-749-8591

Bid Scope

1/8/16
Worcester County Health Dept.
Attn Ken Whited

Door replacement

Walker Laberge will furnish and install one interior and one exterior entrance per bid scope, sketch and as follows.

Exterior entrance

One 6' x 7' pair of Kawneer Medium Stile (350 series) doors with 451T framing in a dark bronze anodized finish. Door will be centered between two sidelites with a 10" bottom rail. Glass will be 1" Bronze / Solarban 60 tempered insulated with the standard 10 year warranty. Hardware includes top, intermediate & bottom pivots, Paneline exit devices with keyed cylinder, Pull, one exposed manual closer, one Stanley heavy duty low energy ADA operator with R.C. push plates and bollard, threshold and weather stripping.

Interior entrance

One 6' x 7' pair of Kawneer medium stile doors with 450 framing in a dark bronze anodized finish. Door will be centered between two sidelites with same 10" bottom rail and 8 1/4" cross rail. Glass will be 1/4" clear laminated (.030). Hardware includes top, intermediate & bottom pivot, push and pulls, one exposed manual closer, one Stanley heavy duty low energy ADA operator with R.C. push plates, threshold and weather stripping.

Price includes: related caulking, removal of the existing sliders.

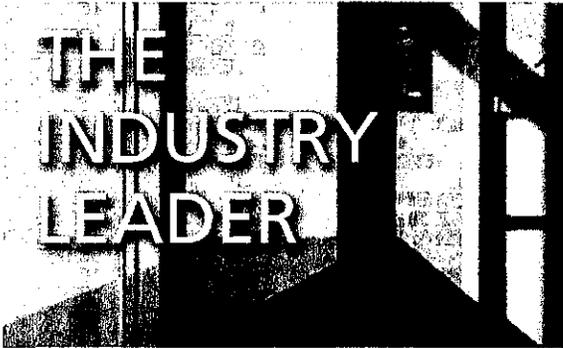
Price excludes: 115/120VAC to operators, cleaning, after installation protection

It is assumed that sliders can be removed without removing any type of trim. Price does not include any perimeter work other than caulking.

Quote for the above is \$14,790.00

Thank You

Robert Harrington



MAGIC-FORCE™ FULL OR LOW ENERGY SWING DOOR OPERATOR

Our Most Versatile Swing Door Operator

The industry leading STANLEY Magic-Force is the operator of choice for professionals who trust its long-lasting durability and dependable product performance. The Magic-Force is our most versatile operator because it comes in a variety of mounting styles, integrates with a variety of sensors and systems and effortlessly adapts to the most diverse set of job site conditions including full or low energy and light to heavy duty usage.

FEATURES AND BENEFITS

- **Design Flexibility:** Multiple header configurations support a variety of mounting styles. Compatible with a variety of systems and activation sensors.
- **Installation Flexibility:** Right or left hand operation (non-handed). No special tools needed. Either full energy ANSI 156.10 (motion activated) or low energy ANSI 156.19 (knowing-act activated). Adjustable spring for precise closing force control.
- **Operational Flexibility:** Light to heavy duty. Powers door panels up to 48" wide and 350lbs+* or up to 75 ft/lb torque. UL listed for fire rated doors. Electric lock integration now built in. Acts as a mechanical closer for manual operation in power outages. Features on, off and hold open switch.
- **Impressive Operation:** Smooth, controlled and built to resist wind and stack pressure conditions while operating as quiet as a refrigerator (50 decibels).
- **Maximum Safety Every Time:** Microprocessor-based controller will stop immediately at any point of the doors swing cycle when an obstacle is detected. Add-on sensors available for additional safety.

A DIVISION OF:

STANLEY.
Security

MAGIC FORCE™ FULL OR LOW ENERGY SWING DOOR OPERATOR

OPTIONAL FEATURES

- Custom finishes
- Transom
- Traffic pattern options
- Power close
- Mounting options:
 - Surface mount
 - Semi-concealed
 - Concealed
- Magic Touch™ Activation for power open when opened manually past 3°
- Complete factory engineered door system that includes center pivoted door panels
- Bottom load
- In ground
- In-swing
- Out-swing
- Right hand
- Left hand

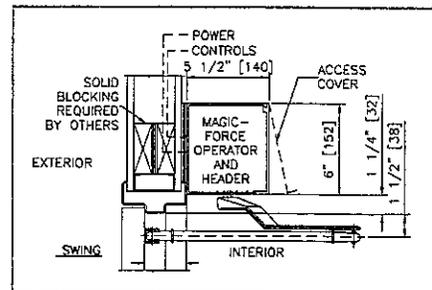
SAFETY SENSORS

- **Low Energy:** Swing-Guard LE option keeps the door open when a pedestrian is in its swing path.
- **Full Energy:** Swing-Guard FE* option and Sentrex-3* option (complete door system only) keeps the door open when a pedestrian is in its swing path and stays active when the door is in motion.

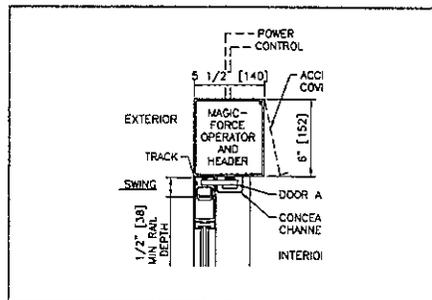


*No supplemental overhead sensor required.

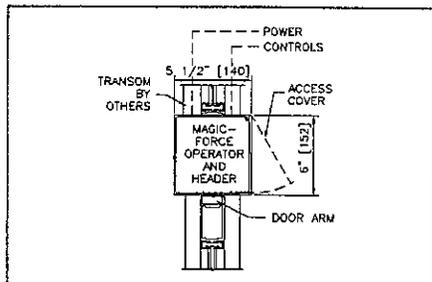
SECTION VIEWS



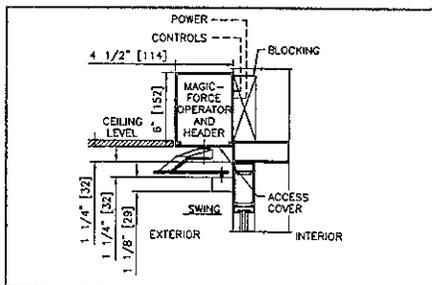
SURFACE MOUNT



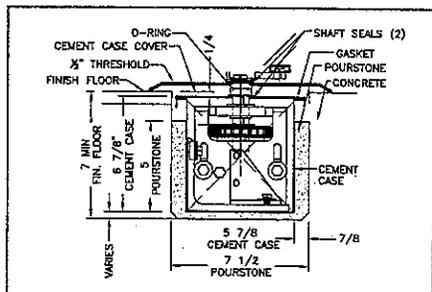
SEMI-CONCEALED



CONCEALED



BOTTOM LOAD



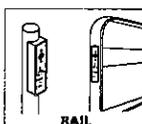
IN GROUND

ACTIVATION

- **Full Energy:** SU-100 option provides a wide and deep activation zone to assure door remains fully open while someone is entering or exiting.



- **Low Energy Options:**



SPECIFICATIONS	
Header Size	6.0" (152mm) high x 5.5" (140mm) deep
Swing Door Panels	Up to 48" (1220mm)
Door Panel Weight	350+ lbs* (160kg) or up to 75 ft/lb torque
Drive System	3/16HP DC motor, gear drive
Controller	Microprocessor-based with built-in "reverse-on-obstruction"
Safety Sensor Options	Low Energy: Swing-Guard LE, Full Energy: Swing Guard FE, other ANSI certified systems
Activation Options	Low Energy: Push plates, wireless radio controls, card reader keypads, touch-less wave sensor, rail. Low Energy Assisted Open: Magic-Touch™. Full Energy STANLEY SU-100 Motion sensors or mats.
Breakout	Automatic reset (center hung)
Power Required	120 VAC, minimum 5 amps, 50/60 HZ
Code Compliance	UL/cUL 325, UL 10C, ANSI/BHMA A156.10/156.19, IBC, NFPA 101, ANSI 117.1

*Consult your local representative

BID FORM

**County Commissioners of Worcester County Maryland
"Entrance Door Assembly – Snow Hill Health Facility"**

We the undersigned have received all of the Bid Documents, Addenda and reviewed the referenced work site as related to this project and fully understand the documents and requirements in their entirety. We agree to perform these services at a total cost as follows:

TOTAL BID PRICE: \$ 17,895 .00

The Owner may request additional work or the Contractor may identify work that is required to complete the project but was not included in the Scope of Supply in the Bid Documents. All Bidders shall list their rates for additional work below.

INFORMATIONAL PRICING

Supervision...Additional Labor...per man hour.....ADD	\$ <u>85.00</u>
Journeyman/Tech/Mechanic...Additional Labor...per man hour...ADD	\$ <u>75.00</u>
Apprentice/Laborer...Additional Labor...per man hour.....ADD	\$ <u>60.00</u>
Material Mark Up.....% ADD	<u>10%</u>

BID MUST BE SIGNED TO BE CONSIDERED

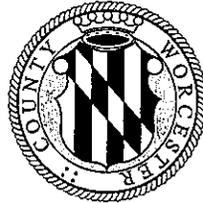
Date: 1/11/2016 Signature: Charles L Brown
Name: CHARLES L BROWN JR
Company: CHARLES BROWN GLASS CO
Address: 6581 HUBBS LANE
SANDBURY, MD 21004
Telephone: 410 299 3376

NOTE: 1) ALTERNATE PRODUCTS TO BE LISTED AS AN ATTACHMENT TO THIS FORM...SEE FORM INCLUDED 2) ALTERNATE PRODUCT SUBMITTAL TO ACCOMPANY THIS FORM UNDER SEPARATE COMPANY LETTERHEAD.

ALTERNATE PRODUCT LIST

ITEM	DESCRIPTION/MFG./MODEL/MATERIAL
ALT. NO. 1	(2) Record USA 8100 Series heavy duty operators in dark bronze (2) BEA surface mount jamb box (1) bronze BEA bollard 6x4x42 (2) push plate transmitter receiver pkgs (2) BEA jamb switch press
ALT. NO. 2	
ALT. NO. 3	
ALT. NO. 4	
ALT. NO. 5	
ALT. NO. 6	

TEL: 410-632-1194
FAX: 410-632-3131
E-MAIL: admin@co.worcester.md.us
WEB: www.co.worcester.md.us



OFFICE OF THE
COUNTY COMMISSIONERS

HAROLD L. HIGGINS, CPA
CHIEF ADMINISTRATIVE OFFICER
JOHN E. "SONNY" BLOXOM
COUNTY ATTORNEY

COMMISSIONERS
MADISON J. BUNTING, JR., PRESIDENT
MERRILL W. LOCKFAW, JR., VICE PRESIDENT
ANTHONY W. BERTINO, JR.
JAMES C. CHURCH
THEODORE J. ELDER
JOSEPH M. MITRECIC
DIANA PURNELL

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103

SNOW HILL, MARYLAND

21863-1195

December 15, 2015

FAXED
12/16/15 @ 3:14pm

TO: *The Daily Times* Group and *Ocean City Today* Group
FROM: Kelly Shannahan, Assistant Chief Administrative Officer *KS*

Please print the attached Notice to Bidders in *The Daily Times/Worcester County Times/Ocean Pines Independent* and *Ocean City Digest/Ocean City Today* on December 24, 2015. Thanks.

NOTICE TO BIDDERS

Worcester County Health Department Facility in Snow Hill Entrance Door Assembly Replacement Project Worcester County, Maryland

The County Commissioners of Worcester County Maryland are currently accepting bids for replacing the existing front automatic sliding door assemblies at the Worcester County Health Department facility located at 6040 Public Landing Road, Snow Hill, Maryland 21863. Bid specification packages and bid forms are available from the Office of the County Commissioners, Worcester County Government Center, One West Market Street - Room 1103, Snow Hill, Maryland 21863, obtained online at www.co.worcester.md.us or by calling the Commissioners' Office at 410-632-1194 to request a package by mail. A pre-bid meeting will not be held but Bidders are encouraged to visit the facility to review demolition and installation requirements. **Sealed bids will be accepted until 1:00 p.m., Monday, January 11, 2016** in the Office of the County Commissioners at One West Market Street - Room 1103, Snow Hill, Maryland 21863, at which time they will be opened and publicly read aloud. Envelopes shall be marked "**Bid for Entrance Door Assembly - Snow Hill Health**" in the lower left-hand corner. After opening, bids will be forwarded to the Public Works Department for tabulation, review and recommendation to the County Commissioners for their consideration at a future meeting. In awarding the bid, the Commissioners reserve the right to reject any and all bids, waive formalities, informalities and technicalities therein, and to take whatever bid they determine to be in the best interest of the County considering lowest or best bid, quality of goods and work, time of delivery or completion, responsibility of bidders being considered, previous experience of bidders with County contracts, or any other factors they deem appropriate. All inquiries shall be directed to Kenneth J. Whited, Maintenance Superintendent, at 410-632-3766.

WORCESTER COUNTY-DPW

Maintenance Division

**WORCESTER COUNTY HEALTH DEPT. FACILITY
ENTRANCE DOOR ASSEMBLY REPLACEMENT PROJECT**

ADDENDUM NO. 1

Issued: 1/7/2016

REVISION: LOW E GLASS CLARIFICATION

Pages: 1

Change the 1" bronze low-E insulated make up as follows:

¼" bronze heat strengthened /tempered outboard ½" air space ¼" clear annealed/tempered in board with Solarban 60 low-E coating on # 3 surface

INSTRUCTIONS TO BIDDERS

1. **BIDS**

Bids should be submitted in sealed envelopes clearly marked in the lower left-hand corner “**Bid for Entrance Door Assembly – Snow Hill Health**”

2. **LATE BIDS**

Bids should be mailed or hand carried to be received in the Office of the County Commissioners by or before **1:00 p.m., Monday January 11, 2016**. Bids received after the appointed time will not be considered.

3. **TAXES**

The County is **NOT** exempt from all federal and state taxes on this project. Your prices should reflect included taxes.

4. **PRE-BID INSPECTION**

A pre-bid meeting will not be held but Bidders are encouraged to visit the facility to review demolition and installation requirements. Further inquiries will be directed to Ken Whited during normal work days between the hours of 7:30 a.m. and 4:00 p.m. at (410) 632-3766 or by electronic mail to kenwhited@co.worcester.md.us.

5. **SCOPE OF SUPPLY**

Replace existing front entry door system (interior and exterior automatic sliding door assemblies) with swing door assemblies at the Worcester County Health Facility so located at 6040 Public Landing Road, Snow Hill, MD 21863. Sketches of the new assemblies are included herein for reference.

REPLACEMENT OF EXTERIOR SLIDING DOOR ASSEMBLY: Remove existing four panel exterior automatic sliding entrance doors, frames etc as may be required to:

FURNISH & INSTALL: New replacement swing door assembly to consist of; Kawneer 451T 2” x 4 ½” center glazed thermally broken aluminum framing for the sidelites. Pair of doors 6’0 x 7’0 Kawneer medium stile 350 dark bronze anodized out swing only aluminum entrance doors complete with: top/bottom/intermediate offset pivots, 10” bottom rails, Paneline mid panel recessed concealed vertical panic exit devices, Dorma 7515 exposed overhead closers, glazing is 1” bronze tempered lowE 10 year seal warranty insulated glass constructed of ¼” bronze tinted outboard – solarban 60 high performance lowE on #2 surface – ½” air space – ¼” clear tempered inboard, sweeps, 4 mill ADA compliant threshold. Disposition of automatic door assemblies will be at the owner’s discretion.

6. **SPECIFICATIONS**

- A. All products shall be new.
- B. The Contractor or Manufacturer shall certify that all materials intended to be used in the work are acceptable and compatible for their intended end use.
- C. The supplied products shall be installed only by a qualified contraction firm, which has been installing the specified product for not less than 5 years and is approved (licensed where applicable) by the material/equipment manufacturer.
- D. All material/equipment selections, installation methods and fastening systems shall meet all applicable codes by the agency having jurisdiction for the work.
- E. Bidders shall include all fees, taxes, permits, electrical power for the work, compressed air for pneumatic tools, debris removal, clean up and inspections.
- F. Bidders/Contractors shall furnish all manufacturers warranties and include manufacturer's statements as applicable.

7. **PRODUCT**

All products shall be as described above unless the Bidder elects to provide alternate products that are equal to or better than what is specified. The alternate product manufacturers & models shall be submitted (complete product specifications/submittal) under separate cover with the Bid Form for the County's consideration. The alternate product shall be identified on the Bid Form. See section on form for listing the alternate products.

REPLACEMENT OF INTERIOR SLIDING DOOR ASSEMBLY: Remove existing four panel interior automatic sliding entrance doors.

FURNISH & INSTALL: New replacement swing door assembly to consist of; Kawneer 450 1 3/4" x 4 1/2" non thermal aluminum framing for the sidelites. Pair of doors 6'0 x 7'0 Kawneer medium stile 350 dark bronze anodized out swing only aluminum entrance doors complete with: top/bottom/intermediate offset pivots, 10" bottom rails, 8 1/4" crossrail, C09 CP 1" tubular push pull hardware, blank cylinders in active leaf, flushbolts in inactive leaf (door will be unlockable), 4" mill threshold, LCN exposed overhead closers, glazing for entire interior is 1/4" clear laminated safety glass constructed of two lites 1/8" annealed and .030 binder for additional security and sound deadening.

Automate the active/right leaf only of each pair using two (2) Horton 4100LE sideload push assembly 39" RHR DKB with regular push arm, one (1) BEA 6" x 4" x 4" bollard steel in dark bronze, two (2) BEA PPP1 push plate package, two (2) BEA jamb switch press to open, two (2) BEA surface mount jamb box.

Automatic door exclusions: 1) 120VAC power to door operators shall be provided by others. 2) Worcester County Seal/Logo shall be provided by others.

NOTE: 1) See attached sketch of new door assemblies. 2) All new door systems shall meet all ADA accessible standards.

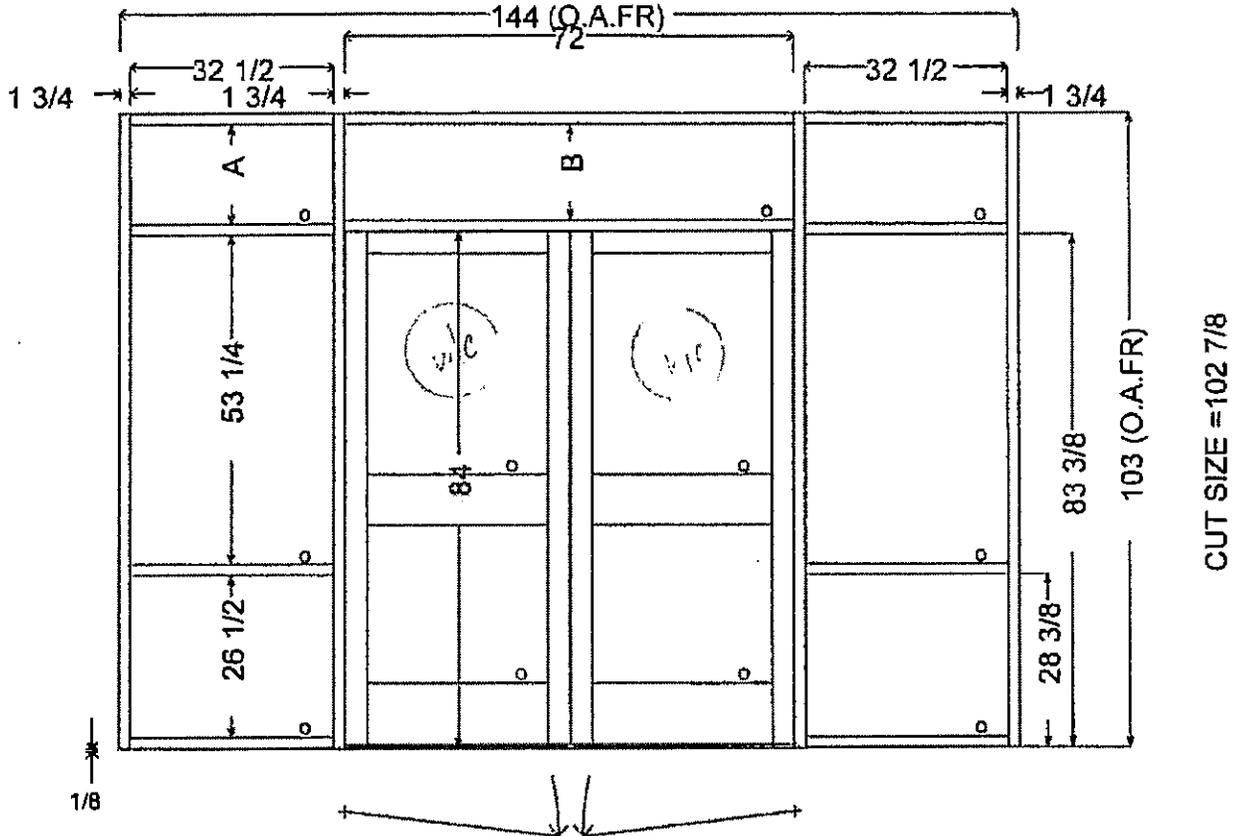
- Work Included:

- .1 Contractor shall provide all supervision, labor, materials, tools and equipment to remove and replace the existing door assemblies as described in the Bid Documents to the satisfaction of the County, governing inspection agencies and manufacturer.
- .2 Contractor shall notify the County in writing of any potential conflicts observed with performance of the work.
- .3 Contractor shall provide daily clean-up and removal off-site of all trash and debris generated by the work.
- .4 Contractor shall be required to locate stored materials in an area(s) designated by the County. Contractor further acknowledges the need to store some of the product off site. This may be at the Contractor's facilities or at the manufacturer's factory warehouse and if the Contractor is invoicing for stored materials then the Contractor shall provide insurance for the stored materials.
- .5 Contractor shall provide any vertical hoisting and horizontal transportation required by this scope.
- .6 Contractor to provide protective barriers and barricades as required protecting the staff and patrons of the building from any harm arising from performance of the work.
- .7 Contractor shall repair at its own expense any and all damage associated with the performance of this work.

Project Name: Worcester County Health Dept
 Frame Set Name: Interior Main Entry
 Metal Group: M450 CG/SS/OG STOPS DOWN Modified: 39
 Required: 1 Panels: 3 Rows: 3
 Back Member Color: #40 DARK BRONZE : PERMANODIC

5/4/2015 10:59 AM

Frame Name: Frame 2
 D/S: 1 Frame Type: Standard
 Frame Width: 144 Frame Height: 103
 Face Member Color: #40 DARK BRONZE : PERMANODIC



A=16 1/8 B=15 1/2



*WINDSTOPPER HIGH PERFORMANCE
 AIRSTOP EXTERIOR AIR ONLY*

BID FORM

**County Commissioners of Worcester County Maryland
"Entrance Door Assembly – Snow Hill Health Facility"**

We the undersigned have received all of the Bid Documents, Addenda and reviewed the referenced work site as related to this project and fully understand the documents and requirements in their entirety. We agree to perform these services at a total cost as follows:

TOTAL BID PRICE: \$ _____, _____ .00

The Owner may request additional work or the Contractor may identify work that is required to complete the project but was not included in the Scope of Supply in the Bid Documents. All Bidders shall list their rates for additional work below.

INFORMATIONAL PRICING

Supervision...Additional Labor...per man hour.....ADD	\$ _____ . _____
Journeyman/Tech/Mechanic...Additional Labor...per man hour...ADD	\$ _____ . _____
Apprentice/Laborer...Additional Labor...per man hour.....ADD	\$ _____ . _____
Material Mark Up.....% ADD	

BID MUST BE SIGNED TO BE CONSIDERED

Date: _____ Signature: _____
Name: _____
Company: _____
Address: _____
Telephone: _____

NOTE: 1) ALTERNATE PRODUCTS TO BE LISTED AS AN ATTACHMENT TO THIS FORM...SEE FORM INCLUDED 2) ALTERNATE PRODUCT SUBMITTAL TO ACCOMPANY THIS FORM UNDER SEPARATE COMPANY LETTERHEAD.

ALTERNATE PRODUCT LIST

ITEM	DESCRIPTION/MFG./MODEL/MATERIAL
ALT. NO. 1	
ALT. NO. 2	
ALT. NO. 3	
ALT. NO. 4	
ALT. NO. 5	
ALT. NO. 6	

BIDDERS

✓ KDG
12/16/15

Charles Brown Glass Company
6581 Hobbs Road
Salisbury, MD 21802
Te. (410) 749-3316
Fax (410) 749-2248
Attn: Charles Brown Jr.
Email Address: charliejr@charlesbrownglass.com

Walker & Laberge Co., Inc.
30235 Foskey Lane
Delmar, MD 21875
Te. (410) 749-9400
Fax: (410) 749-8591
Attn: Bob Harrington
Email Address: bobharringtonwl@verizon.net

Mr. Go-Glass
11158 Five L Drive
Berlin, MD 21811
Email Address: ocean@go-glass.com

Masterjack
11935 Hammer Road
Bishopville, MD 21813
Te. (410) 352-5000
Attn: Paola Litterio
paola@masterjackwindows.com

RECEIVED
 FEB 10 2016
 Worcester County Admin



7

Worcester County
DEPARTMENT OF PUBLIC WORKS
 6113 TIMMONS ROAD
 SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
 DIRECTOR

MEMORANDUM

JOHN S. ROSS, P.E.
 DEPUTY DIRECTOR

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 10, 2016
SUBJECT: Bid Recommendation
 Blacktop Surfacing of County Roadways - FY16

TEL: 410-632-5623
 FAX: 410-632-1753

DIVISIONS

MAINTENANCE
 TEL: 410-632-3766
 FAX: 410-632-1753

ROADS
 TEL: 410-632-2244
 FAX: 410-632-0020

SOLID WASTE
 TEL: 410-632-3177
 FAX: 410-632-3000

FLEET MANAGEMENT
 TEL: 410-632-5675
 FAX: 410-632-1753

WATER AND WASTEWATER
 TEL: 410-641-5251
 FAX: 410-641-5185

Bids were received and opened on February 8, 2016 for the blacktop resurfacing of approximately 4.10 miles of County roadway (4,342 tons). Attached for your review and approval are the four bids received along with a summary of cost listed below.

Vendor	Cost Per Ton	Total Estimated Cost
Allan Myers Dover, DE	\$69.94	\$303,679.48
George & Lynch, Inc. Dover, DE	\$74.52	\$323,565.84
Chesapeake Paving Parsonburg, MD	\$75.00	\$325,650.00
Del-Mar-VA Paving Company, Inc Seaford, DE	\$89.50	\$388,609.00

Page
 4
 5
 6
 7
 8

Upon review by the Department of Public Works, Roads Division, it was determined that all four bids received did meet the required specifications; therefore, it is requested that the Commissioners approve and accept the low bid of \$69.94 per ton submitted by Allan Myers. Funding in the amount of \$1,000,000 for road resurfacing projects was approved in the current FY16 operating budget in the general fund account 100.1202.6140.010.

Due to the various bids coming in substantially lower than estimated this has resulted in \$136,157.85 available for additional roads to be added to the blacktop schedule which is approximately 1,945 tons.

Below is a recommendation of additional roads to be added to the current blacktop schedule.

<u>Road Name</u>	<u>Directions</u>	<u>Length</u>	<u>Width (ft)</u>	<u>Tons</u>
Shire Drive		.63	20.0'	616
Cash Road		.24	17.0'	200
Cash Road	Intersection			30
Evans Road	Ironshire Station Rd towards Cedar Lane	1.04	21.5'	1,093
Total Additional Tonnage				1,939

Should you have any questions, please don't hesitate to call me.

Attachments

cc: Frank Adkins

Competitive Bid Worksheet

Item: Blacktop Surfacing of County Roadways - FY16

Bid Deadline/Opening Date: 1:00 P.M., Monday, February 8, 2016

Bids Received by deadline = 4

Blacktop Surfacing
4.10 miles of Roads
4,342 Tons[±] of Superpave 9.5mm
Bituminous Concrete - 1.5" compacted depth
Fixed Price per Ton

Vendor's Submitting Bids

Del-Mar-Va Paving Co., Inc.
P.O. Box 366
Seaford, DE 19973

\$89.50

George & Lynch, Inc.
150 Lafferty Lane
Dover, DE 19901

\$74.52

Allan Myers
440 Twin Oaks Drive
Dover, DE 19904

\$69.94

Chesapeake Paving
7951 Jones Hastings Road
Parsonsburg, MD 21849

\$75.00

BID FORM

“Blacktop FY16”

I/We have reviewed the specifications and provisions for furnishing and applying approximately 4,342 tons± of Superpave 9.5mm Bituminous Concrete (1-1/2 inches± compacted depth) to approximately 4.10 miles± of roads at various locations in Worcester County and understand said requirements. I/We hereby propose to furnish and apply:

4,342 Tons± Bituminous Concrete @ \$ 69.94 fixed price per ton

Work is to be completed by May 31, 2016.

BID MUST BE SIGNED TO BE VALID.

Date: 2/8/16

Signature: Richard W. Dungan

Typed Name: Richard W. Dungan

Title: Executive VP of Construction

Firm: Allan Myers MD, Inc.

Address: P.O. Box 278
Fallston, MD 21047

Phone: 410-879-3055

BID FORM

"Blacktop FY16"

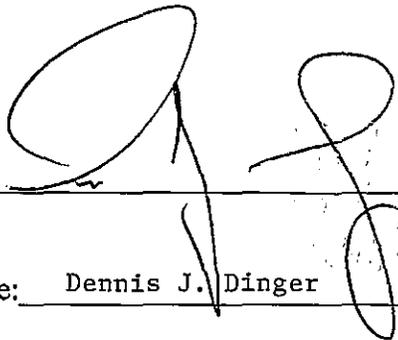
I/We have reviewed the specifications and provisions for furnishing and applying approximately 4,342 tons± of Superpave 9.5mm Bituminous Concrete (1-1/2 inches± compacted depth) to approximately 4.10 miles± of roads at various locations in Worcester County and understand said requirements. I/We hereby propose to furnish and apply:

4,342 Tons± Bituminous Concrete @ \$ 74.52 fixed price per ton

Work is to be completed by May 31, 2016.

BID MUST BE SIGNED TO BE VALID.

Date: 2/8/2016

Signature: 

Typed Name: Dennis J. Dinger

Title: President

Firm: George & Lynch, Inc.

Address: 150 Lafferty Lane
Dover, DE 19901

Phone: (302) 736-3031

BID FORM

"Blacktop FY16"

I/We have reviewed the specifications and provisions for furnishing and applying approximately 4,342 tons± of Superpave 9.5mm Bituminous Concrete (1-1/2 inches± compacted depth) to approximately 4.10 miles± of roads at various locations in Worcester County and understand said requirements. I/We hereby propose to furnish and apply:

4,342 Tons± Bituminous Concrete @ \$ 75⁰⁰ fixed price per ton

Work is to be completed by May 31, 2016.

BID MUST BE SIGNED TO BE VALID.

Date: Feb 5, 2016

Signature: Jeff W. Brown

Typed Name: Chesapeake Paving
Jeff Brown

Title: owner/president

Firm: Chesapeake Paving

Address: 7951 Jones Hastings Rd
Parsonsburg Md
21849

Phone: OFFICE 410 742-2330
cell 410 430-2559
Fax 410 749-0466

BID FORM

“Blacktop FY16”

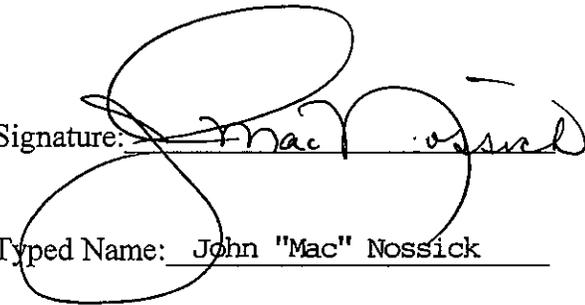
I/We have reviewed the specifications and provisions for furnishing and applying approximately 4,342 tons± of Superpave 9.5mm Bituminous Concrete (1-1/2 inches± compacted depth) to approximately 4.10 miles± of roads at various locations in Worcester County and understand said requirements. I/We hereby propose to furnish and apply:

4,342 Tons± Bituminous Concrete @ \$ 89.50 fixed price per ton

Work is to be completed by May 31, 2016.

BID MUST BE SIGNED TO BE VALID.

Date: February 4, 2016

Signature: 

Typed Name: John "Mac" Nossick

Title: Estimator

Firm: Del-Mar-Va Paving Co., Inc.

Address: P.O. Box 366
Seaford, DE 19973

Phone: (302) 629-7995

✓ KDC
1/20/16

NOTICE TO BIDDERS

Blacktop, Chip Seal and Slurry Seal Surfacing of Roadways Worcester County, Maryland

The Worcester County Commissioners are currently accepting separate bids for county-wide blacktop surfacing, chip seal surfacing and slurry seal surfacing of various sections of roadways in Worcester County to be completed by May 31, 2016 for the Worcester County Department of Public Works, Roads Division. Bids for blacktop surfacing will require approximately 4,342 Tons of Superpave 9.5 mm Bituminous Concrete for paving of roughly 4.10 miles of road. Bids for chip seal surfacing will require approximately 293,619 square yards of 7RC Chip Seal for paving of roughly 27.86 miles of road. Bids for slurry seal surfacing will require approximately 80,009 square yards of Slurry Seal for paving of roughly 3.45 miles of road. Bid specification packages and bid forms for either Blacktop Surfacing, Chip Seal Surfacing or Slurry Seal Surfacing are available from the Office of the County Commissioners, Room 1103 - Worcester County Government Center, One West Market Street, Snow Hill, Maryland 21863-1195, obtained online at www.co.worcester.md.us or by calling the Commissioners' Office at 410-632-1194 to request a package by mail. **Sealed bids will be accepted until 1:00 PM, Monday, February 8, 2016** in the Office of the County Commissioners at the above address, at which time they will be opened and publicly read aloud. Envelopes shall be marked either "**Blacktop Bid**" or "**Chip Seal Bid**" or "**Slurry Seal Bid**" in the lower left-hand corner. After opening, bids will be forwarded to the Public Works Department for tabulation, review and recommendation to the County Commissioners for their consideration at a future meeting. In awarding the individual bids for each type of road surfacing, the Commissioners reserve the right to reject any and all bids, waive formalities, informalities and technicalities therein, and to take whichever bid for each type of road surfacing they determine to be in the best interest of the County considering lowest or best bid, quality of goods and work, time of delivery or completion, responsibility of bidders being considered, previous experience of bidders with County contracts, or any other factors they deem appropriate. All inquiries shall be directed to Frank Adkins, Roads Superintendent, at 410-632-2244, Monday through Thursday, 6:00 am to 4:30 pm.

Bid Specifications

The Worcester County Commissioners are currently accepting bids on Bituminous Concrete. Sealed bids will be accepted until **1:00 PM, Monday, February 8, 2016**, at the Worcester County Commissioners Office, Room 1103, Worcester County Government Center, One West Market Street, Snow Hill, MD 21863 at which time they will be opened and publicly read aloud. After opening, bids will be forwarded to the Department of Public Works for tabulation, review and recommendation to the County Commissioners for award at a future date. **Envelopes must be marked in lower left corner with "Blacktop Bid"**.

The work is to be completed by **May 31, 2016**. No bid bond is required. If all work is not completed as specified within liquidated damages shall be imposed as stated. **A pre-construction meeting will be required within five (5) days prior to commencement of work.**

ITEM I - BLACK TOP SPECIFICATIONS:

All paving will be done in accordance with the requirements and covenants of the Maryland State Highway Administration's Specifications of March 1968 and all subsequent addenda thereto, the plans of the proposed improvements and the special provisions contained herein.

The contractor will provide, erect and maintain all necessary barricades, danger signals and signs provide sufficient number of flaggers and take all necessary precaution for the protection of the work and safety of the public.

The Bituminous Concrete Material Surface Course will be placed at approximately one and one-half (1-1/2) inches± compacted depth, Superpave 9.5mm. Quantities are approximate and unit prices shall apply regardless of any increase or decrease in the estimated quantities.

This item, "Bituminous Concrete", shall be paid for on a per ton basis, which price and payment shall constitute full compensation for furnishing, hauling and placing, preparation of all materials and for all labor, equipment, tools and incidentals necessary to complete this item. All milling of joints are to be included in bid price which include but not limited to driveways, intersections, curbing, etc. Any wedging of roads to be paved shall be determined by the inspector or Roads Superintendent. The tons of bituminous concrete required for wedging shall be deducted from the total tons required for paving "said road" or will be deducted from the total tons required for the entire project.

A materials laboratory under the direction of a competent laboratory technician or engineer shall be available at the plant site at all times during the mixing of bituminous concrete. Bitumen extraction, marshall, stability tests and aggregate gradation will be required at the discretion of the engineer. This will not be a pay item and considered as incidental to the construction.

Miscellaneous: **No work will be performed on weekends or holidays.**

WARRANTY:

All work and materials shall be warranted for a period of one year. This shall include but not be limited to slippage or tearing.

DESCRIPTION:

The project requires the furnishing and application of all specified asphalt and Aggregate cover materials. The contractor provides all necessary labor, equipment and materials, including maintenance of traffic items.

Asphalt distributing equipment per SHA specifications.

Power broom required. See following section below.

The contractor shall use two (2) 12-15 ton steel wheel rollers. Anything less will **not** be accepted.

All other equipment per SHA specifications or as required for successful prosecution of the work.

Weather:

Referenced SHA section 503.03.02

Foundation Preparation:

The County will trim the shoulders of roads to be paved.

The County will patch all ruts or potholes as deemed necessary.

The contractor shall power broom the surface to remove all loose and foreign materials prior to application of the asphalt. The power broom, operator, fuel, maintenance, and traffic control will not be paid for directly, and is considered incidental to the pay items in the schedule of prices.

Verification:

The type, quantity, and temperature of asphalt material applied must be verified to the satisfaction of the inspector.

Maintenance, Protection and Performance of the Work:

The contractor shall exercise control of the delivery and application of asphalt materials to prevent damage to the roadway surface. Contractor shall be responsible for all delivery trucks and operators to assure no damage is done to recently laid mat. Delivery drivers will not be allowed to use diesel fuel for the purpose of cleaning dump bodies of the trucks in area where new mat is to be laid.

POC:

The contractor shall designate a contact person and telephone number for the handling of complaints or claims of the public due to the contractor's operation.

Mail and paper box care:

The contractor's attention is called to mail or paper boxes on this project that may be within the limit of work. These boxes if required to be moved for equipment shall be the contractor's responsibility. They shall be moved to a suitable location that mail and papers may be received as usual. When construction in a given area has reached the stage that there is no more conflict with such boxes, they shall be placed permanently at or near their original location to conform to U.S. postal requirements. If these boxes or their supports are damaged by the contractor during construction of this project, they shall be repaired or replaced in kind at the contractor's expense. No additional payment will be made to the contractor for adjustments to the existing mail and or paper boxes, but will be considered incidental to other pay items.

MAINTENANCE OF TRAFFIC

Conformance requirements:

SHA "Standard Specifications for Construction and Materials" (SHA Standard Specifications)
section 104

SHA "Book of Highway Standards"

FHA "Manual on Uniform Traffic Control Devices" (MUTCD)

The contractor must maintain traffic at all times throughout the entire length of the project, including public and private and commercial entrances, street intersections, etc.

Traffic Manager (TM) - Traffic Control Plan (TCP)

Referenced SHA section 104.02.03

The contractor shall appoint a Traffic Manager responsible for Maintenance of Traffic conformance requirements. This individual shall develop and submit to the County a Traffic Control Plan suitable to his plan of construction for a given location. This plan will be reviewed with the project inspector and jointly agreed upon prior to starting the work. If during the course of the work adjustments are necessary to traffic control measures the contractor shall take corrective action as required or directed.

Temporary Traffic Signs (TTS):

The contractor shall furnish and install all necessary TTS as required by Sec. 6B of the MUTCD.

Cones:

Cones shall meet the requirements of Sec. 104.14 SHA Standard Specifications.

Flaggers-Pilot Vehicles-Radio Communication:

The contractor shall furnish all necessary MD SHA Certified flag persons in conformance with Section 6F of the MUTCD and Sec. 104.15 of the SHA Standard Specifications. Flaggers shall use STOP/SLOW paddles. Two-way radios or pilot vehicles shall be used whenever flaggers are not within sight distance of each other, or when directed by the Engineer.

Basis of Payment:

All aforementioned items under this section Maintenance of Traffic will NOT be paid for directly and shall be considered incidental to the other pay items.

MOBILIZATION:

Movement of personnel and equipment to and from the project sites and staging equipment will not be paid for directly and shall be considered incidental to the other pay items.

METHOD OF MEASUREMENT AND BASIS OF PAYMENT

All correspondence and invoices are to be sent to the Worcester County Department of Public Works, Roads Division, 5764 Worcester Highway, Snow Hill, MD 21863.

The County Commissioners shall be the sole judge as to whether or not any bid meets specifications. The County Commissioners reserve the right to accept or reject any bid in the best interest of the County.

1. **LIQUIDATED DAMAGES** - For each day that the work shall remain uncompleted after the time specified for completion, the sum per day, given in the following schedule shall be deducted by the County from monies due the Contractor, not as a penalty, but as liquidated damaged.

<u>Amount of Contract</u>	<u>Amount of Liquidated Damages per Day</u>
Less than \$10,000	\$ 80.00
\$10,000 and less than \$50,000	\$160.00
\$50,000 and less than \$100,000	\$240.00
Greater than \$100,000	\$400.00

2. **CONTRACTOR'S INSURANCE** - The contractor shall take out and maintain during the life of this contract, Workmen's Compensation Insurance for all of his or any subcontractor's employees employed at the site of the work; and such Public Liability and Property Damage Insurance as shall protect him from claims which may arise from operations under this contract for personal injury (including accidental death) as well as for property damage - whether such operations are by himself or by any subcontractor, or by anyone directly employed by them.

Public Liability Insurance shall be in the amount not less than \$500,000 for injuries, including wrongful death to any one person; and, subject to the same limit for each person, in an amount not less than \$1,000,000 on account of one accident.

Property Damage Insurance shall be in an amount not less than \$500,000 for damages on account of any one accident, and in an amount not less than \$1,000,000 for damages on account of all accidents.

MEASUREMENT AND PAYMENT

1. **MEASUREMENT OF QUANTITIES** - The Engineer shall make final measurements to determine the quantities of various items of work performed as the basis of final settlement. Pay weight for all items to be paid for by weight shall be determined by actual certified scale weight, certified shipping weight, or by computed weight as specified herein. Materials specified for measurement by tallying of vehicles shall be hauled only in approved units, the carrying capacity of which has been pre-determined. Each hauling unit shall be marked to designate its approved capacity.
2. **PARTIAL PAYMENTS** - **Partial payments shall be made monthly in an amount not greater than 90% of the money earned during the pay month. The Contractor shall prepare the application for payment in form satisfactory to the Engineer. Process time shall be thirty (30) days upon receipt.**
3. **ACCEPTANCE AND FINAL PAYMENT** - When in the opinion of the Engineer, the Contractor has completed the work in a satisfactory manner in accordance with the terms of the contract, the Engineer shall make final inspection of the entire project and shall certify in writing to the County as to the completion of the work submitting with this report the final estimate showing the amount of each item of work performed as the value thereof.
4. **RELEASE OF LIENS** - The Contractor shall deliver (in a form satisfactory to the owner) a written report to the effect that all bills for labor, materials, and supplies have been paid or satisfactorily secured.
5. **CONSENT OF SURETY** - Projects bonded by a surety bond will require written **CONSENT OF SURETY FOR FINAL PAYMENT.**

PROPOSED PAVING FY16

<u>ROAD NAME</u>	<u>LENGTH</u>	<u>WIDTH</u>	<u>TONS</u>
Beaverdam Creek Road Orchard Rd - Hayes Landing	0.90	20.5'	902
Carey Road (E side of Rt 113) Rt 575 - New 113	0.46	22.0'	495
Pitts Road Church St - End of yard at 9933	0.90	23.0'	1,012
Kent Road Tudor - Sussex	0.17	20.0'	166
Quillen Way	0.53	23.0'	596
Chandler Drive	0.34	23.0'	382
Gaskin Drive	0.05	23.0'	56
Peerless Road Rt 610 - Murray Road	0.75	20.0'	733
TOTALS	4.10		4,342

V
KJB
1/20/16

VENDOR LIST:

Bunting and Murray
32924 Lighthouse Road
Selbyville, Delaware 19975
Attn: Jody McClanahan
Phone No.: 302-436-5144
Fax No.: 302-436-1753
E-mail: jody@buntingandmurray.com

George & Lynch
150 Lafferty Lane
Dover, Delaware 19901
Attn: Kevin Jones / Jeff Norman
Phone No.: 302-736-3031
Fax No.: 302-734-9743
E-mail: kjones@geolyn.com
jnorman@geolyn.com

Allan Myers
440 Twin Oak Drive
Dover, Delaware 19904
Attn: Wesley Paxton
Phone No.: 302-883-3501
Fax No.: 302-883-3498
E-mail: Wesley.Paxton@AmericanInfrastructure.com

Pavement Corporation
P.O. Box 1498
Waldorf, Maryland 20604
Attn: Tae Stange
Phone No.: 301-873-2927
Fax No.: 301-396-5783
Email: taes@pavementcorp.com

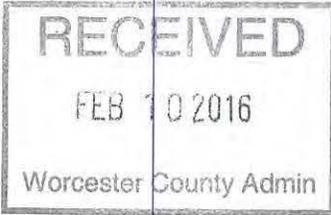
Terra Firma of Delmarva, Inc.
P.O. Box 478
Delmar, Delaware 19940
Attn: Vicki Pusey
Phone No.: 302-846-3350
Fax No.: 302-846-3517
E-mail: vicki@terrafirmacorp.com

Del-Mar-Va Paving Co., Inc.
P.O. Box 366
Seaford, Delaware 19973
Attn: Stephen Kary / Matt Nossick
Phone No.: 302-629-7995
Fax No.: 302-629-7964
Email: N/A

Chesapeake Paving and Sealing, Inc.
7951 Jones Hastings Road
Parsonsburg, Maryland 21849
Attn: Jeff Brown
Phone No.: 410-742-2330
Fax No.: 410-749-0466
E-mail: chesapeakepaving@verizon.net

Asphalt Emulsion Industries, LLC
Post Office Box 38128
Henrico, Virginia 23231
Attn: Eugene Cifers
Phone No.: 804-716-7900
Fax No.: N/A
Email: ecifers@asphalt-emulsion.com

River Asphalt, L.L.C.
30548 Thorogood Road
Dagsboro, Delaware 19939
Attn: Ryan Taylor
Phone No.: 302-363-7365
Fax No.: 302-934-0886
E-mail: rtaylor@hkgroup.com



8

Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
DIRECTOR

MEMORANDUM

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 10, 2016
SUBJECT: Bid Recommendation
Chip Seal Surfacing of County Roadways - FY16

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

**FLEET
MANAGEMENT**
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

.....
Bids were received and opened on Monday, February 8, 2016 for chip seal surfacing of approximately 27.86 miles (293,619 sy) of County roads. Attached for your review and approval is the one bid received along with a summary of cost listed below.

Vendor	Cost Per Sq. Yard	Total Estimated Cost
American Paving Fabrics, Hanover, MD	\$1.45	\$425,747.55

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Upon review by the Department of Public Works, Roads Division, it was determined that the one bid received did meet the required specifications; therefore, it is requested that the Commissioners approve and accept the low bid of \$1.45 per square yard submitted by American Paving Fabrics. Funding in the amount of \$1,000,000 for road resurfacing projects was approved in the current FY16 operating budget in the general fund account 100.1202.6140.010.

Should you have any questions, please don't hesitate to call me.

Attachments

cc: Frank Adkins

Competitive Bid Worksheet

Item: Chip Seal Surfacing of County Roadways - FY16

Bid Deadline/Opening Date: 1:00 P.M., Monday, February 8, 2016

Bids Received by deadline = 1

Chip Seal Surfacing
27.86 miles of Roads
293,619 square yards+ of
7RC Chip Seal
Fixed Price per Square Yard

Vendor's Submitting Bids

American Paving Fabrics
6910 O'Conner Road
Hanover, MD 21076

\$1.45

BID FORM

“Chip Seal FY16”

I/We have reviewed the specifications and provisions for furnishing and applying approximately 293,619 square yards ± of 7 RC Chip Seal to approximately 27.86 miles ± of roads at various locations in Worcester County and understand said requirements. I/We hereby propose to furnish and apply.

293,619 Square Yards ± 7 RC Chip Seal @ \$ 1.45 per square yard

Work is to be completed by May 31, 2016.

BID MUST BE SIGNED TO BE VALID.

Date: February 8th 2016

Signature: 

Typed Name: Kevin D. McGrath

Title: President

Firm: American Bowing Fabrics, Inc

Address: 6910 OConner Road
Hanover MD 21076

Phone: 410-379-2209



COUNTY-WIDE CHIP SEAL SURFACE TREATMENT EXPERIENCE & REFERENCES

PROJECT EXPERIENCE: Since the company's beginning in 1992, and for the past ten years through the 2015 construction season, we have successfully furnished and placed a yearly average of 2,000,000 square yards of "Chip Seal" surface treatment for mostly County governments here in the State of Maryland. In fact, of the twenty three (23) counties in Maryland, we have successfully completed chip seal contracts in fourteen (14) of the political subdivisions, that don't perform chip seal operations with their own in-house crews and equipment. Many of these contracts are multi-year contracts, and include both large county programs like Washington County, who specifies a double-course of chip seal surface treatment that averages approximately a total of 900,000 square yards per construction season. Howard and Anne Arundel Counties each average approximately 250,000 – 300,000 square yards of chip seal in their annual maintenance programs contracts. Over the years, we have also completed chip seal contracts for neighboring Somerset and Wicomico Counties. One of our most recent projects that we completed last season was for the 45,000 square yard contract for Worcester County.

CHIP SEAL IN-HOUSE EQUIPMENT:

- STONE CHIPPER - Our company owns four (4) hydrostatic and fully computerized "Etnyre" chip spreaders with the ability to cover up to 22' of lane width in one pass, if needed.
- EMULSION DISTRIBUTOR TRUCK – We own 14 fully computerized "Bearcat" distributor trucks, of which, four are dedicated to our chip seal contracts, and also have full-width bars up to 20'.
- TRI-AXLE DUMP TRUCKS AND RUBBER-TIRED LOADERS – The company maintains 7, Tri-axle- 20 ton dump trucks to transport material to the chipper from various stockpile locations. The company owns 6-rubber tire loaders with 3 cubic yard buckets that are available for loading the dump trucks assigned to a project.
- RUBBER-TIRED & STEEL WHEEL ROLLERS AND POWER BROOMS – Company owns seven (7) rubber-tired rollers, three (3) steel wheeled rollers, and three (3) power brooms.

LIST OF REFERENCES: Our company takes great pride in its impeccable reputation for the highest quality of workmanship, timely completion of scheduled work within compressed time frames, , commitment to complete client satisfaction, and for owning the latest and most advanced, and efficient equipment available for chip seal surface treatment contracts. In accordance with the last paragraph of the "Notice To Bidders", we are prepared to submit a list of names and contact information of our County Government Department of Public Works client references to you upon your request, and as part of your evaluation of the bids to be submitted at 1:00 p.m. on Monday February 8, 2016, for the "Chip Seal Bid".

Contact: Mike Warring, Vice President, cell number: 443-615-6672.

✓ KDC
1/20/16

NOTICE TO BIDDERS

Blacktop, Chip Seal and Slurry Seal Surfacing of Roadways Worcester County, Maryland

The Worcester County Commissioners are currently accepting separate bids for county-wide blacktop surfacing, chip seal surfacing and slurry seal surfacing of various sections of roadways in Worcester County to be completed by May 31, 2016 for the Worcester County Department of Public Works, Roads Division. Bids for blacktop surfacing will require approximately 4,342 Tons of Superpave 9.5 mm Bituminous Concrete for paving of roughly 4.10 miles of road. Bids for chip seal surfacing will require approximately 293,619 square yards of 7RC Chip Seal for paving of roughly 27.86 miles of road. Bids for slurry seal surfacing will require approximately 80,009 square yards of Slurry Seal for paving of roughly 3.45 miles of road. Bid specification packages and bid forms for either Blacktop Surfacing, Chip Seal Surfacing or Slurry Seal Surfacing are available from the Office of the County Commissioners, Room 1103 - Worcester County Government Center, One West Market Street, Snow Hill, Maryland 21863-1195, obtained online at www.co.worcester.md.us or by calling the Commissioners' Office at 410-632-1194 to request a package by mail. **Sealed bids will be accepted until 1:00 PM, Monday, February 8, 2016** in the Office of the County Commissioners at the above address, at which time they will be opened and publicly read aloud. Envelopes shall be marked either "Blacktop Bid" or "Chip Seal Bid" or "Slurry Seal Bid" in the lower left-hand corner. After opening, bids will be forwarded to the Public Works Department for tabulation, review and recommendation to the County Commissioners for their consideration at a future meeting. In awarding the individual bids for each type of road surfacing, the Commissioners reserve the right to reject any and all bids, waive formalities, informalities and technicalities therein, and to take whichever bid for each type of road surfacing they determine to be in the best interest of the County considering lowest or best bid, quality of goods and work, time of delivery or completion, responsibility of bidders being considered, previous experience of bidders with County contracts, or any other factors they deem appropriate. All inquiries shall be directed to Frank Adkins, Roads Superintendent, at 410-632-2244, Monday through Thursday, 6:00 am to 4:30 pm.

Bid Specifications

The Worcester County Commissioners are currently accepting bids on Chip Seal. Sealed bids will be accepted until **1:00 PM, Monday, February 8, 2016**, at the Worcester County Commissioners Office, Room 1103, Worcester County Government Center, One West Market Street, Snow Hill, MD 21863 at which time they will be opened and publicly read aloud. After opening, bids will be forwarded to the Department of Public Works for tabulation, review and recommendation to the County Commissioners for award at a future date. **Envelopes must be marked in lower left corner with "Chip Seal Bid"**.

The work is to be completed by **May 31, 2016**. No bid bond is required. If all work is not completed as specified within liquidated damages shall be imposed as stated. **A pre-construction meeting will be required within five (5) days prior to commencement of work.**

ITEM I - 7 RC CHIP SEAL SPECIFICATIONS:

Miscellaneous: **No work will be performed on weekends or holidays.**

WARRANTY: All work and materials shall be warranted for a period of one year.

DESCRIPTION

This work shall consist of the application of a single course of asphalt surface treatment on various roads located in Worcester County in accordance with the attached oiling schedule.

The project requires the furnishing and application of all specified asphalt and Aggregate cover materials. The contractor provides all necessary labor, equipment and materials, including maintenance of traffic items.

DEFINITION OF TERMS

Single Seal Treatment is defined as one application of asphalt material and one application of cover aggregate. These roads are identified in the schedule with 1/3 gal/sy application rate for CRS-2PM.

SPECIFICATIONS

All work on this project shall be done in accordance with the Maryland Department of Transportation State Highway Administration "Standard Specifications for Construction & Materials" dated Oct. 1993 as revised to date. Asphalt emulsion and aggregate cover material are herein specified and selected from the above. Sectional references are to the State specifications.

Additional or deleted requirements to the above SHA Standard Specifications and supplemental CRS-2PM specifications are also listed herein and shall be a part of this contract

MATERIALS AND APPLICATION RATES

Referenced SHA section 503.02

Emulsified Asphalt shall be type CRS-2PM

Spray temp: 140-160 F

Spray rate: single coat of first coat: 0.3-0.5 gal/sy

Prior to construction the contractor shall submit for approval to the Engineer sources of supply for all materials.

Aggregates:

Spread rate: Single seal treatment: single coat: No. 8 @ 20-35 lb/sy

All aggregates shall be double washed stone. Aggregates shall not be used within 24 hours of washing.

Aggregate from more than one source shall not be furnished for a specified route or a group of subdivision routes unless permitted by the Engineer. Aggregate color shall be subject to the approval of the Roads Engineer. White granite is NOT acceptable. Samples must be submitted for approval.

CONSTRUCTION

SHA 503 governs as applicable

Equipment:

Referenced SHA section: 503.03.01

All equipment shall be subject to approval by the Engineer.

Delete SHA 505.03.01 (b) tailgate spreader. The aggregate spreader shall be a self-propelled model capable of covering 12 feet in one uniform application and adjustable for various rates.

Asphalt distributing equipment per SHA specifications.

Rollers: Steel-wheeled and pneumatic tire rollers are required. See following section below.

Power broom required. See following section below.

All other equipment per SHA specs. or as required for successful prosecution of the work.

Weather:

Referenced SHA section 503.03.02

Foundation Preparation:

The County will trim the shoulders of roads to be resurfaced.

The County will patch all ruts or potholes as deemed necessary.

The contractor shall power broom the surface to remove all loose and foreign materials prior to application of the asphalt. The power broom, operator, fuel, maintenance, and traffic control will not be paid for directly, and is considered incidental to the pay items in the schedule of prices.

Seal treatment:

The asphalt shall be sprayed on the surface at the rate herein specified. Excess material in pools shall be removed. Areas not accessible to the distributor must be hand hosed. Immediately following the asphalt application, a dry, dust free aggregate shall be spread on the surface at the application rate herein specified. All areas containing insufficient aggregate shall be corrected.

Verification:

The type, quantity, and temperature of asphalt material applied must be verified to the satisfaction of the inspector.

A ticket showing the certified weight of each individual truck load of cover aggregate must be presented to the inspector on the job for all cover material prior to spreading said material on the surface to be treated. Should the contractor elect to stockpile the cover aggregate, provisions must be made to weigh the material coming from the stockpile prior to applying the material to the roadway.

Rolling:

Immediately following the aggregate application, the surface shall be rolled until the aggregate is uniformly embedded into the asphalt. The rolling shall be discontinued if the aggregate begins to crush. The contractor shall use a steel wheel roller and a static-tire roller on seal treatments. These treatments shall be subjected to a minimum of one complete pass of each type of roller on each layer of cover.

Maintenance, Protection and Performance of the Work:

Completed sections shall be closed to traffic until the final seal coat has completely cured. The contractor shall maintain the treated surface after it has been opened to traffic until final acceptance.

The contractor shall exercise control of the delivery and application of the surface treatment materials to prevent damage to the roadway surface. The speed of the delivery equipment and pilot truck shall be limited as directed by the inspector. The maintenance and protection shall include, but not be limited to, the placement of signs; the use of flaggers and pilot trucks; and placement of additional asphalt and aggregate material. In the event a failure occurs prior to acceptance, the contractor shall repair or replace the failed treatment as directed by the Engineer.

POC:

The contractor shall designate a contact person and telephone number for the handling of complaints or claims of the public due to the contractor's operation.

Mail and paper box care:

The contractor's attention is called to mail or paper boxes on this project that may be within the limit of work. These boxes if required to be moved for equipment shall be the contractor's responsibility. They shall be moved to a suitable location that mail and papers may be received as usual. When construction in a given area has reached the stage that there is no more conflict with such boxes, they shall be placed permanently at or near their original location to conform with U.S. postal requirements. If these boxes or their supports are damaged by the contractor during construction of this project, they shall be repaired or replaced in kind at the contractor's expense.

No additional payment will be made to the contractor for adjustments to the existing mail and or paper boxes, but will be considered incidental to other pay items.

MAINTENANCE OF TRAFFIC

Conformance requirements:

- SHA "Standard Specifications for Construction and Materials" (SHA Standard Specifications) section 104
- SHA "Book of Highway Standards"
- FHA "Manual on Uniform Traffic Control Devices" (MUTCD)

The contractor must maintain traffic at all times throughout the entire length of the project, including public and private and commercial entrances, street intersections, etc.

Traffic Manager (TM) - Traffic Control Plan (TCP)

Referenced SHA section 104.02.03

The contractor shall appoint a Traffic Manager responsible for Maintenance of Traffic conformance requirements. This individual shall develop and submit to the County a Traffic Control Plan suitable to his plan of construction for a given location. This plan will be reviewed with the project inspector and jointly agreed upon prior to starting the work. If during the course of the work adjustments are necessary to traffic control measures the contractor shall take corrective action as required or directed.

Temporary Traffic Signs (TTS):

The contractor shall furnish and install all necessary TTS as required by Sec. 6B of the MUTCD.

Cones:

Cones shall meet the requirements of Sec. 104.14 SHA Standard Specifications.

Flaggers-Pilot Vehicles-Radio Communication:

The contractor shall furnish all necessary MD SHA Certified flag persons in conformance with Section 6F of the MUTCD and Sec. 104.15 of the SHA Standard Specifications. Flaggers shall use STOP/SLOW paddles. Two-way radios or pilot vehicles shall be used whenever flaggers are not within sight distance of each other, or when directed by the Engineer.

Basis of Payment:

All aforementioned items under this section Maintenance of Traffic will NOT be paid for directly and shall be considered incidental to the other pay items in the schedule of prices for Chip Seal Surface Treatment.

MOBILIZATION:

Movement of personnel and equipment to and from the project sites and staging equipment will not be paid for directly and shall be considered incidental to the other pay items.

METHOD OF MEASUREMENT AND BASIS OF PAYMENT

Chip Seal Surface Treatment will be measured and paid for at the Contract unit price per square yard for one or more of the items listed in the schedule of prices in the bid proposal. The payment will be full compensation for mobilization, maintenance of traffic, preparation, furnishing, hauling, placing all required materials, and for all labor, equipment, tools, and incidentals necessary to complete the work.

All correspondence and invoices are to be sent to the Worcester County Public Works Department, Roads Division, 5764 Worcester Highway, Snow Hill, MD 21863.

The County Commissioners shall be the sole judge as to whether or not any bid meets specifications. The County Commissioners reserve the right to accept or reject any bid in the best interest of the County.

1. **LIQUIDATED DAMAGES** - For each day that the work shall remain uncompleted after the time specified for completion, the sum per day, given in the following schedule shall be deducted by the County from monies due the Contractor, not as a penalty, but as liquidated damaged.

<u>Amount of Contract</u>	<u>Amount of Liquidated Damages per Day</u>
Less than \$10,000	\$ 80.00
\$10,000 and less than \$50,000	\$160.00
\$50,000 and less than \$100,000	\$240.00
Greater than \$100,000	\$400.00

2. **CONTRACTOR'S INSURANCE** - The contractor shall take out and maintain during the life of this contract, Workmen's Compensation Insurance for all of his or any subcontractor's employees employed at the site of the work; and such Public Liability and Property Damage Insurance as shall protect him from claims which may arise from operations under this contract for personal injury (including accidental death) as well as for property damage - whether such operations are by himself or by any subcontractor, or by anyone directly employed by them.

Public Liability Insurance shall be in the amount not less than \$500,000 for injuries, including wrongful death to any one person; and, subject to the same limit for each person, in an amount not less than \$1,000,000 on account of one accident.

Property Damage Insurance shall be in an amount not less than \$500,000 for damages on account of any one accident, and in an amount not less than \$1,000,000 for damages on account of all accidents.

MEASUREMENT AND PAYMENT

1. **MEASUREMENT OF QUANTITIES** - The Engineer shall make final measurements to determine the quantities of various items of work performed as the basis of final settlement.

Pay weight for all items to be paid for by weight shall be determined by actual certified scale weight, certified shipping weight, or by computed weight as specified herein.

Materials specified for measurement by tallying of vehicles shall be hauled only in approved units, the carrying capacity of which has been pre-determined. Each hauling unit shall be marked to designate its approved capacity.

2. **PARTIAL PAYMENTS - Partial payments shall be made monthly in an amount not greater than 90% of the money earned during the pay month. The Contractor shall prepare the application for payment in form satisfactory to the Engineer. Process time shall be thirty (30) days upon receipt.**
3. **ACCEPTANCE AND FINAL PAYMENT -** When in the opinion of the Engineer, the Contractor has completed the work in a satisfactory manner in accordance with the terms of the contract, the Engineer shall make final inspection of the entire project and shall certify in writing to the County as to the completion of the work submitting with this report the final estimate showing the amount of each item of work performed as the value thereof.
4. **RELEASE OF LIENS -** The Contractor shall deliver (in a form satisfactory to the owner) a written report to the effect that all bills for labor, materials, and supplies have been paid or satisfactorily secured.
5. **CONSENT OF SURETY –** Projects bonded by a surety bond will require written **CONSENT OF SURETY FOR FINAL PAYMENT.**

**PROPOSED TAR / CHIP FY16
(NORTH)**

<u>ROAD NAME</u>	<u>MILES</u>	<u>WIDTH</u>	<u>SQ. YDS.</u>
Salt Grass Point Road	1.16	18.0'	12,250
North Piney Point Road	0.80	20.0'	9,387
Blueberry Road	2.92	16.5'	28,266
Donaway Road	0.78	16.0'	7,322
Tull Road	1.49	16.0'	13,986
Fooks Road	2.94	18.5'	31,909
Davis Road	0.65	16.0'	6,101
Timmonstown Road	2.80	18.0'	29,568
Pin Oak Drive	0.16	24.0'	2,253
Greenbriar Drive	0.23	24.0'	3,238
Massey Xing Road	0.79	18.0'	8,342
Bishop Lane Road	0.51	18.0'	5,386
Murray Road	1.32	18.5'	14,326
Delaware Road	0.83	18.0'	8,765
Narrow Branch Road	0.21	18.0'	2,218
Burbage Road	0.63	18.0'	6,653
Muskhattown Road	1.07	18.0'	11,299
Brant Road	0.17	20.0'	1,995
Day Girls Road	0.69	18.0'	7,286

Logtown Road (s of 50)	1.71	18.0'	18,058
Savage Road - OP	0.14	16.0'	1,314
Pine Rest Dr - OP	0.10	16.0'	939
Goody Hill Road	0.87	20.0'	10,208
Mason Road	1.00	17.0'	9,973
Mason Road	0.07	10'6"	431
Barrett Road	0.25	18.0'	2,640
Deer Park Road	0.64	22.0'	8,260
Doe Drive	0.26	20.0'	3,051
Porfin Drive	0.42	18.0'	4,435
Bethards Road	2.25	18.0'	23,760
TOTALS	27.86	Miles	293,619 Sq Yards

✓ KOB
1/20/16

VENDOR LIST:

American Paving Fabrics
6910 O' Conner Road
Hanover, Maryland 21076
Attn: Shaun McGrath
Phone No.: 410-379-2209
Fax No.: 410-796-0272
Email: selina@americanpavingfabrics.com

Del-Mar-Va Paving Co., Inc.
P.O. Box 366
Seaford, Delaware 19973
Attn: Stephen Kary / Matt Nossick
Phone No.: 302-629-7995
Fax No.: 302-629-7964
Email: N/A

Marino Transportation Services
6401 Arundel Cove Avenue
Baltimore, Maryland 21226
Attn: Joe Marino
Phone No.: 410-355-1118, ext 328
Fax No.: N/A
E-Mail: jmarino@gomts.com

Chesapeake Paving and Sealing, Inc.
7951 Jones Hastings Road
Parsonsburg, Maryland 21849
Attn: Jeff Brown
Phone No.: 410-742-2330
Fax No.: 410-749-0466
E-mail: chesapeakepaving@verizon.net

Whitehurst Paving
3723 Nine Mile Road
Richmond, Virginia 23223
Attn: Wilson Whitehurst
Phone No.: 804-233-9296
Fax No.: 804-233-6413
E-mail: wwhitehurst@whitehurstcos.com



9

RECEIVED
FEB 10 2016
Worcester County Admin

Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
DIRECTOR

MEMORANDUM

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 10, 2016
SUBJECT: Bid Recommendation
Slurry Seal Surfacing of County Roadways - FY16

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

FLEET MANAGEMENT
TEL: 410-632-5675
FAX: 410-632-1753

WATER AND WASTEWATER
TEL: 410-641-5251
FAX: 410-641-5185

Bids were received and opened on Monday, February 8, 2016 for slurry seal surfacing of approximately 3.45 miles of County roads and 11,172 square yards of parking area at the Snow Hill Public Works Roads Division facility for a total of 80,009 square yards. Attached for your review and approval are the two bids received along with a summary of cost listed below.

Vendor	Cost Per Sq. Yard	Total Estimated Cost
Asphalt Paving Systems, Inc. Hammonton, NJ	\$1.68	\$134,415.12
Slurry Pavers, Inc. Richmond, VA	\$2.18	\$174,419.62

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Bid specifications

Upon review by the Department of Public Works, Roads Division, it was determined that both bids received did meet the required specifications; therefore, it is requested that the Commissioners approve and accept the low bid of \$1.68 per square yard submitted by Asphalt Paving Systems, Inc. Funding in the amount of \$1,000,000 for road resurfacing projects was approved in the current FY16 operating budget in the general fund account 100.1202.6140.010.

Should you have any questions, please don't hesitate to call me.

Attachments

cc: Frank Adkins

Competitive Bid Worksheet

Item: Slurry Seal Surfacing of County Roadways - FY16

Bid Deadline/Opening Date: 1:00 P.M., Monday, February 8, 2016

Bids Received by deadline = 2

Slurry Seal Surfacing
3.45 miles of Roads
80,009 square yards± of Slurry Seal
Fixed Price per Square Yard

Vendor's Submitting Bids

Slurry Pavers Inc.
3617 Nine Mile Road
Richmond, VA 23223

\$2.18

Asphalt Paving Systems, Inc.
500 N. Egg Harbor Road
Hammonton, NJ 08037

\$1.68

BID FORM

"Slurry Seal FY16"

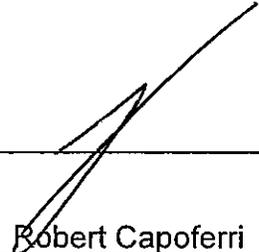
I/We have reviewed the specifications and provisions for furnishing and applying approximately 80,009 square yards ± of Slurry Seal to approximately 3.45 miles ± of roads at various locations in Worcester County and parking area at the Snow Hill Public Works Roads Division and understand said requirements. I/We hereby propose to furnish and apply.

80,009 Square Yards ± Slurry Seal @ \$ 1.68 per square yard

Work is to be completed by May 31, 2016.

BID MUST BE SIGNED TO BE VALID.

Date: February 8, 2016

Signature:  _____

Typed Name: Robert Capoferri

Title: President

Firm: Asphalt Paving Systems, Inc.

Address: PO Box 530
Hammonton, NJ 08037

Phone: (609) 561-4161

90 County

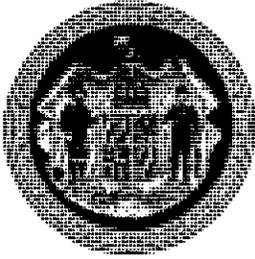
State of Maryland License

12957810

12294195

13461519

15



ASPHALT PAVING SYSTEMS INC
PO BOX 530
HAMMONTON NJ 08037

ASPHALT PAVING SYSTEMS INC
500 N EGG HARBOR ROAD
HAMMONTON NJ 08037

CODE	UNIT	TYPE OF LICENSE	NO OF LIC	COST
66	050	OUT-OF-STATE CONTRACTOR	1	50.00

DATE OF ISSUE
MO DAY YR
05/08/2015

MONTHS PAID
12

ISSUING FEES	2.00		
TOTAL	52.00	AMOUNT PAID	52.00

THIS LICENSE MUST BE PUBLICLY DISPLAYED
AND EXPIRES ON **APRIL 30, 2016**

ISSUED BY
JAMES J. REILLY, CLERK OF CIRCUIT COURT
20 WEST COURTLAND STREET
BEL AIR, MARYLAND 21014

MAY

CONSENT OF SURETY

KNOW ALL MEN BY THESE PRESENTS, that for and in consideration of the sum of \$1.00, lawful money of the United States of America, the receipt whereof is hereby acknowledged, paid the undersigned corporation, and for other valuable consideration, the Hartford Fire Insurance Company organized and existing under the laws of the State of CT and licensed to do business in the State of MD certifies and agrees, that if contract for Slurry Seal FY16

for Worcester County

is awarded to Asphalt Paving Systems, Inc.

the undersigned Corporation will execute the bond or bonds as required of the contract documents and will become Surety in the full amount set forth in the contract documents for the faithful performance of all obligations of the Contractor.

Signed and sealed this 8th day of February, 2016.

Hartford Fire Insurance Company

By: Steven Raffuell
Steven Raffuell, Attorney-in-Fact



POWER OF ATTORNEY

Direct Inquiries/Claims to:
THE HARTFORD
 Bond T-4
 One Hartford Plaza
 Hartford, Connecticut 06155
 call: 888-286-8688 or fax: 860-757-5835
 Agency Code: 13-653536

KNOW ALL PERSONS BY THESE PRESENTS THAT:

- Hartford Fire Insurance Company, a corporation duly organized under the laws of the State of Connecticut
- Hartford Casualty Insurance Company, a corporation duly organized under the laws of the State of Indiana
- Hartford Accident and Indemnity Company, a corporation duly organized under the laws of the State of Connecticut
- Hartford Underwriters Insurance Company, a corporation duly organized under the laws of the State of Connecticut
- Twin City Fire Insurance Company, a corporation duly organized under the laws of the State of Indiana
- Hartford Insurance Company of Illinois, a corporation duly organized under the laws of the State of Illinois
- Hartford Insurance Company of the Midwest, a corporation duly organized under the laws of the State of Indiana
- Hartford Insurance Company of the Southeast, a corporation duly organized under the laws of the State of Florida

having their home office in Hartford, Connecticut (hereinafter collectively referred to as the "Companies") do hereby make, constitute and appoint, up to the amount of Unlimited :
Steven Raffuel of PRINCETON, New Jersey

their true and lawful Attorney(s)-in-Fact each in their separate capacity if more than one is named above, to sign its name as surety(ies) only as delineated above by , and to execute, seal and acknowledge any and all bonds, undertakings, contracts and other written instruments in the nature thereof, on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

In Witness Whereof, and as authorized by a Resolution of the Board of Directors of the Companies on August 1, 2009, the Companies have caused these presents to be signed by its Vice President and its corporate seals to be hereto affixed, duly attested by its Assistant Secretary. Further, pursuant to Resolution of the Board of Directors of the Companies, the Companies hereby unambiguously affirm that they are and will be bound by any mechanically applied signatures applied to this Power of Attorney.



Wesley W. Cowling
 Wesley W. Cowling, Assistant Secretary

M. Ross Fisher
 M. Ross Fisher, Vice President

STATE OF CONNECTICUT }
 COUNTY OF HARTFORD } ss. Hartford

On this 12th day of July, 2012, before me personally came M. Ross Fisher, to me known, who being by me duly sworn, did depose and say: that he resides in the County of Hartford, State of Connecticut; that he is the Vice President of the Companies, the corporations described in and which executed the above instrument; that he knows the seals of the said corporations; that the seals affixed to the said instrument are such corporate seals; that they were so affixed by authority of the Boards of Directors of said corporations and that he signed his name thereto by like authority.



Kathleen T. Maynard

Kathleen T. Maynard

Notary Public

My Commission Expires July 31, 2016

CERTIFICATE

I, the undersigned, Vice President of the Companies, DO HEREBY CERTIFY that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which is still in full force effective as of February 8, 2016
 Signed and sealed at the City of Hartford.



Gary W. Slumper
 Gary W. Slumper, Vice President

HARTFORD FIRE INSURANCE COMPANY

Hartford, Connecticut
 Financial Statement, December 31, 2014
 Statutory Basis

ASSETS		LIABILITIES	
U.S. Government Bonds	\$ 442,549,395	Reserve for Claims	\$
Bonds of Other Governments	199,010,188	and Claim Expense.....	7,476,157,229
State, County Municipal		Reserve for Unearned Premiums	2,035,534,751
Miscellaneous Bonds	12,750,425,416	Reserve for Taxes, License	
Stocks	5,592,410,175	and Fees	60,389,443
Short Term Investments	326,185,714	Miscellaneous Liabilities	2,150,615,120
	<u>\$ 19,310,580,857</u>	Total Liabilities	<u>\$ 11,722,706,543</u>
Real Estate	\$ 229,110,237	Capital Paid in	\$ 55,320,000
Cash	44,298,873	Surplus	<u>13,742,126,381</u>
Agents' Balances (Under 90 Day)	2,328,849,107	Surplus as regards Policyholders.....	<u>\$ 13,767,446,381</u>
Other Invested Assets	526,090,666	Total Liabilities, Capital	
Miscellaneous	3,081,223,174	and Surplus	<u>\$ 25,526,152,924</u>
Total Admitted Assets	<u>\$ 25,526,152,924</u>		

STATE OF CONNECTICUT
 COUNTY OF HARTFORD
 CITY OF HARTFORD

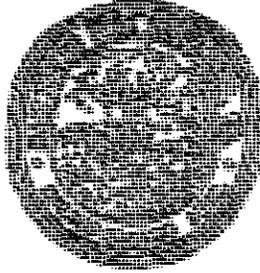
} ss.

M. Ross Fisher, Vice President, and John Gray, Assistant Secretary of the Hartford Fire Insurance Company, being duly sworn, each deposes and say that the foregoing is a true and correct statement of the said company's financial condition as of December 31, 2014.

Subscribed and sworn to before me
 this 17th day of March 2015.

Kathleen T. Maynard

 Kathleen T. Maynard
 Notary Public
 My Commission Expires July 31, 2016



M. Ross Fisher

 M. Ross Fisher, Vice President

John Gray

 John Gray, Assistant Secretary

BID FORM

“Slurry Seal FY16”

I/We have reviewed the specifications and provisions for furnishing and applying approximately 80,009 square yards ± of Slurry Seal to approximately 3.45 miles ± of roads at various locations in Worcester County and parking area at the Snow Hill Public Works Roads Division and understand said requirements. I/We hereby propose to furnish and apply.

80,009 Square Yards ± Slurry Seal @ \$ 2.18 per square yard

Work is to be completed by May 31, 2016.

BID MUST BE SIGNED TO BE VALID.

Date: 1/29/2016

Signature: F. C. Dabney

Typed Name: F. Carter Dabney, Vice President

Title: F. Carter Dabney, Vice President

Firm: SLURRY PAVERS, INC.

Address: 3817 NINE MILE RD RICHMOND, VA 23223

Phone: 804 - 264 - 0707

✓ 1000
1/20/16

NOTICE TO BIDDERS

Blacktop, Chip Seal and Slurry Seal Surfacing of Roadways Worcester County, Maryland

The Worcester County Commissioners are currently accepting separate bids for county-wide blacktop surfacing, chip seal surfacing and slurry seal surfacing of various sections of roadways in Worcester County to be completed by May 31, 2016 for the Worcester County Department of Public Works, Roads Division. Bids for blacktop surfacing will require approximately 4,342 Tons of Superpave 9.5 mm Bituminous Concrete for paving of roughly 4.10 miles of road. Bids for chip seal surfacing will require approximately 293,619 square yards of 7RC Chip Seal for paving of roughly 27.86 miles of road. Bids for slurry seal surfacing will require approximately 80,009 square yards of Slurry Seal for paving of roughly 3.45 miles of road. Bid specification packages and bid forms for either Blacktop Surfacing, Chip Seal Surfacing or Slurry Seal Surfacing are available from the Office of the County Commissioners, Room 1103 - Worcester County Government Center, One West Market Street, Snow Hill, Maryland 21863-1195, obtained online at www.co.worcester.md.us or by calling the Commissioners' Office at 410-632-1194 to request a package by mail. **Sealed bids will be accepted until 1:00 PM, Monday, February 8, 2016** in the Office of the County Commissioners at the above address, at which time they will be opened and publicly read aloud. Envelopes shall be marked either "**Blacktop Bid**" or "**Chip Seal Bid**" or "**Slurry Seal Bid**" in the lower left-hand corner. After opening, bids will be forwarded to the Public Works Department for tabulation, review and recommendation to the County Commissioners for their consideration at a future meeting. In awarding the individual bids for each type of road surfacing, the Commissioners reserve the right to reject any and all bids, waive formalities, informalities and technicalities therein, and to take whichever bid for each type of road surfacing they determine to be in the best interest of the County considering lowest or best bid, quality of goods and work, time of delivery or completion, responsibility of bidders being considered, previous experience of bidders with County contracts, or any other factors they deem appropriate. All inquiries shall be directed to Frank Adkins, Roads Superintendent, at 410-632-2244, Monday through Thursday, 6:00 am to 4:30 pm.

Bid Specifications

The Worcester County Commissioners are currently accepting bids on Slurry Seal. Sealed bids will be accepted until **1:00 PM, Monday, February 8, 2016**, at the Worcester County Commissioners Office, Room 1103, Worcester County Government Center, One West Market Street, Snow Hill, MD 21863 at which time they will be opened and publicly read aloud. After opening, bids will be forwarded to the Department of Public Works for tabulation, review and recommendation to the County Commissioners for award at a future date. **Envelopes must be marked in lower left corner with "Slurry Seal Bid"**.

The work is to be completed by **May 31, 2016**. No bid bond is required. If all work is not completed as specified within liquidated damages shall be imposed as stated. **A pre-construction meeting will be required within five (5) days prior to commencement of work.**

ITEM I – SLURRY SEAL SPECIFICATIONS:

Miscellaneous: **No work will be performed on weekends or holidays.**

WARRANTY: All work and materials shall be warranted for a period of one year.

DESCRIPTION

This work shall consist of the application of a single course of slurry surface treatment on various roads located in Worcester County in accordance with the attached schedule.

The project requires the furnishing and application of all specified slurry seal treatment. The contractor provides all necessary labor, equipment and materials, including maintenance of traffic items and public notification.

DEFINITION OF TERMS

Single Seal Treatment is defined as one application of slurry seal treatment.

SPECIFICATIONS

All work on this project shall be done in accordance with the Maryland Department of Transportation State Highway Administration Section 507 Slurry Seal and Micro-surfacing dated August 6, 2013.

MATERIALS, APPLICATIONS, and APPLICATION RATES

Referenced SHA section 507.03.07

See Section 507.03.07(a) for Slurry Seal application.

CONSTRUCTION

SHA 507 governs as applicable

Equipment:

Referenced SHA section: 507.03.02 and 507.03.03

All other equipment per SHA specs. or as required for successful prosecution of the work.

Weather:

Referenced SHA section 507.03.01

Surface Preparation:

The County will trim the shoulders of roads to be resurfaced.

The County will patch all ruts or potholes as deemed necessary.

The contractor shall power broom the surface to remove all loose and foreign materials prior to application of the slurry seal. The power broom, operator, fuel, maintenance, and traffic control will not be paid for directly, and is considered incidental to the pay items in the schedule of prices.

Protect manholes, valve boxes, drop inlets and other service/utility entrances from the asphalt emulsion seal by a suitable method, as approved.

Clean the existing surface and remove all objectionable materials. Ensure the pavement surface is free of standing or pooling water prior to applying tack coat and asphalt emulsion seal.

Seal treatment:

Referenced SHA section 507.03.09 (b) (c) (d) (e)

Tie-Ins for Entrances and Connecting Roads:

Make tie-ins at entrances and connecting roads as directed.

Certification:

Furnish certified weigh tickets daily for the emulsion, residual asphalt content, latex emulsion, aggregate, and mineral filler. The weigh tickets will be used to determine in-place application rates.

Rolling:

Rolling is required for parking facilities only. Roll parking facilities using a self-propelled, 10-ton (maximum) pneumatic-tire roller equipped with a water spray system, as directed. Do not commence rolling until the asphalt emulsion seal has cured sufficiently, as determined.

Maintenance, Protection and Performance of the Work:

The contractor shall exercise control of the delivery and application of the surface treatment materials to prevent damage to the roadway surface. The speed of the delivery equipment and pilot truck shall be limited as directed by the inspector. The maintenance and protection shall include, but not be limited to, the placement of signs; the use of flaggers and pilot trucks. In the event a failure occurs prior to acceptance, the contractor shall repair or replace the failed treatment as directed by the Engineer.

POC:

The contractor shall designate a contact person and telephone number for the handling of complaints or claims of the public due to the contractor's operation.

Mail and paper box care:

The contractor’s attention is called to mail or paper boxes on this project that may be within the limit of work. These boxes if required to be moved for equipment shall be the contractor’s responsibility. They shall be moved to a suitable location that mail and papers may be received as usual. When construction in a given area has reached the stage that there is no more conflict with such boxes, they shall be placed permanently at or near their original location to conform to U.S. postal requirements. If these boxes or their supports are damaged by the contractor during construction of this project, they shall be repaired or replaced in kind at the contractor’s expense. No additional payment will be made to the contractor for adjustments to the existing mail and or paper boxes, but will be considered incidental to other pay items.

MAINTENANCE OF TRAFFIC

Conformance requirements:

Referenced SHA section 507.03.13

SHA “Standard Specifications for Construction and Materials” (SHA Standard Specifications) section 104

SHA “Book of Highway Standards”

FHA “Manual on Uniform Traffic Control Devices” (MUTCD)

The contractor must maintain traffic at all times throughout the entire length of the project, including public and private and commercial entrances, street intersections, etc.

Traffic Manager (TM) - Traffic Control Plan (TCP)

Referenced SHA section 104.02.03

The contractor shall appoint a Traffic Manager responsible for Maintenance of Traffic conformance requirements. This individual shall develop and submit to the County a Traffic Control Plan suitable to his plan of construction for a given location. This plan will be reviewed with the project inspector and jointly agreed upon prior to starting the work. If during the course of the work adjustments are necessary to traffic control measures the contractor shall take corrective action as required or directed.

Temporary Traffic Signs (TTS):

The contractor shall furnish and install all necessary TTS as required by Sec. 6B of the MUTCD.

Cones:

Cones shall meet the requirements of Sec. 104.14 SHA Standard Specifications.

Flaggers-Pilot Vehicles-Radio Communication:

The contractor shall furnish all necessary MD SHA Certified flag persons in conformance with Section 6F of the MUTCD and Sec. 104.15 of the SHA Standard Specifications. Flaggers shall use STOP/SLOW paddles. Two-way radios or pilot vehicles shall be used whenever flaggers are not within sight distance of each other, or when directed by the Engineer.

Basis of Payment:

All aforementioned items under this section Maintenance of Traffic will NOT be paid for directly and shall be considered incidental to the other pay items in the schedule of prices for Slurry Seal Treatment.

MOBILIZATION:

Movement of personnel and equipment to and from the project sites and staging equipment will not be paid for directly and shall be considered incidental to the other pay items.

Any specifications not listed in this bid packet please refer to SHA Section 507 Slurry Seal and Micro-surfacing.

METHOD OF MEASUREMENT AND BASIS OF PAYMENT

Slurry Seal Treatment will be measured and paid for at the Contract unit price per square yard for one or more of the items listed in the schedule of prices in the bid proposal. The payment will be full compensation for mobilization, maintenance of traffic, preparation, furnishing, hauling, placing all required materials, public notification, and for all labor, equipment, tools, and incidentals necessary to complete the work.

All correspondence and invoices are to be sent to the Worcester County Public Works Department, Roads Division, 5764 Worcester Highway, Snow Hill, MD 21863.

The County Commissioners shall be the sole judge as to whether or not any bid meets specifications. The County Commissioners reserve the right to accept or reject any bid in the best interest of the County.

1. **LIQUIDATED DAMAGES** - For each day that the work shall remain uncompleted after the time specified for completion, the sum per day, given in the following schedule shall be deducted by the County from monies due the Contractor, not as a penalty, but as liquidated damaged.

<u>Amount of Contract</u>	<u>Amount of Liquidated Damages per Day</u>
Less than \$10,000	\$ 80.00
\$10,000 and less than \$50,000	\$160.00
\$50,000 and less than \$100,000	\$240.00
Greater than \$100,000	\$400.00

2. **CONTRACTOR'S INSURANCE** - The contractor shall take out and maintain during the life of this contract, Workmen's Compensation Insurance for all of his or any subcontractor's employees employed at the site of the work; and such Public Liability and Property Damage Insurance as shall protect him from claims which may arise from operations under this contract for personal injury (including accidental death) as well as for property damage - whether such operations are by himself or by any subcontractor, or by anyone directly employed by them.

Public Liability Insurance shall be in the amount not less than \$500,000 for injuries, including wrongful death to any one person; and, subject to the same limit for each person, in an amount not less than \$1,000,000 on account of one accident.

Property Damage Insurance shall be in an amount not less than \$500,000 for damages on account of any one accident, and in an amount not less than \$1,000,000 for damages on account of all accidents.

MEASUREMENT AND PAYMENT

1. **MEASUREMENT OF QUANTITIES** - The Engineer shall make final measurements to determine the quantities of various items of work performed as the basis of final settlement.

Pay weight for all items to be paid for by weight shall be determined by actual certified scale weight, certified shipping weight, or by computed weight as specified herein.

Materials specified for measurement by tallying of vehicles shall be hauled only in approved units, the carrying capacity of which has been pre-determined. Each hauling unit shall be marked to designate its approved capacity.

2. **PARTIAL PAYMENTS** - Partial payments shall be made monthly in an amount not greater than 90% of the money earned during the pay month. The Contractor shall prepare the application for payment in form satisfactory to the Engineer. Process time shall be thirty (30) days upon receipt.
3. **ACCEPTANCE AND FINAL PAYMENT** - When in the opinion of the Engineer, the Contractor has completed the work in a satisfactory manner in accordance with the terms of the contract, the Engineer shall make final inspection of the entire project and shall certify in writing to the County as to the completion of the work submitting with this report the final estimate showing the amount of each item of work performed as the value thereof.
4. **RELEASE OF LIENS** - The Contractor shall deliver (in a form satisfactory to the owner) a written report to the effect that all bills for labor, materials, and supplies have been paid or satisfactorily secured.
5. **CONSENT OF SURETY** – Projects bonded by a surety bond will require written **CONSENT OF SURETY FOR FINAL PAYMENT**.



**CATEGORY 500
PAVING**

SECTION 507 — SLURRY SEAL

489 **DELETE**: SECTION 507 — SLURRY SEAL in its entirety.

INSERT: The following.

**SECTION 507 — SLURRY SEAL AND
MICRO-SURFACING**

507.01 DESCRIPTION. Construct an asphalt emulsion seal course using Slurry Seal (SS) or Micro-Surfacing (MS).

507.02 MATERIALS.

Slurry Seal and Micro-Surfacing 923

507.03 CONSTRUCTION.

507.03.01 Weather Restrictions. Place asphalt emulsion seal when the air and surface temperatures are at least 50 F. The morning minimum surface temperature may be 40 F provided the ambient temperature is expected to rise to or above 60 F and is not expected to fall below 32 F within 24 hours after placement. Cease placement when the surface or air temperature falls below the specified limits. Do not place asphalt emulsion seal when it is raining or foggy.

507.03.02 Mixing Equipment. Use a self-propelled, front feed, continuous loading mixing machine. The machine shall proportion and deliver the materials to a revolving, multi-blade, shafted mixer; and discharge it continuously and uniformly.

The mixer shall have devices that control the proportioning of each material. Calibrate the mixer for the mix design in the presence of an Administration representative, or submit certified calibration documents for approval to ensure the SS or MS treatment meets the job mix formula.

Calibrate the equipment using actual project materials and every time there is a change in material source or composition. Submit a source of materials and a mix design for approval in accordance with 923.04 with corresponding test data from an approved lab at least three weeks in advance of the paving operation.

The machine shall have sufficient storage capacity for aggregate, emulsified asphalt, mineral filler, additives, and water to maintain an adequate supply of the materials for the proportioning controls. Add the proper amount of mineral filler to the aggregate before introduction into the



mixer. Use mixing machines equipped with water pressure systems and nozzle spray bars to provide a water spray ahead of and outside the spreader box when required.

Truck mounted machines with positive, non-slipping aggregate delivery systems, but without a front feed continuous loading feature, may be used on project segments of less than 15 000 yd² or for spot repairs. Have at least two truck mounted machines on the project prior to construction.

Provide the data for each unit in graphic form indicating the stone gate setting required to obtain the residual asphalt content as determined in the mix design.

Individual volume or weight controls for proportioning each material shall be provided and meters or counters shall be such that the Engineer may determine the amount of each material used at any time. The Contractor shall provide aggregate weigh tickets, a daily delivery summary, and an estimate of aggregate lost or otherwise not used.

507.03.03 Spreading Equipment. Spread the asphalt emulsion seal uniformly by means of a mechanical squeegee box attached to the mixer and equipped with paddles mounted on an adjustable shaft to continuously agitate and distribute the materials. Use equipment that provides sufficient turbulence to prevent the mix from setting in the box or causing excessive side buildup or lumps. Attach flexible seals where the box contacts the road, front and rear, to prevent loss of the mixture. Do not spray additional water into the spreader box. Equip the spreader box with a burlap drag (approximately 18 in. wide), or other approved screed to create a smooth surface.

MS material may be used to fill ruts, utility cuts, depressions in the existing surface, etc, as directed. Fill ruts of 0.5 in or greater in depth with a rut-filling box; 5 or 6 ft in width. Ruts in excess of 1-1/2 in. deep may require multiple applications with the rut-filling box to restore the cross-section. Apply a full width scratch course with the spreader box when rutting or deformation is less than 1/2 in. using a metal or stiff rubber strike-off. Apply the material at a sufficient rate to level the pavement surface. The leveling course may or may not meet the application rate suggested in 507.03.07. Cure all rut-filling and leveling material under traffic for at least 24 hours before additional material is placed.

507.03.04 Quality Control Plan. Submit a Quality Control Plan for approval at least 30 days prior to the placement of any asphalt emulsion seal. The Quality Control Plan shall contain a list of technicians working on the project and their qualifications, the current year equipment calibration data and a statistically based procedure of random sampling.

The Quality Control Plan shall show how the Contractor proposes to control the equipment, materials, production, and asphalt emulsion seal operation to ensure conformance with these Specifications. Discuss the Quality Control Plan requirements in the pre-pave meeting.

507.03.05 Test Strip. Provide calibration data for the equipment before placing the test strip. Construct a test strip for approval prior to beginning the work and when there is a change in materials. Install the test strip at the beginning of a roadway project. The test strip will be



SPECIAL PROVISIONS INSERT
507 — SLURRY SEAL AND MICRO-SURFACING

incorporated into the pay quantities if approved. Construct the test strip over one-full lane width; a minimum of 500 ft long. The mixture consistency and application rate for the test strip shall be representative of the mixture consistency and application rate for the project. Contact the Asphalt Technology Division of the Office of Materials Technology one week prior to constructing the test strip to have a representative present. Do not continue the work until the test strip has been approved. If the test strip is not approved, correct all deficiencies and provide another test strip. Work on the roadway will be permitted to continue once the test strip is successfully installed and approved. For each day's paving after the approved test strip, submit a Production Report Form to the Office of Materials Technology at superpave@sha.state.md.us before 1pm, the week day before each day's production. This form can be requested from the preceding e-mail address.

(a) **Slurry Seal.** Open the test strip to traffic within two hours after placement unless otherwise directed.

(b) **Micro-Surfacing.** Open the test strip to traffic within one hour after placement unless otherwise directed.

507.03.06 Surface Preparation. Perform surface preparation prior to applying the tack coat and prior to placing asphalt emulsion seal, as directed. Perform roadway patching in accordance with Section 505 and fill cracks in accordance with Section 510. Ensure the crack sealer is a compatible material (i.e., no rejuvenating agents or solvents used), that cracks are not overfilled and proper cure time as per manufacturer's recommendations is allowed prior to placing the asphalt emulsion seal. Remove thermoplastic and waterborne pavement markings per Section 565.

Protect manholes, valve boxes, drop inlets and other service/utility entrances from the asphalt emulsion seal by a suitable method, as approved.

Clean the existing surface and remove all objectionable materials. Ensure the pavement surface is free of standing or pooling water prior to applying tack coat and asphalt emulsion seal.

Apply tack coat consisting of one part asphalt emulsion to two or three parts water to surfaces prepared for MS. Use an emulsion type and grade that is compatible with the asphalt emulsion seal. Apply at a rate of 0.05 to 0.10 gal/yd². Do not apply tack coat to surfaces prepared for SS.

507.03.07 Application. Spread the asphalt emulsion seal to repair slight irregularities and to achieve a uniform, skid resistant surface free of skips, lumps, or tears.

Use squeegees and lutes to spread the mixture in areas that are inaccessible to the spreader box and in areas that require hand spreading.

Additives may be used to provide a slower setting time when hand spreading is necessary. Pour the slurry seal in a small windrow along one edge of the surface to be covered, and spread



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507 — SLURRY SEAL AND MICRO-SURFACING

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the material uniformly. Construct a smooth, neat seam where two passes meet. Remove excess material immediately from the ends of each run.

- (a) **Slurry Seal.** Apply at the following target application rates and tolerances, based on the dry aggregate weight, unless otherwise specified:

AGGREGATE TYPE	TARGET APPLICATION RATE AND TOLERANCE
Type II Mix	16 ± 2 lb/yd ²
Type III Mix	20 ± 2 lb/yd ²

- (b) **Micro-Surfacing.** Apply in one or two coats as directed at the following target application rates and tolerances, based on the dry aggregate weight, unless otherwise specified:

AGGREGATE TYPE	TARGET APPLICATION RATE AND TOLERANCE
Type II Mix	16 ± 2 lb/yd ²
Type III Mix	22 ± 2 lb/yd ²
Type II Mix	32 ± 2 lb/yd ²
Type III Mix	36 ± 2 lb/yd ²

Apply MS when specified or directed to fill ruts, utility cuts, depressions in the existing surface, etc., at the following target application rates and tolerances, based on the dry aggregate weight:

AGGREGATE TYPE	RUT DEPTH	TARGET APPLICATION RATE AND TOLERANCE
Type III Mix	0.5 – 0.75 inches	25 ± 5 lb/yd ²
	0.75 – 1.00 inches	30 ± 5 lb/yd ²
	1.00 – 1.25 inches	33 ± 5 lb/yd ²
	1.25 – 1.50 inches	36 ± 4 lb/yd ²

Fill ruts using a specially designed rut filling box that will leave the surface crowned 1/8 to 1/4 in. per inch depth to allow for traffic compaction to an approximately level surface. The Contractor shall provide and use a ten-foot straight edge to control the depth and crown.

Furnish certified weigh tickets for all materials in accordance with 507.03.10.

507.03.08 Rolling. Rolling is required for parking facilities only. Roll parking facilities using a self-propelled, 10-ton (maximum) pneumatic-tire roller equipped with a water spray system, as directed. Do not commence rolling until the asphalt emulsion seal has cured sufficiently, as determined.



SPECIAL PROVISIONS INSERT
507 — SLURRY SEAL AND MICRO-SURFACING

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507.03.09 Defective Work. Correct defective work not meeting the following criteria, unless otherwise directed in writing and as determined; to the satisfaction of the Administration and at no additional cost.

(a) **Application Rate.** Areas where application rates deviate from the acceptable ranges in 507.03.07 will be considered defective work.

(b) **Finished Surface.** Provide a finished, uniform surface texture meeting the following requirements:

(1) Limit areas of excessive asphalt (flushing) to less than 10 percent of the finished surface area. Areas of excessive asphalt are characterized by a smooth, shiny surface that may be tacky to the touch. Bleeding at joints is not allowed.

(2) No tear and/or drag marks greater than 1 in. wide and 3 in. long.

(3) No more than 12 tear and/or drag marks greater than 1/2 in. wide and 4 in. long per 10 ft of a lane.

(4) No clumps and/or other foreign objects greater than 1-1/2 in. in diameter.

(5) No transverse ripples or joints with greater than a 1/4 in. ridge, bump or depression as measured with a 10 ft straight edge.

(6) No longitudinal streaks with greater than a 1/4 in. ridge, bump or depression, as measured with a 10 ft straight edge.

(c) **Longitudinal Joints.** Make a neat seam where two longitudinal passes join with no greater than a 1/4 in. bump, ridge or depression as measured with a 10 ft straight edge. Do not overlap longitudinal joints more than 4 in. except on irregular roadway widths as directed.

(d) **Longitudinal Edges.** Place material to the final widths specified. Make a neat longitudinal edge along the roadway lane, shoulder, and curb lines. Place edges flush with curbs. Place edges with no more than ± 3 in. horizontal variance in any 100 ft of roadway.

(e) **Transverse Profile.** Fill ruts to have no depressions as measured with a 10 ft straightedge.

507.03.10 Certification. Furnish certified weigh tickets daily for the emulsion, residual asphalt content, latex emulsion, aggregate, and mineral filler. The weigh tickets will be used to determine in-place application rates.

507.03.11 Sampling and Testing. Sample the asphalt emulsion seal (mixture) and the asphalt emulsion at least once daily during paving. Provide samples for asphalt content from the completed mix produced by each mixing unit to be tested by the Administration. Asphalt

08-06-13



SPECIAL PROVISIONS INSERT
507 — SLURRY SEAL AND MICRO-SURFACING

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content will be determined by Ignition Method. Engineer to witness and submit the samples and proper documentation/certification to the Asphalt Technology Division of the Office of Materials Technology. Residual asphalt content and gradation will be determined in accordance T 30 and T 164, or T 308. The residual asphalt content shall be within +/- 1.5 percent of the Job Mix Formula (JMF). When successive tests for a mixing unit fail, or one test fails by more than 2 percent, that unit shall be removed from service until approved.

507.03.12 Tie-Ins for Entrances and Connecting Roads. Make tie-ins at entrances and connecting roads as directed.

507.03.13 Traffic. Maintain active access control at intersections and entrances. When it is necessary to open to traffic early, lightly sand the surface using the same aggregate as in the mix. Remove excess aggregate from the roadway in curb and gutter sections as required. Broadcast clean aggregate used in the seal treatment over the mix at intersections and/or entrances for temporary access as directed. Repair traffic-damaged asphalt emulsion seal at no additional cost. Place temporary paint marking after the mix has cured. Place permanent pavement markings, including thermoplastic pavement markings, at least seven days after curing.

(a) **Slurry Seal.** Open the test strip to traffic within two hours after placement unless otherwise directed.

(b) **Micro-Surfacing.** Open the test strip to traffic within one hour after placement unless otherwise directed.

507.04 MEASUREMENT AND PAYMENT. Slurry Seal and Micro-Surfacing will be measured and paid for at the Contract unit price per square yard for one or more of the pertinent items listed below. The accepted quantity of Micro-Surfacing Rutfilling will be paid for at the Contract unit price per ton. Payment will be full compensation for furnishing and placing the aggregate, tack coat, mineral filler, tie-ins to entrances and connecting roads, emulsion, latex emulsion, test strip, and for all material, labor, equipment, tools, and incidentals necessary to complete the work.

507.04.01 Slurry Seal Using Type II Mix (One Coat).

507.04.02 Slurry Seal Using Type III Mix (One Coat).

507.04.03 Micro-Surfacing Using Type II Mix (One Coat).

507.04.04 Micro-Surfacing Using Type III Mix (One Coat).

507.04.05 Micro-Surfacing Using Type II Mix (Second Coat).

507.04.06 Micro-Surfacing Using Type III Mix (Second Coat).



SPECIAL PROVISIONS INSERT
507 — SLURRY SEAL AND MICRO-SURFACING

507.04.07 Micro-Surfacing Type Rutfilling

507.04.08 Hot Mix Asphalt patches per 505.04.

507.04.09 Removal of Pavement Markings per Section 565.

507.04.10 Filling Cracks in Hot Mix Asphalt Pavement per Section 510.

507.04.11 Price Adjustment. Material not conforming to these Specifications may be accepted at a reduced price if the nonconformance is determined not detrimental to the work. The following price adjustment will apply:

- (a) The residual asphalt content of samples will be averaged for each day's production per lift and will be compared to the submitted mix design. The Contract unit price per square yard will be reduced 1 percent for each 0.10 percent the asphalt content is out of tolerance below the approved job mix formula, as per 507.03.12.
- (b) The Contract unit price per square yard will be reduced 3 percent for each pound per square yard below the specified rate. This adjustment will be determined by comparing the certified delivery tickets with the project Specifications. No increase in the Contract Unit price will be considered for applications at more than the specified rate.

507.04.12 Price Adjustment for Asphalt Binder. A Price Adjustment (PA) will be made to provide additional compensation, or a credit to the Administration for fluctuations in the cost of asphalt binder.

The prevailing base index price will be the price specified for PG 64-22 Asphalt Binder posted at www.roads.maryland.gov (Business Center / Contracts Bids and Proposals) for adjustment purposes at time of bid opening.

The PA will be made when the index price for the month of placement increases or decreases more than 5 percent of the prevailing base index price. Computations will be as follows:

$$\text{Percent Change} = ((P_p - P_b) / P_b) \times 100$$

$$PA = (Q/2000) \times AR \times (P_p - (D \times P_b))$$

Where:

- PA = Price Adjustment for Slurry Seal or Micro-Surfacing
- Q = Quantity of Slurry Seal or Micro-Surfacing placed in pounds
- D = 1.05 for increases over 5 percent; 0.95 for decreases over 5 percent
- P_p = Index price for PG 64-22 Asphalt Binder per ton for the month of placement
- P_b = Prevailing base index price for PG 64-22 Asphalt Binder per ton



Maryland Department of Transportation
State Highway Administration

SPECIAL PROVISIONS INSERT
507 — SLURRY SEAL AND MICRO-SURFACING

CONTRACT NO. XX1245C77
8 of 8

AR= Asphalt Residue expressed as a decimal

PA resulting in increased payment will be paid under the item Price Adjustment for Asphalt Binder. The item amount will be established by the Administration and shall not be revised. PA resulting in a decreased payment will be deducted from monies owed.

PROPOSED SLURRY SEAL

<u>ROAD NAME</u>	<u>MILES</u>	<u>WIDTH</u>	<u>SQ. YDS.</u>	
Mystic Harbor Blvd	0.45	22.0'	5,808	
Mystic Harbor Blvd	0.36	25'-6"	5,386	
Deep Channel Drive	0.55	38.0'	12,261	
Keel Drive	0.12	38.0'	2,675	
Dockside Drive	0.10	38.0'	2,229	
Ensign Drive	0.11	38.0'	2,452	
Whale Drive	0.07	38.0'	1,560	
Bay Vista Drive	0.07	38.0'	1,560	
Cutlass Drive	0.13	38.0'	2,898	
Coastal Drive	0.32	38.0'	7,134	
Coastal Drive	0.13	24.0'	1,830	
Coastal Drive	0.02	26.0'	305	
Fishermans Drive	0.15	38.0'	3,344	
East Wind Drive	0.20	38.0'	4,459	
Midship Drive	0.08	38.0'	1,783	
Anchor Way Drive	0.59	38.0'	13,153	
Snow Hill Shop - Parking Lot			11,172	
TOTALS	3.45	Miles	80,009	Sq Yards

1/20/16
KDB

VENDOR LIST:

Slurry Pavers, Inc.
3617 Nine Mile Road
Richmond, VA 23223
Attn: Carter Dabney
Phone No.: 804-264-0707
Fax No.: 804-264-0219
E-mail: cdabney@slurrypavers.com

Asphalt Paving Systems
555 N. Egg Harbor Road
Hammonton, NJ 08037
Attn: Walter Percy III
Phone No.: 609-561-4161
Fax No.: 609-567-2824
E-mail: wpercyiii@ashpaltpavingsystems.com

RECEIVED
 FEB 10 2016
 Worcester County Admin



10

Worcester County
DEPARTMENT OF PUBLIC WORKS
 6113 TIMMONS ROAD
 SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
 DIRECTOR

JOHN S. ROSS, P.E.
 DEPUTY DIRECTOR

TEL: 410-632-5623
 FAX: 410-632-1753

MEMORANDUM

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 9, 2016
SUBJECT: Consultant Selection - Ocean Pines Operations Center

DIVISIONS

MAINTENANCE
 TEL: 410-632-3766
 FAX: 410-632-1753

ROADS
 TEL: 410-632-2244
 FAX: 410-632-0020

SOLID WASTE
 TEL: 410-632-3177
 FAX: 410-632-3000

FLEET MANAGEMENT
 TEL: 410-632-5675
 FAX: 410-632-1753

WATER AND WASTEWATER
 TEL: 410-641-5251
 FAX: 410-641-5185

On February 8, 2016, six proposals were received and opened for design of a new operations building at the Ocean Pines Wastewater Treatment Plant. The following is a summary of the price proposals from the consultants and copies of the full proposals are attached for your review:

Company Name	Total Proposed Price	Page
George, Miles and Buhr, LLC Salisbury, MD	\$30,850.00	4
Solutions IPEM, LLC Georgetown, DE	\$31,450.00	27
Davis, Bowen and Friedel, Inc. Salisbury, MD, MD	\$39,900.00	31
Atelier II, LLC Easton, MD	\$39,995.00	32
ATI, Inc. Columbia, MD	\$49,900.00	33
KCI Technologies, Inc. Sparks, MD	\$84,042.00	34

Request for Proposals — 35

George, Miles and Buhr (GMB) is very familiar with the Ocean Pines Wastewater Treatment Plant and the operational needs in that facility as they were the design engineers for the most recent plant expansion, they recently completed a design contract for replacement of the sludge drying greenhouses and assisted in conceptual development of the Operations Center Floor Plan in 2010.

The proposal submitted by GMB displayed a significant amount of experience in wastewater operations buildings and in general building construction. Their staff is highly qualified and they have the experience needed to complete this project successfully.

Based on the information provided above, it is recommended that the County Commissioners award the design of the Ocean Pines Operations Center to George, Miles and Buhr for a cost of \$30,850.00.

Funding for the design is available in the 2014 bond issue proceeds to cover the cost of this contract.

Should you have any questions, please feel free to call me.

Attachments

cc: John Ross, P. E., Deputy Director
Jessica Ramsay, CPA, Enterprise Fund Controller

Competitive Bid Worksheet

Item: Design of Ocean Pines WWTP Operations Building

Bid Deadline/Opening Date: 1:00 P.M., Monday, February 8, 2016

Bids Received by deadline = 6

Vendor's Submitting Bids

Total Fee

Davis, Bowen & Friedel, Inc.

P.O. Box 93

Salisbury, MD 21801

\$39,800

ATI, Inc.

9220 Rumsey Road, Suite 100

Columbia, MD 21045

\$49,900

KCI Technologies

936 Ridgebrook Road

Sparks, MD 21152

\$84,042

Atelier 11

11 S. Aurora Street

Easton, MD 21601-3534

\$39,995

George, Miles & Buhr, LLC

206 West Main Street

Salisbury, MD 21801

\$30,850

Solutions IPEM, LLC

303 North Bedford Street

Georgetown, DE 19947

\$31,450

BID FORM

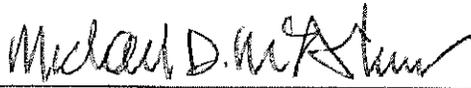
OPERATIONS BUILDING
OCEAN PINES WWTP

I/we have reviewed the specifications and provisions for the Design of the Operations Building at the Ocean Pines Wastewater Treatment Plant and hereby submit the following pricing:

1.	Design Development (30%) Design:	<u>\$5,250.00</u>
2.	Pre-final (90%) Design:	<u>\$11,850.00</u>
3.	Bidding Documents:	<u>\$4,800.00</u>
4.	Permitting assistance :	<u>\$4,750.00</u>
5.	Bidding and Contract Award:	<u>\$4,200.00</u>
	Total fee (1 - 5) :	<u>\$30,850.00</u>
6.	Geotechnical Services	\$2,000.00 (est.)

BID MUST BE SIGNED TO BE VALID

Date: February 8, 2016

Signature: 

Typed Name: Michael D. McArthur, AIA

Title: Vice President

Firm: George, Miles, & Buhr, LLC

Address: 206 West Main Street

Salisbury, MD 21801

Phone: 410-742-3115

email: mmcarthur@gmbnet.com



GEORGE, MILES & BUHR, LLC

■ ■ ■ ■

ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
SALISBURY, MD 21801

PH: 410.742.3115

PH: 800.789.4462

FAX: 410.548.5790

SALISBURY
BALTIMORE
SEAFORD

www.gmbnet.com

■ ■ ■ ■

February 8, 2016

The County Commissioners of Worcester County
Worcester County Government Center
1 West Market Street
Room 1103
Snow Hill, MD 21863

Re: Proposal for Design of New Operations Building
Ocean Pines Wastewater Treatment Plant
Ocean Pines, Maryland

To The County Commissioners of Worcester County:

George, Miles & Buhr LLC (GMB) is pleased to present this proposal for Architectural and Engineering design services for the above noted project.

We understand the project will consist of the design of a new free standing, single story approximately 2,200 SF Operations Building to house offices, laboratory, training room, break room and support areas to replace the existing outdated facility nearby. The basis of this proposal is the document entitled "Request for Proposals, Operations Building, Ocean Pines WWTP", and verbal information obtained at the pre-proposal meeting which occurred onsite January 21, 2016.

Our proposal is more particularly described as follows:

PROJECT LOCATION:

Ocean Pines WWTP
1000 Shore Lane
Ocean Pines, Maryland

PROJECT DESCRIPTION:

The following project descriptions shall describe the complete A/E Services necessary to design and construct the project.

A. DESIGN

1. Review the current space program and meet with designated representatives of the Ocean Pines WWTP to finalize the program for design.
2. Prepare construction documents for the Operations Building including but not limited to:
 - a. Architectural plans.
 - b. Structural plans.
 - c. Mechanical, Electrical and Plumbing (MEP) plans.
 - d. Site (Civil) plans.
 - e. Project specifications.

"Designing the Future for 55 Years"

JAMES H. WILLEY, JR., PE
 PETER A. BOZICK, JR., PE
 JUDY A. SCHWARTZ, PE
 CHARLES M. O'DONNELL, III, PE
 W. BRICE FOXWELL, PE
 A. REGGIE MARINER, JR., PE
 JAMES C. HOAGSON, PE
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JOHN E. BURNSWORTH, PE
 MICHAEL G. KOBIN, PE
 CHRIS B. DERBYSHIRE, PE
 W. MARK GARDOCKY, PE
 MORGAN H. HELFRICH, AIA
 VINCENT A. LUCIANI, PE
 JERRY KOTRA
 ANDREW J. LYONS, JR., PE
 KATHERINE J. MCALLISTER, PE

3. Prepare a cost estimate for construction. Cost estimating shall be based on published industry recognized square foot cost data method, and is not guaranteed. Actual costs shall be determined by the successful bidder based on prevailing bidding climate and other factors.
4. Submit plans to the Commissioners for review and comments at the 30%, 90% and final design stages.
5. Assist the client in the selection and specifications for equipment for the building.
6. Design the building in accordance with applicable codes including the International Building Code, NFPA 101 Life Safety Code, the International Energy Conservation Code and the 2010 ADA Standards for Accessible Design.

B. PERMITTING

1. Assist the Commissioners in obtaining permits/approvals for construction of the project:
 - a. Storm Water Management waiver/exemption.
 - b. Erosion and Sediment Control permit.
 - c. Building Plan review and approval.
 - d. Fire Marshal plan review and approval.

C. BIDDING ASSISTANCE

1. Assist the Commissioners in bidding the project including attending the pre-bid conference, responding to bidder's requests for information, and reviewing the bids for recommendation of award.

D. CONSTRUCTION PHASE SERVICES

Construction phase services are excluded from this agreement. GMB will furnish a proposal for these services if requested.

E. GEOTECHNICAL SERVICES

We will subcontract the geotechnical testing and reporting services to Hardin-Kight of Salisbury, Maryland. Considering the light wall loads of the proposed building, we propose this investigation to include 5 hand auger probes, Dynamic Cone Penetration tests at 12 inch intervals and preparation of a report which will include recommendations for design of foundations and slabs.

FEE SUMMARY

We propose to furnish the services defined in this proposal according to the breakdown shown in the attached form "Bid Form – Operations Building Ocean Pines WWTP". For fee reporting purposes we have added a line item #6 to this form denoted "Geotechnical Services" with its associated fee.

ASSUMPTIONS AND CONSIDERATIONS:

- Attendance at public meetings is excluded from this agreement, unless otherwise noted.
- We will attend up to three (3) meetings with County staff during the design of the building.
- Value engineering or substantial modification of the design program after the project has reached 50% Design completion, as defined by this agreement, shall be considered additional services and shall be invoiced at our standard hourly rates.
- Preparation of 3-D renderings or other marketing based information is excluded from this agreement.
- Reimbursable expenses are included in the lump sum fees and are calculated at 2% of the total professional services fees described herein.
- Permit and application fees are excluded from this agreement. GMB cannot guarantee the timeliness or thoroughness of any governmental reviews and/or approvals.
- Any item not specifically indicated herein is excluded from this agreement.

SCHEDULE:

We estimate the time to complete the design work defined herein to be 90-120 days from receipt of the signed agreement.

PROPOSAL CONDITIONS:

We propose to bill for additional written requested services in accord with the attached Schedule of Hourly Rates & Expenses and General Conditions. The General Conditions noted on the attachment apply to the entire agreement.

Sincerely,



Michael D. McArthur AIA
Architectural Group Leader



Peter A. Bozick, Jr., PE
East Region Director

MDM/mse
Enclosures

SCHEDULE OF HOURLY RATES & EXPENSES

HOURLY RATES Effective January 1, 2016

CLASSIFICATION	HOURLY RATE
Senior Project Director	\$ 175.00 - \$ 200.00
Project Director	\$ 150.00 - \$ 175.00
Senior Project Manager	\$ 125.00 - \$ 150.00
Project Manager	\$ 105.00 - \$ 125.00
Senior Project Engineer/Architect	\$ 105.00 - \$ 125.00
Project Architect/Engineer	\$ 95.00 - \$ 120.00
Graduate Architect/Engineer, Landscape Architect	\$ 85.00 - \$ 105.00
Senior Designer	\$ 80.00 - \$ 120.00
Designer	\$ 65.00 - \$ 90.00
CADD Operator	\$ 60.00 - \$ 75.00
Construction Representative	\$ 70.00 - \$ 100.00
Resident Project Representative (RPR)	\$ 55.00 - \$ 100.00
Project Coordinator	\$ 65.00 - \$ 80.00
Surveyor	\$ 95.00 - \$ 125.00
Survey Crew Chief	\$ 70.00 - \$ 110.00
Survey Technician	\$ 40.00 - \$ 70.00
Administrative/IT Support	\$ 40.00 - \$ 75.00
GIS Specialist	\$ 60.00 - \$ 85.00
Senior Technician	\$ 50.00 - \$ 90.00
Technician	\$ 30.00 - \$ 50.00

EXPENSES

All items per each, unless noted.

Internal:

Photocopies:	
Black & White	\$ 0.20
Color	\$ 0.50
Prints/Plots:	
Black & White/Color	\$ 0.50 /s.f.
Mylar	\$ 2.00 /s.f.
Travel:	
Mileage	\$ 0.540/mile*
Subsistence (Meals & Lodging)	At Actual Cost
Overnight/Immediate Delivery	At Actual Cost
Survey Crew Rates	
2 person crew	\$ 130.00/hour
3 person crew	\$ 150.00/hour
Other:	
Electronic Media Copies/Transfers/File	\$ 300.00/file
Website Project File Sharing	\$ 1.00/MB/month
Surveying Equipment/Total Station Only	\$ 35.00 /day
Surveying Equipment/Total Station + GPS Unit	\$ 150.00 /day

* To be adjusted annually on January 1, in accordance with the Internal Revenue Service Directives

GENERAL CONDITIONS (Effective July 1, 2015)

AGREEMENT

The term "Agreement" refers to the undertaking by George, Miles & Buhr, LLC ("GMB") to perform Services described in the attached Proposal and these General Conditions. The Agreement shall become effective upon acceptance by Client of the attached Proposal and General Conditions, which when acknowledged in writing, are authorization to proceed. The Agreement is between Client and GMB, and their respective partners, divisions, affiliates, members, successors and assigns, both of whom promise not to transfer or assign any interest in the Agreement without the other party's written consent. The Agreement supersedes all prior written proposals or negotiations and is conditioned upon Client's acceptance of these General Conditions. No modification of the terms of the Agreement or General Conditions shall be valid unless authorized in writing by both parties. If additional services are required by Client, GMB will provide the services when authorized in writing and documented to do so by Client.

FEES, RETAINER

Any estimate of the fees and expenses that GMB expects to incur in providing Client with services outlined in the attached Proposal is not a maximum or lump sum fee. Client understands and agrees that the final billing may be more or less than the estimate. Fees for services will be adjusted if there are changes to the scope or schedule, as defined in the Proposal including supporting drawings, schedules and exhibits. If GMB does not have an established relationship with the Client, a retainer will be requested approximating the value of services for a minimum of sixty (60) days and will be credited to the final invoice. A Schedule of Hourly Rates & Expenses is attached to and incorporated as part of the Proposal. Unless otherwise noted, all proposals are valid for a period of 90 days from the date of the proposal.

INVOICES

Invoices are due upon receipt. If an invoice is outstanding beyond thirty (30) days of the invoice date, interest will be charged at a rate of one percent (1%) per month and GMB reserves the right to stop providing services and to withdraw all permit applications. Further, if GMB has to refer any delinquent billing to an attorney for collection, Client agrees to pay GMB its reasonable attorney's fees and expenses of collection, to include, without limitation, all litigation related expenses and expert witness fees, plus 25%.

EXPENSES

Client agrees to pay GMB for internal expenses in accord with Schedule of Hourly Rates and Expenses charged for those items that are specific to the project, including, but not limited to, subcontracted consultants, permit fees, reproduction expenses, renderings, models, etc. GMB will invoice external expenses at cost plus 10%.

LIABILITY & CLAIMS

Client agrees to limit GMB's liability related to errors and omissions to an amount not to exceed the total fee for the project or GMB's available liability insurance coverage for that year, whichever is less. GMB will not be responsible for any liabilities arising from Client's negligent acts or errors, or from any entity whose conduct is not subject to GMB's control.

Client acknowledges the inherent risks associated with construction. GMB will provide services with a standard of care exercised by licensed architects and engineers. At least 30 days prior to making any claim against GMB, Client agrees to give GMB a Certificate of Merit issued by an architect or engineer, licensed by an architect or engineer, licensed by the state in which the project is located, specifically describing

every error or omission which the issuer believes to be a violation of the standard of care. If Client makes a claim or brings legal action against GMB for any services under this Agreement, and fails to prevail, Client agrees to pay all legal and other expenses incurred by GMB in its defense, including, but not limited to, attorney's fees, court costs, expert witness fees, etc.

INSTRUMENTS OF SERVICE

All work products, including those in electronic form, prepared by GMB and GMB's consultants are Instruments of Service for use solely with respect to this project. The Client shall be permitted to authorize Contractor, Subcontractors and material or equipment suppliers to reproduce applicable portions of the Instruments of Service appropriate to and for use in their execution of the work. Any unauthorized use of the Instruments of Service shall be at the Client's sole risk and without liability to GMB and GMB's consultants. No alterations shall be made to the Instruments of Service by the Client and/or any representative of the Client without the written permission of GMB and GMB's consultants. Copies of electronic media, if requested and approved, will be invoiced to the Client and due upon receipt.

APPROVALS

GMB has no control over governments and their agencies in granting approvals. Therefore, GMB cannot guarantee the timeframe for, or the cost of services incidental to, obtaining approvals from governments or governmental agencies. If the type or level of services as originally defined are revised or changed during our assignment, the fee for our services from that point forward will be subject to negotiation.

TERMINATION/SUSPENSION OF WORK

Client or GMB each may terminate the Agreement with fifteen (15) calendar days written notice; Client agrees to pay for all services provided by GMB up to the date of termination. Project delays and suspension of the project for more than 30 days, may result in additional cost to resume work. Client agrees to pay such costs before work resumes if said delays are attributable to the Client.

CONSTRUCTION SAFETY

Client agrees to require general or subcontractor to indemnify, defend and hold GMB harmless against claims arising from unsafe site conditions.

CONSTRUCTION ESTIMATES

GMB has no control over the cost of labor, materials, equipment and services provided by others or over the contractor's methods of determining prices and does not warrant or guarantee construction estimates.

CONSTRUCTION SCHEDULES

GMB has no control over the means, methods and techniques of construction employed by contractors, the timing of government approvals or the delivery of materials and equipment. The Client agrees that any construction schedule prepared by GMB is approximate and will not be the basis for a claim.

HAZARDOUS MATERIALS

Client agrees to defend, indemnify and hold GMB harmless for any and all liabilities, claims, costs and expenses, including, but not limited to, litigation expenses, attorney's fees, and expert witness fees, which relate in any way to the presence of any hazardous or toxic materials on the project.

GOVERNING LAWS; VENUE

The Agreement shall be interpreted in accordance with the laws of the State of Maryland. The venue for any dispute arising out of the Agreement shall be, at the sole discretion of GMB, the Circuit Court for Wicomico County, Maryland or the federal courts within the State of Maryland.

Billable Rates & Reimbursable Expenses

Hourly Rates

Principal/Director	\$175.00/hour
Project Manager/Sr. Engineer	\$150.00/hour
Engineer/Sr. Designer	\$125.00/hour
Designer	\$90.00/hour
CADD/Admin.	\$70.00/hour

Subcontractors would be billed at cost plus 10%.

Reimbursables

Reimbursable expenses directly related to your project may include, but are not limited to: reproduction, printing, plotting, mail, overnight delivery services, etc. Reimbursables will be billed at cost plus 15%.

SIZE	SQ FT	VELLUM	MYLAR	PRINT
C	3	\$ 5.25	\$ 9.00	\$ 0.75
D	6	\$ 10.50	\$ 18.00	\$ 1.50
E	9	\$ 15.75	\$ 27.00	\$ 2.25
F	12	\$ 21.00	\$ 36.00	\$ 3.00
\$ per square foot		\$ 1.75	\$ 3.00	\$ 0.25

Plus \$ 10.00 Processing Fee per Transmittal

(same prints going to different locations on the same day will incur only one processing fee per job)

■ ■ ■ ■

ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
SALISBURY, MD 21801

PH: 410.742.3115

PH: 800.789.4462

FAX: 410.548.5790

SALISBURY
BALTIMORE
SEAFORD

www.gmbnet.com

■ ■ ■ ■

February 8, 2016

The County Commissioners of Worcester County
Worcester County Government Center
1 West Market Street
Room 1103
Snow Hill, MD 21863

Re: Proposal for Design of New Operations Building
Ocean Pines Wastewater Treatment Plant
Ocean Pines, Maryland

To The County Commissioners of Worcester County:

George, Miles & Buhr, LLC (GMB) is pleased to submit our qualifications and proposal for the New Operations Building at the Ocean Pines Wastewater Treatment Plant.

GMB provides award-winning Architectural and Engineering services to public and private clients throughout the mid-Atlantic region. We are pleased to team with Allen & Shariff Engineering, LLC, of Salisbury, MD, who will lead our MEP design efforts. We believe our team has the experience and skills necessary to successfully complete this important project in a high quality manner.

GMB has been in business on the Delmarva Peninsula for over 56 years. We have worked extensively with municipal governments in the area on a wide range of governmental and public projects, including wastewater treatment facilities. We will work closely with your designated representatives to accomplish your goals and vision.

GMB has extensive direct experience providing engineering services to Worcester County and working with the staff for the Ocean Pines Wastewater Treatment Plant. We assisted the County with preliminary planning and programing for the Operations Center and would be most appreciative to continue our services through design and bidding.

Thank you for the opportunity to submit this proposal. We look forward to assisting Worcester County with this important project.

Sincerely,



Michael D. McArthur AIA
Architectural Group Leader



Peter A. Bozick, Jr., PE
East Region Director

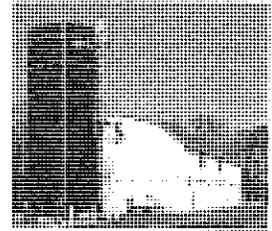
MDM/mse
Enclosures

JAMES H. WILLEY, JR., PE
PETER A. BOZICK, JR., PE
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CHARLES M. O'DONNELL, III, PE
W. BRICE FOXWELL, PE
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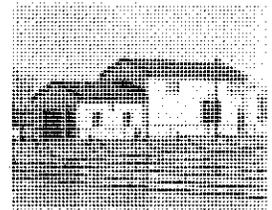
JOHN E. BURNSWORTH, PE
MICHAEL G. KOBIN, PE
CHRIS B. DERBYSHIRE, PE
W. MARK GARDOCKY, PE
MORGAN H. HELFRICH, AIA
VINCENT A. LUCIANI, PE
JERRY KOTRA
ANDREW J. LYONS, JR., PE
KATHERINE J. MCALLISTER, PE

RELEVANT EXPERIENCE

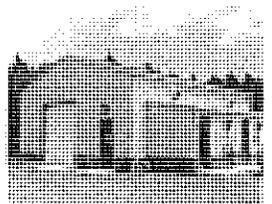
GMB is a multi-disciplined architectural and engineering consulting firm headquartered in Salisbury, Maryland, and is committed to serving municipalities on the Delmarva Peninsula. We have developed specialized experience in the area of municipal consulting. From planning and design, through contract documentation, permitting and contract administration, our expert knowledge and attention to detail ensure our projects are functional, environmentally sound and aesthetically pleasing.



GMB has been a trusted advisor to communities throughout Maryland's Eastern Shore for over five decades. Finding the best solutions for the municipalities we partner with is our first and foremost initiative. Implementing those solutions helps lead to a better quality of life for the community and residents alike.



GMB has extensive experience in complex building designs of virtually every type. Throughout our 55 year history, our firm has been involved in the design of a large number of both traditional and contemporary public and community use buildings, such as city halls, police stations, community centers, libraries, schools, museums, governmental and recreational facilities.



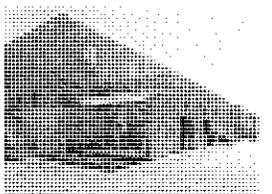
Our full range of expertise also includes structural engineering, site development, stormwater management design, land planning, building technology systems, water/wastewater engineering, and construction administration.

GMB maintains close working relationships with Maryland State, County, and Local agencies and participates in regulatory updates. Through our diverse project portfolio, GMB stays up to date with current trends and code changes.



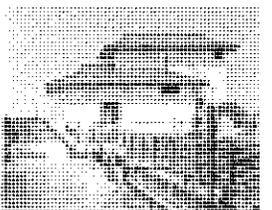
Wastewater Treatment Facility Experience (Engineering & Architectural):

- Cambridge WWTP ENR Upgrade, Cambridge, MD
- Denton BIOLAC WWTP ENR Upgrade, Denton, MD
- Fruitland WWTP BNR Upgrade, Fruitland, MD
- Glen Riddle Water & Wastewater Treatment Plants, Worcester County, MD
- Laurel WWTP ENR Upgrade and Expansion, Laurel DE
- Howard H. Seymour Water Reclamation Plant Membrane and BNR Upgrade and Expansion, Lewes, DE
- Salisbury Christian School new WWTP and Maintenance Building, Salisbury, MD



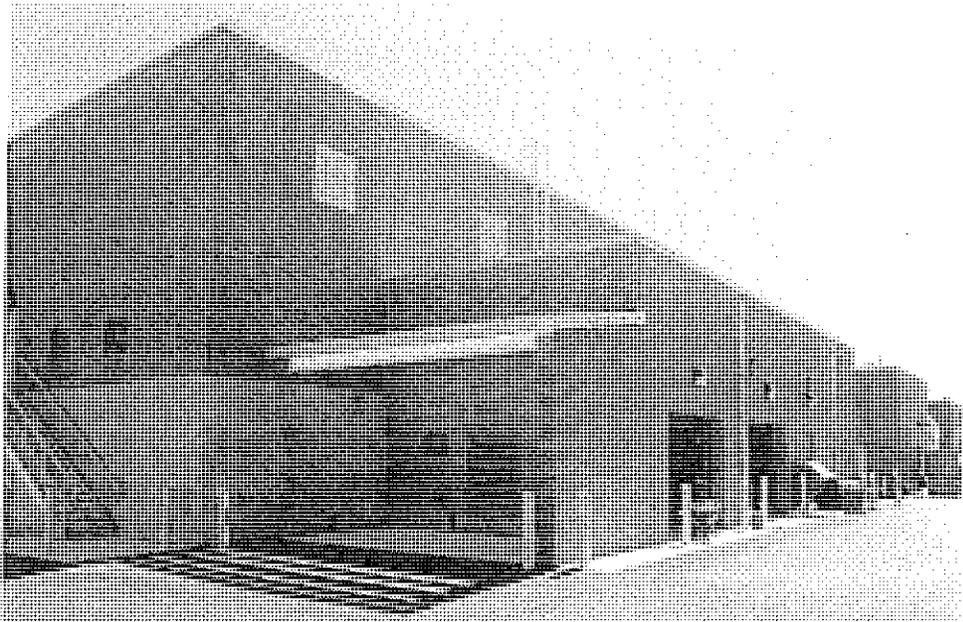
Other Governmental / Municipal Facility Experience Includes:

- NASA Horizontal Integration Facility (HIF), Wallops Island, VA
- Caroline Emergency Services EMS Facility, Caroline County, MD
- East New Market Fire Department, East New Market, MD
- Seaford Police & 911 Center, Seaford, DE
- NASA New Island Fire Station, Wallops Island, VA
- Seaford City Hall, Seaford, DE



Please see the Project Summary Sheets located within this section for descriptions of the projects listed above.

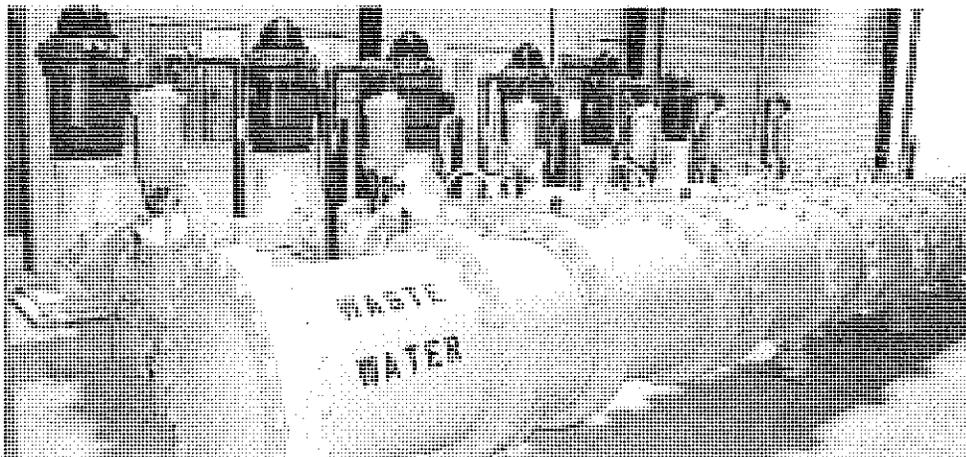
WASTEWATER TREATMENT PLANT
ENR UPGRADE
Cambridge, Maryland



GMB provided engineering and architectural services to the City of Cambridge for the planning and design to upgrade their existing 8.1 million gallon per day treatment facility.

The ENR Upgrade consists of the construction/installation of the following: secondary clarifier effluent pumping station, rapid-mix chamber, enhanced nutrient removal denitrification filter with building, HACH water quality analyzing instrumentation, expansion of SCADA system to incorporate new system components, coagulant storage and feed system, methanol storage and feed system, and associated site work and yard piping. Other non-ENR improvements included as part of the project are: gravity sludge thickener, sludge feed pump, belt filter press and dewatered cake pump.

In addition to the engineering design, GMB also provided architectural design, construction contract administration, an on-site Resident Project Representative (RPR), and Quality Control Testing services.



CLIENT
City of Cambridge
705 Leonard Lane
Cambridge, MD 21613

SERVICES
Grant Funding Assistance
Preliminary Engineering
Report
Wastewater Engineering
Structural Engineering
Architectural
Contract Administration
Resident Project
Representative

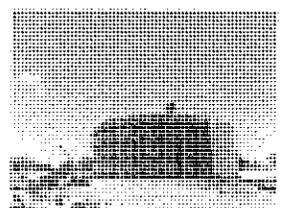
SIZE
8.1 MGD

CONSTRUCTION COST
\$8.71 million

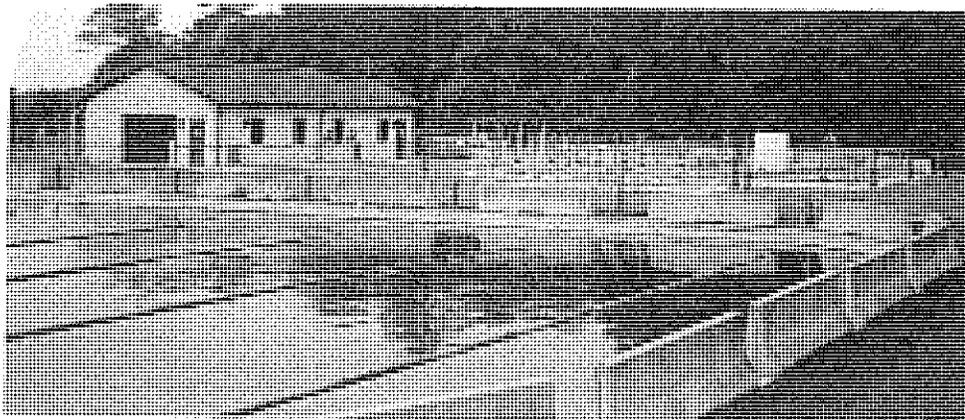
CONTRACTOR
Galway Bay Corporation

COMPLETION DATE
2013

CONTACT
Mr. George Hyde
City Engineer
410.228.1955



WASTEWATER TREATMENT PLANT
BIOLAC® ENR UPGRADE
Denton, Maryland



CLIENT
Town of Denton
Dept. of Public Works
650 Legion Road
Denton, MD 21629

SERVICES
Grant Funding Assistance
Preliminary Engineering
Report
Wastewater Engineering
Structural Engineering
Architectural
Contract Administration
Resident Project
Representative

SIZE
0.8 MGD

CONSTRUCTION COST
\$3.89 million

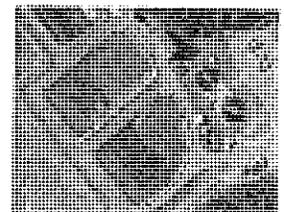
COMPLETION DATE
Design: 2009
Substantial Completion:
Aug. 2011

CONTACT
410-479-2050

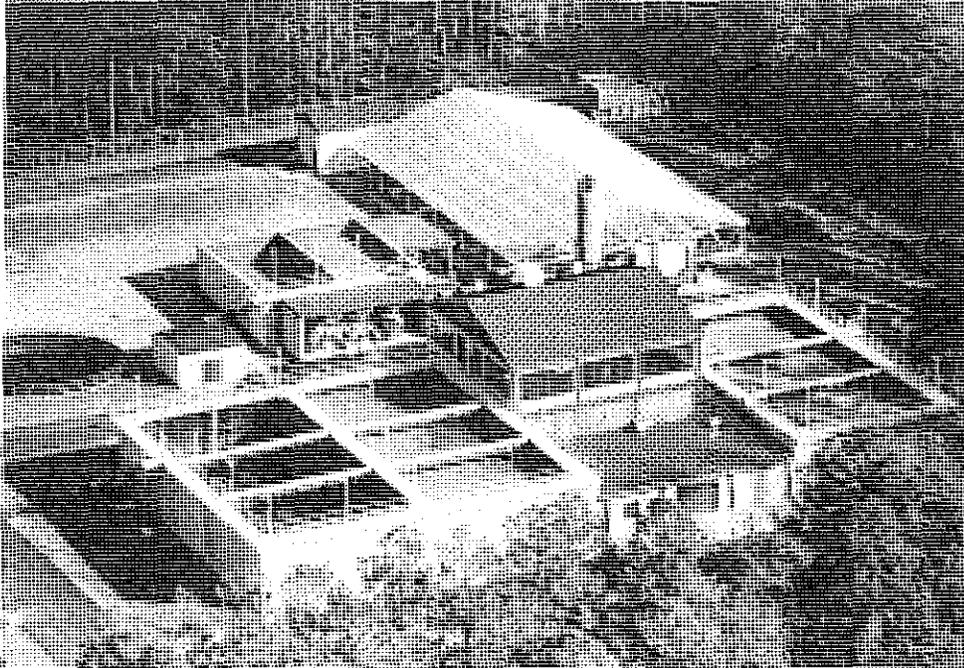
In 2008, the Town of Denton's Wastewater Treatment Plant received a renewed NPDES permit. The new permit stipulates that the facility must be Enhanced Nutrient Removal (ENR) compliant by January 2012. To ensure that the facility meets these permit requirements, the Town contracted with GMB to design an ENR Upgrade. GMB assisted with securing Bay Restoration grant funding for the project by negotiating eligibility with the State of Maryland.

The ENR upgrade entailed "building on" to the well-performing existing BNR system which was comprised of a Biolac activated sludge process with independent, conventional secondary clarifiers. The ENR Upgrade consists of the construction/installation of the following: post anoxic reactors located between the existing Biolac basins and secondary clarifiers, enhanced nutrient removal denitrification filter, modification and construction of several recirculation structures, HACH water quality analyzing instrumentation, expansion of SCADA system to incorporate new system components, coagulant feed systems, supplemental carbon storage and chemical feed systems, ENR building, Coagulant building, diffused air post aeration system, and associated site work and yard piping.

Also included as part of the project were several small improvements to the existing plant, such as inclusion of flow metering on recirculation lines and installation of launder covers at the secondary clarifiers.



WASTEWATER TREATMENT PLANT UPGRADE
Fruitland, Maryland



CLIENT
City of Fruitland
401 East Main Street
P.O. Drawer F
Fruitland, MD 21826

SERVICES
Wastewater Engineering
Civil Engineering
Structural Engineering
Architectural Design

SIZE
1M gallons per day

CONSTRUCTION COST
\$7,800,000

COMPLETION DATE
2003

CONTACT
410-548-2800

This project consisted of increasing the capacity of the existing 500,000-gallon per day trickling filter wastewater treatment plant to a new capacity of 1,000,000-gallons per day (1 MGD). The existing trickling filter process was replaced with a biological nutrient removal (BNR) process known as the Sequencing Batch Reactor (SBR). Additional improvements included new preliminary screening and a grit removal unit before the BNR process. The treated wastewater is now filtered prior to ultraviolet light disinfection. The waste sludge from the SBR process is now stabilized in an aerobic digester. Sludge dewatering can be accomplished by either the mechanical dewatering device or by the use of the renovated, enclosed sludge drying beds. The WWTP produces a Class A Biosolids product with the use of the lime-heat process.

The new operations building houses a wastewater laboratory as well as the Supervisory Control and Data Acquisition (SCADA) system for remote operational control of the BNR Process.

An emergency generator is provided for a back-up power source. Arrangements made with Conectiv allow the use the generator for peak-shaving and load-sharing purposes and will result in energy cost savings to the City of Fruitland.

GMB provided the process, civil, architectural and structural design of the wastewater treatment plant. Gipe Associates was utilized for the mechanical and electrical design. The services provided by George, Miles & Buhr also included coordination of geotechnical testing, as well as wetlands, sediment & erosion control, storm water management and forest conservation permitting.



GLEN RIDDLE WATER & WASTEWATER TREATMENT PLANTS

Worcester County, Maryland



CLIENT
Centex Homes
7 Chester Street
Berlin, MD 21811

SERVICES
Water/Wastewater Engineering
Water Treatment & Storage
Design
Wastewater Treatment &
Disposal Design
Architectural

SIZE
400,000 Gallon Elevated Storage
Tank
0.20 mgd Wastewater
Reclamation Plant

CONTRACTOR
David G. Horsey & Sons, Inc.

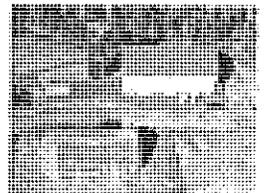
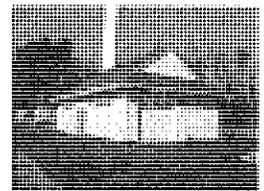
COMPLETION DATE
2003

CONTACT
Mr. David Ryan
410-208-9147

Glen Riddle is a 995 acre planned unit development (PUD) situated on the Herring and Turville Creeks in Worcester County, Maryland. The Farm is the former training grounds of the Triple Crown racehorse, Man-O-War. GMB provided the engineering services to Centex Homes for the water and wastewater treatment facility involving reclaimed water reuse to serve a 650-unit residential subdivision. The community also includes a marina, a community center and two 18-hole golf courses located in Berlin, Maryland.

The Glen Riddle Water Treatment Plant is a 0.45 MGD drinking water production facility. The source is groundwater with a moderately high level of iron. Treatment for iron removal is accomplished with three parallel package treatment systems that make use of conventional treatment technologies while still keeping a compact footprint. Disinfected water is pumped out of the facility to the community. A 400,000 gallon elevated storage tank was also constructed adjacent to the plant for storage. A high degree of automation is built into the plant control system, minimizing the need for operator attention. Additionally a SCADA system with radio connection makes control and monitoring possible from a remote, centrally located facility. Aesthetics were important in building design and care was taken to keep the appearance of an agriculture setting to the extent possible.

GMB also designed the 0.20 mgd wastewater reclamation plant, which employs a membrane bioreactor (MBR) technology, also known as the ZenoGem process. The MBR process consists of a suspended growth oxic-anoxic biological reactor integrated with a hollow fiber ultrafiltration membrane system. The membranes are immersed in the biological reactor and permeate pumps are used to draw a vacuum



on the membranes, thereby extracting clear water through the membrane. The ultrafiltration membranes serve to replace the solids separation function of secondary clarifiers and sand filters. Sugar is added as a carbon source to achieve complete denitrification in the reactor, prior to filtration. The filtered effluent is chlorinated and pumped to a 30 mg holding pond prior to reuse as irrigation water. The small footprint of the process allowed for the entire wastewater facility, including the laboratory, to be constructed in a single barn-type building.

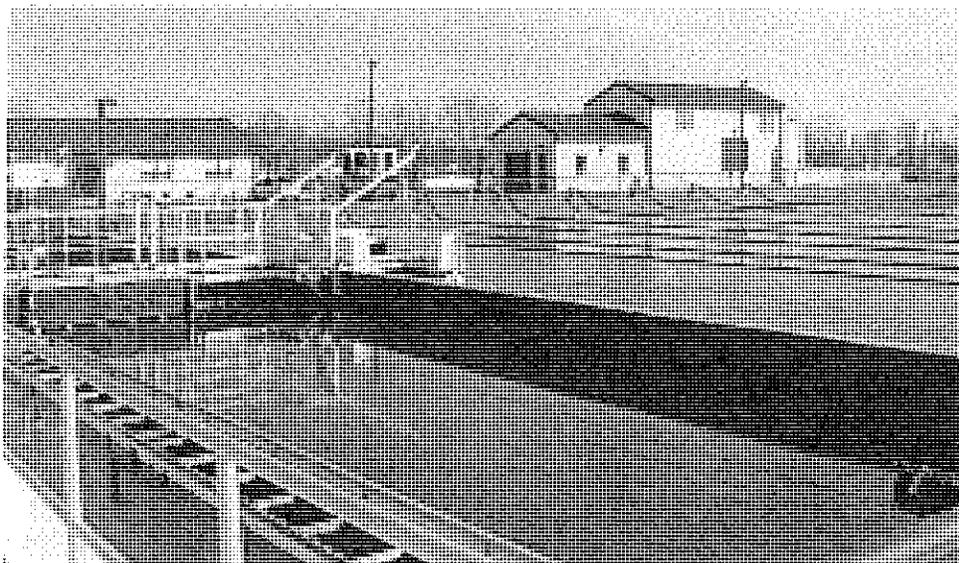
SCADA controls were incorporated into the project allowing for Worcester County to remotely monitor the plants operations from its offices located in Ocean Pines.

Because of the reduced footprint afforded by the elimination of clarifiers and filters, the treatment process is entirely housed and concealed in a barn structure. The architectural design of the facilities incorporated farm-like barn features, a storage silo and greenhouse structure in order to blend with the character of the existing Riddle Farm property, formerly the training grounds for the famous racehorses, Man-O-War and War Admiral. An 11 acre lagoon was provided for storage of reclaimed water prior to irrigation onto the golf courses.

GMB provided process, civil, architectural and structural design of the WTP and WWTP in a design-build effort with the general contractor and the electrical contractor.

WASTEWATER TREATMENT PLANT ENR UPGRADE AND EXPANSION

Laurel, Delaware



CLIENT

Town of Laurel
201 Mechanic Street
Laurel, DE 19956

SERVICES

Environmental Engineering
Civil Engineering
Structural Engineering
Architectural Design
Construction Administration

SIZE

0.7 Million Gallons per Day

CONSTRUCTION COST

\$7.89 million

CONTRACTOR

Bearing Construction, Inc.

COMPLETION DATE

August 1, 2007

CONTACT

Ms. Jaime Smith
Town Manager
302-875-2277

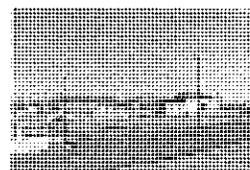
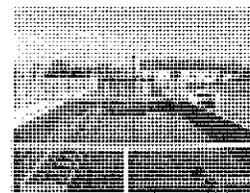
The Laurel Wastewater Treatment Plant is located in one of Sussex County's rapidly growing base population areas. Working with the State of Delaware Department of Natural Resources and Environmental Control (DNREC), the Town of Laurel moved forward in implementing treatment process enhancements that would allow the Laurel WWTP to remove Nitrogen and Phosphorus from the plant's effluent to levels at the limit of current wastewater treatment technology.

In March 2003, George, Miles & Buhr, LLC (GMB) was awarded the contract to design a new wastewater treatment process for ENR (or Enhanced Nutrient Removal), inclusive of increasing the average daily flow capacity from 0.5 million gallons per day (MGD) to 0.7 MGD.

As part of the design, GMB proposed a single-train, Biolac®, Wave Oxidation® process; reusing two of the ponds within the existing three pond facultative system. The Biolac® process manufactured by Parkson Corporation, was selected based its ability to meet ENR standards when combined with denitrification filters, as well as produce a biosolid which did not require further stabilization prior to temporary pond storage.

Upgrades include replacement of chlorine disinfection with UV, new cascade stair post aeration chamber, new septage holding and transfer system, new headworks containing screening and grit removal equipment, new RAS pumping station, floating WAS distribution piping, new single-train bioreactor, new denitrification filters, new side-stream algae removal filter, multiple new chemical feed systems, real-time water quality analyzer/chemical feed controller, electrical upgrades throughout the facility, new process control (SCADA) system and new Laboratory/Operations Building.

Other aspects of the project included new yard piping, CCTV surveillance system, stormwater management, sediment and erosion control, and permits acquisition, as well as structural and electrical design. Construction phase services including full time inspection is also being provided by GMB.



**HOWARD H. SEYMOUR WATER RECLAMATION PLANT
MEMBRANE AND BNR UPGRADE & EXPANSION**
Lewes, Delaware



CLIENT
Board of Public Works
Lewes, Delaware

SERVICES
Facility Master Planning
Wastewater Engineering
Architectural Design
Structural Engineering
Contract Administration
Funding Coordination

SIZE
1.5 MGD

CONSTRUCTION COST
\$12,336,859

CONTRACTOR
C.O. Falter Construction
Corp.

COMPLETION DATE
October 2007

CONTACT
Darrin Gordon
BPW General Manager
302.645.6228

To meet the needs of the City of Lewes' expected growth and to meet the stringent requirements of DNREC's Inland Bays TMDL legislation, the Lewes Board of Public Works expanded its 750,000 gallon per day wastewater facility to 1.5 MGD and also upgraded its secondary treatment process for Biological Nutrient Removal.

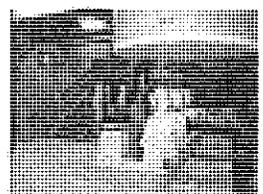
The Board upgraded its entire headworks section of the facility utilizing a 5 mm bandscreen, a 1 mm bandscreen and new grit removal equipment. Additionally, the Board retrofitted an existing 500,000-gallon tank into its new flow equalization facility.

The TMDL legislation imposed low limitations on the amount of nitrogen and phosphorus the new facility's effluent discharge could contain. Therefore, the new facility integrates a 4-stage Bardenpho biological nutrient removal system with a membrane filtration system (Zenon). The Board utilized existing tankage on-site and transformed that tankage into the membrane bioreactor system.

The Board also upgrade its sludge digestion system utilizing a membrane thickener system to produce a digested sludge product exceeding Class B requirements. The system also creates a smaller volume of digested sludge via automatic and continuous thickening to 3% solids.

The unit processes in the Water Reclamation Facility include:

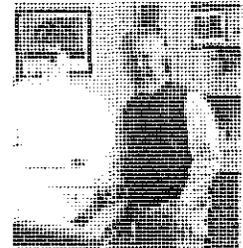
- Ultra-fine band screens
- Grit removal system
- Flow Equalization
- 4-stage Bardenpho BNR system
- Membrane filtration system (eliminating the need for external clarifiers and post-secondary filtration) – mixed liquor concentrations of up to 10,000 mg/l
- Membrane thickener sludge digestion system
- Ultraviolet disinfection system



KEY PERSONNEL

GMB has assembled an exceptional project team to best serve the needs of Worcester County. The key personnel which will be assigned to this project are listed below. Each individual is available to fully commit to the Ocean Pines WWTP Operations Building project, and can begin work as soon as requested.

Detailed resumes for each team member can be found on the following pages.



Lead Firm: George, Miles & Buhr, LLC (GMB)

Project Responsibilities: Prime Consultant, Production of Project Documents, Architectural Design & Specification, Structural Engineering, Civil Engineering

<u>Project Assignment</u>	<u>Name</u>
Project Director / Architect.....	Michael D. McArthur, AIA
Project Manager / Architect	Morgan H. Helfrich, AIA, LEED AP
Civil Engineer (Lead).....	Peter A. Bozick, Jr., P.E.
Civil Engineer.....	Griffin Baier-Anderson, E.I.
Structural Engineer (Lead)	A. Reggie Mariner, Jr., P.E.
Structural Engineer	Roland E. Holland, P.E.

Sub-Consultant: Allen & Shariff Corporation

Project Responsibilities: Mechanical, electrical, & plumbing engineering



Firm Overview: Bill Allen and Zack Shariff founded Allen & Shariff Corporation in 1993 as an engineering consulting business based in Columbia, MD. The company has expanded its services to include general contracting and project and construction management in offices located in Columbia, MD, Salisbury, MD, Dover, DE, Pittsburgh, PA, and Abu Dhabi and Dubai, UAE.

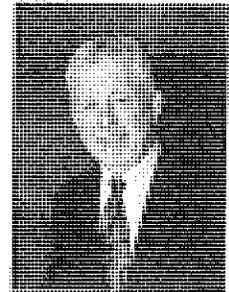
Allen & Shariff Engineering, LLC, provides mechanical, electrical, plumbing, fire protection, and technology engineering design services. Along with engineering services, Allen & Shariff offers energy design and commissioning to public safety, government, correctional, K-12 schools, higher education facilities, corporate office buildings, housing/mixed-use, retail, restaurants, and tenant/interiors projects. The firm offers services to these markets with unique skills in: Sustainable design, LEED consulting, geothermal systems designs, renewable energy design, site investigations, and much more.

<u>Project Assignment</u>	<u>Name</u>
Principal-in-Charge / Mechanical Engineer	Donald Hocking, P.E., LEED AP BD+C
Electrical Engineer	Stephen A. Mariner, P.E., LEED AP BD+C
Plumbing Engineer.....	Patrick L. Giordano, CPD, LEED GA

MICHAEL D. MCARTHUR, A.I.A.
Project Director / Architect

Mr. McArthur has more than thirty years of experience in the design and administration of complex building projects, including medical, governmental, commercial, educational, single and multi-family residential, hospitality and health/fitness facilities.

Mr. McArthur's responsibilities have included design, feasibility and programming studies, contract documentation, management, specifications and construction observation. He has been involved in design and documentation of building projects in Maryland, Virginia, Delaware and Washington, D.C, as well as international projects in Africa, Mexico, Romania and China.



Wastewater Treatment Facility Experience Includes:

- Cambridge WWTP ENR Upgrade, Cambridge, MD
- Denton BIOLAC WWTP ENR Upgrade, Denton, MD
- Fruitland WWTP BNR Upgrade, Fruitland, MD
- Glen Riddle Water & Wastewater Treatment Plants, Worcester County, MD
- Laurel WWTP ENR Upgrade and Expansion, Laurel DE
- Howard H. Seymour Water Reclamation Plant Membrane and BNR Upgrade and Expansion, Lewes, DE
- Salisbury Christian School new WWTP and Maintenance Building, Salisbury, MD

Other Governmental / Municipal Facility Experience Includes:

- Seaford Police and 911 Center, Seaford, DE
- NASA New Fire Station, Wallops Island, VA
- NASA Mission Launch Command Center, Wallops Flight Facility, VA
- NASA Global Hawk Control Center, Wallops Flight Facility, VA
- NASA Horizontal Integration Facility (HIF), Wallops Island, VA
- New Fire Station, East New Market, MD
- New Fire Station, Bloxom, VA
- Seaford Volunteer Fire Department Renovations, Seaford, DE
- New Police Station, Denton, MD
- Somerset County Detention Center Addition, Somerset County, MD
- Laurel Fire Department, Master Plan, Laurel, DE

Other Relevant Experience Includes:

- VA Clinic, Pocomoke, MD
- Atlantic Community Health Center, Oak Hall, VA
- Onley Community Health Center, Onley, VA
- Seaford Fire Museum, Seaford, DE
- Museum of Chincoteague Island Renovations, Chincoteague, VA
- Lower Shore Clinic, Salisbury, MD
- Sussex Academy, Georgetown, DE
- Children's Clinical Center of Excellence, Princess Marina Hospital, Botswana, Africa

RESPONSIBILITIES

Vice President
Director of Architectural Group

GROUP

Architecture, Salisbury

EDUCATION

University of Kansas,
1972
Bachelor of
Environmental Design

REGISTRATION

Registered Architect
MD-5326-A
DE-S5-0006565
VA-0401-012171
PA-RA-016605-B

CERTIFICATIONS

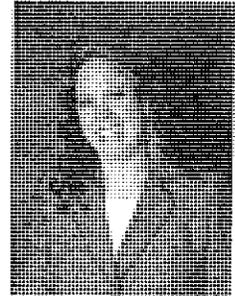
NCARB Certification

ORGANIZATIONS

American Institute of
Architects

MORGAN H. HELFRICH, A.I.A., LEED® AP
Project Manager / Architect

Ms. Helfrich joined the firm of George, Miles & Buhr, LLC in 2006. She is specialized in all types of residential design including single and multi-family, renovations and additions, as well as senior living and hotel design. Ms. Helfrich also has work experience in other sectors such as commercial, industrial, hospitality, institutional, financial, and educational. She is involved with all stages of design as a Senior Project Architect, which encompasses client contact, proposals and schematic design through construction administration. A former part-time faculty member for Wor-Wic Community College, Ms. Helfrich also used her skills in architectural CAD, 3D Building Information Modeling and graphic rendering to teach Auto CAD and Revit credit and non-credit courses.



Governmental / Municipal Facility Experience Includes:

- NASA Mission Command Center (New Building), Wallops Island, VA
- NASA New LEED Fire Station, Wallops Island, VA
- Seaford Police & 911 Center, Seaford, DE
- Seaford Volunteer Fire Department Renovations, Seaford, DE
- New Fire Station, East New Market, MD
- Somerset County Detention Center Addition, Somerset County, MD
- FBI Office Renovations, Salisbury, MD
- Caroline County Emergency Services Facility, Denton, MD
- NASA Wallops Island Global Hawk Operations Center, Wallops Island, VA
- Charles County Detention Center Addition, La Plata, MD
- NASA Wallops Bldg. W-65 Roof Replacement, Wallops Island, VA
- Charles County Courthouse, La Plata, MD
- Charles County Replica Train Station, La Plata, MD
- Richard Clark Senior Center Flat Roof Drainage Study, Charles County, MD

Other Experience Includes:

- PNC Bank Renovations, Bethany Beach, DE & Salisbury, Fruitland, Snow Hill, Easton, & Berlin, MD Branches
- Chesapeake Bay Bridge Tunnel Welcome Center, Cape Charles, VA
- Onley & Atlantic Community Health Centers, Eastern Shore of VA
- Wicomico County Board of Education Occupancy Calculation Study, Wicomico County, MD
- Lower Shore Clinic Renovation and Addition, Salisbury, MD
- Wight Bay Condominium Exterior Façade Renovation, Ocean City, MD
- The Quay Condominium Exterior Coatings, Ocean City, MD
- Purnell House Condominium, Ocean City, MD
- Ocean City Injury and Wellness Center, Ocean City, MD
- Lucayan Condominium Exterior Façade Design, Ocean City, MD
- Thunder Island Condominium Façade Renovation, Ocean City, MD
- Sussex Academy Charter School Interior Fit-Out Design, Georgetown, DE
- Commander Hotel, Ocean City, MD
- Harbour House Facade Renovation, Sea Colony East, Bethany Beach, DE

RESPONSIBILITIES
Vice President / Senior Project Manager

GROUP
Architecture, Salisbury

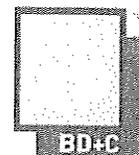
EDUCATION
Temple University, 1999
Bachelor of Architecture

REGISTRATIONS
Registered Architect
MD-16457
DE - S5-0007846
VA - 0401016189

CERTIFICATIONS
NCARB Certification 2012
#88168
LEED® AP Certification
2008

ORGANIZATIONS
American Institute of Architects

U.S. Green Building Council, Member



PETER A. BOZICK, JR., P.E.
Engineering Director

Pete Bozick has worked at George, Miles & Buhr since 1974. His responsibilities have included the preparation of plans, specifications and the contract administration for various wastewater collection and treatment facilities which use conventional as well as advanced treatment technologies. His educational background and expertise include the areas of ocean engineering, biosolids treatment/disposal, as well as spray irrigation land treatment.

Mr. Bozick has written numerous reports and studies including EPA Wastewater Facilities Plans, Environmental Assessments, Cost-Effectiveness Studies, Effluent and Sludge Disposal Analysis, Infiltration/Inflow Analysis, Operation and Maintenance Manuals, User Charge Systems, Feasibility Studies and Sewer Use Regulations.

Mr. Bozick has worked with a variety of federal and state funding agencies on projects including the EPA Construction Grants Program, the EPA Revolving Loan Program, Farmers Home Administration, Rural Economic and Community Development and HUD Community Development Block Grants.

Mr. Bozick has participated in Value Engineering workshops for major sewer projects and also has provided expert witness deposition testimony.

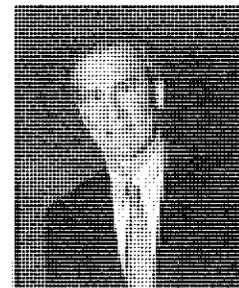
Mr. Bozick was a reviewer on the Water Pollution Control Federation Task Force which produced the "Sludge Thickening" and "Sludge Dewatering" Manuals of Practice. He was a member of a technical panel for the State of Maryland responsible for review of the State of Maryland "Design Guidelines for Land Treatment of Domestic Wastewater".

Mr. Bozick has served as an instructor for the Wastewater Operators Course at Wor-Wic Tech Community College.

During his graduate training, Mr. Bozick worked part-time on activated sludge bench-scale studies and designed on-site sewage disposal systems with intermittent sand filters for two elementary schools.

Relevant Project Experience Includes:

- **Fruitland WWTP - ENR Upgrade , Wicomico County , MD** -
Design and permitting to upgrade a 0.8 mgd BNR wastewater treatment facility to achieve ENR treatment levels using a Denitrification Filter. Additional work involves improvements to the aerobic digesters. Overall Cost: \$7,800,000
- **Ocean City Primary Plant Expansion (12 to 16 MGD), Ocean City, MD** - managed design and construction contract administration for a \$7.5 million expansion of the primary facilities from 12.0 MGD to 16 MGD including a 2 million gallon equalization tank and a fluidized bed incinerator.
- **Morris Mill Water System, Wicomico County, Maryland**
Preliminary Engineering Report and Environmental Report to secure needed funding to construct a water distribution system and elevated water storage tank to service an area where residential wells have been contaminated with TCE (a dry cleaning solvent). The system will include 6-inch through 12-inch water mains, hydrants for fire protection and a 500,000 elevated water storage tank. Overall project cost is: \$8,000,000



RESPONSIBILITIES
Executive Vice President
Project Director

EDUCATION
University of Maine, 1975
Master of Science
Sanitary Engineering

Duke University, 1973
Bachelor of Science
Civil Engineering

REGISTRATION
Professional Engineer
Maryland -11568
Delaware-5317
Virginia -014275

ORGANIZATIONS
ACEC of Maryland
Water Environment
Federation
American Water Works
Association
Wicomico Creekwatchers

- **Secondary Wastewater Treatment Plant (12 MGD), Ocean City, MD** - Headworks and Laboratory, managed design and construction contract administration for \$3.0 million retrofit for upgrading the screening and grit removal facilities and the construction of a new state-of-the-art laboratory for water and wastewater analysis.
- **West Rehoboth Sanitary Sewer District, Sussex County, DE** - Managed design and construction contract administration for the ongoing \$65 million construction contracts for wastewater collection systems, transmission sewers, pump stations and a design/build treatment and spray facility in coastal Sussex County, DE
- **LeCato Wastewater Treatment Facility (8 MGD), Sussex County, DE** – design of oxygen activated sludge secondary treatment process with ocean outfall disposal and land application of biosolids.
- **Wastewater Treatment Plant, Georgetown, DE** - Managed construction contract administration for the \$2.8 million construction of a 0.5 MGD advanced wastewater treatment plant involving the activated bio-filter (ABF) process, phosphorous removal filters and anaerobic digesters.
- **Delmar Wastewater Treatment Plant (0.65 MGD), Delmar, MD** - Managed design and construction contract administration for a \$5 million treatment plant providing a capacity of 0.65 MGD utilizing single-stage nitrification and phosphorous removal.
- **Dagsboro-Frankford Wastewater Collection, Treatment & Spray Facility:** Collection, Treatment and Spray Facility, managed design and construction contract administration for \$8.0 million collection system and 200,000 gallon per day lagoon treatment and solid set spray irrigation system.
- 1.47 MGD BNR Upgrade, Wastewater Treatment Plant, Pocomoke City, MD
- 1.0 MGD BNR Upgrade-Expansion, Fruitland WWTP, Fruitland, MD
- 1.26 MGD BNR Upgrade, Wastewater Treatment Plant, Princess Anne, MD
- 1.47 MGD ENR Upgrade, Wastewater Treatment Plant, Pocomoke City, MD
- 8.0 MGD ENR Upgrade, Wastewater Treatment Plant, Cambridge, MD
- 0.20 MGD BNR Upgrade Wastewater Treatment Plant, Willards, MD
- 0.20 MGD Glen Riddle Water and Wastewater Plant, Worcester County, MD
- 0.70 MGD Wastewater Treatment Plant Liner, Ridgely, MD
- West Rehoboth Expansion – Phase III, Sussex County, DE
- 1.0 MGD Secondary Wastewater Treatment Plant, Seaford, DE
- 0.5 MGD Secondary Wastewater Treatment Plant (0.5 MGD), Snow Hill, MD
- United States Coast Guard Station, Septic Replacement Design, Lewes, DE
- Lagoon Improvements, Ocean Pines Wastewater Treatment Plant, Berlin, MD
- 0.070 MGD Shore Memorial Hospital, WWTP Improvements, Nassawadox, VA
- Wastewater Collection System for Sussex Shores, Sussex County, DE
- Wastewater Collection System, Henlopen Acres, Sussex County, DE
- Pump Station Renovation, Delmar Elementary School, Delmar, MD
- Northeast Interceptor Sewer, Fruitland, MD
- Northeast Interceptor Pump Station No. 3, Fruitland, MD
- Water Treatment & Fire Protection Sussex County Airpark, Georgetown, DE
- ECI Water Tank, Princess Anne, MD
- Sunrise Avenue Lift Station, Ridgely, MD
- Sewerage Disposal System (0.017 MGD), Salisbury Mobile Home Park
- Wicomico High School Sewer Repairs, Salisbury, MD
- Seaford Primary Plant Expansion (1 to 2 MGD), Seaford, DE
- Willow Street Lift Station, Snow Hill, MD

REFERENCES

GMB is proud to have worked with the following clients. We encourage Worcester County to contact them as a reference.



1. Mr. John D. Psota
City Manager
City of Fruitland
401 E. Main Street, P.O. Box F
Fruitland, Maryland 21826-0120
410-548-2809
jpsota@cityoffruitland.com



2. Mr. Charles Anderson
Assistant City Manager
City of Seaford
414 High Street, Box 1100
Seaford, DE 19973
302-629-9173
canderson@seafordde.com



3. Ms. Amanda Pollack, P.E.
Public Works Deputy Director
City of Salisbury
125 N. Division Street, Room 202
Salisbury, Maryland 21801
410-548-3170
apollack@ci.salisbury.md.us



4. Mr. Rodney Marvel, Jr.
Assistant Director of Environmental Services
Sussex County
33711 South Coastal Lane
Frankford, Delaware 19945
302-855-7730
rmarvel@sussexcountyde.gov



5. Ms. Jamie Smith
Town Manager
Town of Laurel
201 Mechanic Street
Laurel, Delaware 19956
302-875-2277
laurelop@comcast.net

"GMB is a solid environmental engineering firm with a well-known reputation for successful wastewater treatment projects. Their designs and manner of executing projects are common sense, resulting in a win-win for all team members."

Jim Merrell
Vice-President
Bearing Construction,
Co.

"GMB routinely deploys a highly efficient design team that places a high emphasis on problem solving, client needs, and budget goals. Based on my past professional experiences with GMB, I would highly recommend this firm."

Charles Anderson
Assistant City Manager
City of Seaford, DE

References

RFP – Design of Operations Building at the
Ocean Pines Wastewater Treatment Plant Facility
Worcester County, Maryland

Project: Laurel Waste Water Treatment Plant

Contact: Woody Vickers (James Foskey – current)

Town of Laurel
201 Mechanic Street
Laurel, Delaware 19956
302-875-2277

Project: DelDot Crew Quarters

Contact: Curt Cole/Mark Alexander (Kevin Canning – current)

Delaware Department of Transportation
800 Bay Road
Dover, Delaware 19901
302-326-4461

Project: Organizational Maintenance Shop

Contact: Al Schweizer

Maryland Military Department
5th Regiment Armory, 29th Division
Baltimore, Maryland 21201
410-576-6153

BID FORM

OPERATIONS BUILDING
OCEAN PINES WWTP

I/we have reviewed the specifications and provisions for the Design of the Operations Building at the Ocean Pines Wastewater Treatment Plant and hereby submit the following pricing:

1.	Design Development (30%) Design:	<u>\$4,150.00</u>
2.	Pre-final (90%) Design:	<u>\$19,600.00</u>
3.	Bidding Documents:	<u>\$4,500.00</u>
4.	Permitting assistance :	<u>\$1,700.00</u>
5.	Bidding and Contract Award:	<u>\$1,500.00</u>
	Total fee (1 - 5) :	<u>\$31,450.00</u>

BID MUST BE SIGNED TO BE VALID

Date: 2/1/16

Signature: Scott G. Rogers

Typed Name: SCOTT G. ROGERS

Title: DIRECTOR OF ARCHITECTURE

Firm: SOLUTIONS IPEN, LLC

Address: 303 NORTH BEDFORD STREET

GEORGETOWN, DELAWARE 19947

Phone: 302 297 9215

email: srogers@solutionsipem.com

solutions

Integrated Planning
Engineering & Management, LLC

Fuller Hall & ASSOCIATES, INC.
A Wholly Owned Subsidiary

January 28, 2016

Worcester County Commissioners
Worcester County Government Center
One West Market Street Room 1103
Snow Hill, Maryland 21863

**RE: A/E Services
Ocean Pines WWTP Operations Building
1000 Shore Lane
Ocean Pines, Maryland**

To whom it may concern,

We greatly appreciate the opportunity to present this Agreement to provide architectural and engineering design services for a new operations building at the Ocean Pines WWTP. As such, this letter is to serve as Agreement between the County ("Client") and Solutions, Integrated Planning, Engineering & Management, LLC ("Solutions IP/EM"). In accordance with the Request for Proposal document, we understand the new building to be approximately 2200 sf, which includes office space for six (6) individuals, laboratory, training room, supervisor office, break room and miscellaneous support spaces. We propose to provide our services as follows:

SCOPE OF SERVICES

Existing Conditions Documentation

We will perform limited survey of existing conditions in the area proposed for the new building. We understand an existing storage building will be demolished to make room for the operations building. The information gathered during our survey will be used to prepare a base drawing of the subject area.

Schematic Design

Utilizing the base drawing we prepare and the building concept plan provided in the RFP, we will meet with you to refine the building program and budget and develop a schematic design package which will include the proposed floorplan and building elevations, and a site plan schematic. We will review the schematic design with you and make minor changes if necessary. Once you have approved the schematic design we will begin to prepare construction documents.

Construction Documents

Utilizing the approved schematic design, we will prepare construction documents suitable for permit review and competitive bidding. The drawings will be prepared in Autocad format and we anticipate they will include the following:

1. Floor plan
2. Building Elevations
3. Typical wall sections
4. Roof Plan
5. Door Schedule and details
6. Finish Schedule
7. Toilet room plans and interior elevations
8. Foundation Plan
9. Roof Framing Plan
10. Structural design details and notes
11. Plumbing Plan and Schedule
12. Lighting/Power Plan and Schedule
13. Mechanical Plan and Schedule
14. Specifications
15. COMcheck (for Energy Code Compliance)

Mechanical/Electrical/Plumbing design scope of work shall be as further described in the attached proposal from Allen & Shariff Engineering dated January 26, 2016.

Exclusions:

- Architecture, Landscape Architecture, Civil Engineering, Structural Engineering or Surveying services other than those specified herein.
- Construction Phase Services
- Renderings/3D design
Payment of Project related application, review, permit or other such fees. All project related fees of this kind are the sole responsibility of Client.
- Payment of Project related expenses. All project related expenses are the sole responsibility of Client.
- Any service not specifically enumerated in the body of this Agreement.

Term of Agreement

Solutions IPEM will provide the services described above on a monthly basis. The term of this contract shall commence upon the signing of this contract by Client and shall continue on a monthly basis, automatically renewing monthly thereafter unless or until terminated as indicated in Terms and Conditions.

The services indicated herein will be provided during normal business hours with the exception of special business meetings or public meetings that must be held at other hours.

Compensation & Payment Terms

Services shall be provided on a Lump Sum basis subject to the attached Schedule of Rates and Contract Terms and Conditions which are hereby incorporated into this Agreement by reference.

Design Development (30%)	\$4,150.00
Pre-final Design Documents (90%)	\$19,600.00
Bidding Documents	\$4,500.00

January 28, 2016
 Worcester County Commissioners
 RE: A/E services-New WWTP Operations Building
 Page 2

29

Permit Assistance	\$1,700.00
Bidding and Contract Award	\$1,500.00
Total Lump Sum Fee (includes reimbursables)	\$31,450.00

Reimbursable Expenses

Reimbursable expenses shall include all expenses incurred in the interest of Client during the period of service including but not limited to travel, printing, copying, shipping, etc., per the Schedule of Rates & Contract Terms & Conditions.

Payment Terms

Invoices will be submitted for payment on a bi-weekly basis. All Invoices are due and payable within 15 days of the date of the invoice.

Additional Services

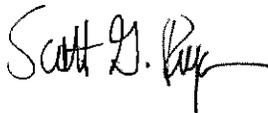
Additional services are any/all services not specifically included herein. Additional services may be provided by Solutions IPEM upon request by Client at either a negotiated fee or on a Time and Materials basis in accordance with the attached Schedule of Rates and Contract Terms and Conditions. Any such request must be made in writing and signed by both parties prior to work commencing.

Entire Agreement

This contract contains the entire agreement between the parties with respect to the subject matter. It may not be changed or altered, except by an agreement, in writing, signed by the party against whom enforcement of any waiver, change or modification, extension or discharge is sought.

This scope of work and fee proposal is provided for informational purposes. If acceptable, we will prepare formal AIA contract document for County review and signature.

Sincerely,



Scott G. Rogers, AIA, LEED AP
Director of Architecture

SECTION 5 - FEE PROPOSAL / BID FORMS

BID FORM

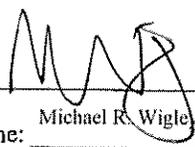
OPERATIONS BUILDING OCEAN PINES WWTP

I/we have reviewed the specifications and provisions for the Design of the Operations Building at the Ocean Pines Wastewater Treatment Plant and hereby submit the following pricing:

1.	Design Development (30%) Design:	\$11,400.00
2.	Pre-final (90%) Design:	\$17,000.00
3.	Bidding Documents:	\$5,400.00
4.	Permitting assistance :	\$3,000.00
5.	Bidding and Contract Award:	\$3,000.00
Total fee (1 - 5) :		\$39,800.00

BID MUST BE SIGNED TO BE VALID

Date: 2/8/2016

Signature: 

Typed Name: Michael R. Wigley, AIA, LEED AP

Title: President

Firm: Davis, Bowen & Friedel, Inc.

Address: One Plaza East, Suite 200

Salisbury, Maryland 21801

Phone: 410-5436-9091

email: mrw@dbfinc.com



BID FORM

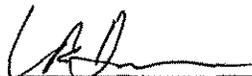
OPERATIONS BUILDING
OCEAN PINES WWTP

I/we have reviewed the specifications and provisions for the Design of the Operations Building at the Ocean Pines Wastewater Treatment Plant and hereby submit the following pricing:

1.	Design Development (30%) Design:	<u>\$9,200</u>
2.	Pre-final (90%) Design:	<u>\$21,925</u>
3.	Bidding Documents:	<u>\$2,890</u>
4.	Permitting assistance :	<u>\$2,890</u>
5.	Bidding and Contract Award:	<u>\$3,090</u>
	Total fee (1 - 5) :	<u>\$39,995</u>

BID MUST BE SIGNED TO BE VALID

Date: 2/8/2016

Signature: 

Typed Name: Lauren B. Dianich, AIA

Title: Principal, Architect

Firm: Atelier 11, Ltd. Architecture

Address: 11 South Aurora St.

Easton, Maryland 21601

Phone: 410-822-3680

email: ldatelier11@goeaston.net

F. FEE

F.1. Proposed Fee

The fee proposal is based on the Published RFP Document. There was no addendum issued. See BID Form below.

BID FORM

OPERATIONS BUILDING
OCEAN PINES WWTP

I/we have reviewed the specifications and provisions for the Design of the Operations Building at the Ocean Pines Wastewater Treatment Plant and hereby submit the following pricing:

1.	Design Development (30%) Design:	\$20,500.00
2.	Pre-final (90%) Design:	\$25,000.00
3.	Bidding Documents:	\$ 3,400.00
4.	Permitting assistance :	\$ 500.00
5.	Bidding and Contract Award:	\$ 500.00
Total fee (1 - 5) :		\$49,900.00

BID MUST BE SIGNED TO BE VALID

Date: 2/8/2016

Signature: 

Typed Name: Chinmoy Mitra

Title: Executive Vice President

Firm: ATI, INC.

Address: 9220 Runsey Rd., Suite 100
Columbia, MD 21045

Phone: 410-992-3424

email: chinmoy@atimd.com



BID FORM

OPERATIONS BUILDING
OCEAN PINES WWTP

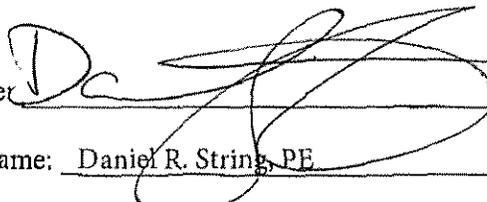
I/we have reviewed the specifications and provisions for the Design of the Operations Building at the Ocean Pines Wastewater Treatment Plant and hereby submit the following pricing:

1.	Design Development (30%) Design:	<u>\$14,885.00</u>
2.	Pre-final (90%) Design:	<u>\$46,085.00</u>
3.	Bidding Documents:	<u>\$15,423.00</u>
4.	Permitting assistance :	<u>\$2,717.00</u>
5.	Bidding and Contract Award:	<u>\$4,932.00</u>
	Total fee (1 - 5) :	<u>\$84,042.00</u>

*Note: Addition detail provided in the attached letter proposal form.

BID MUST BE SIGNED TO BE VALID

Date: 2/5/2016

Signature:  _____

Typed Name: Daniel R. String, PE

Title: Sr. Project Manager, Sr. Associate

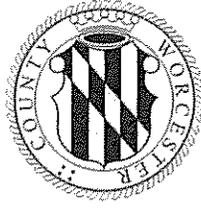
Firm: KCI Technologies, Inc.

Address: 614 N Dupont Highway

Dover, DE 19901

Phone: (302) 747-5999

email: daniel.string@kci.com



OFFICE OF THE
COUNTY COMMISSIONERS

HAROLD L. HIGGINS, CPA
CHIEF ADMINISTRATIVE OFFICER
MAUREEN F.L. HOWARTH
COUNTY ATTORNEY

COMMISSIONERS
MADISON J. BUNTING, JR., PRESIDENT
MERRILL W. LOCKFAW, JR., VICE PRESIDENT
ANTHONY W. BERTINO, JR.
JAMES C. CHURCH
THEODORE J. ELDER
JOSEPH M. MITRECIC
DIANA PURNELL

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103

SNOW HILL, MARYLAND

21863-1195

January 5, 2016

PAID
1/5/16 @ 10:40pm

TO: *The Daily Times Group and Ocean City Today Group*
FROM: Kelly Shannahan, Assistant Chief Administrative Officer *kl*

Please print the attached Notice to Bidders in *The Daily Times/Worcester County Times/Ocean Pines Independent and Ocean City Digest/Ocean City Today* on January 14, 2016. Thank you.

REQUEST FOR PROPOSALS

Design of Operations Building at the Ocean Pines Wastewater Treatment Plant Facility Worcester County, Maryland

The Worcester County Commissioners are currently accepting proposals from Architectural-Engineering Design Firms for design of a new Operations Building to be located on the site of the Ocean Pines Wastewater Treatment Plant (WWTP), 1000 Shore Lane, Ocean Pines, Maryland 21811. Proposal packages and proposal forms are available from the Office of the County Commissioners, Room 1103 - Worcester County Government Center, One West Market Street, Snow Hill, Maryland 21863, obtained online at www.co.worcester.md.us, or by calling the Commissioners' Office at 410-632-1194 to request a package by mail. Interested firms are requested to attend a Pre-Proposal Meeting to be held at 10:00 AM on Thursday, January 21, 2016, at the site location at 1000 Shore Lane, Ocean Pines, Maryland 21811.

Sealed proposals will be accepted until 1:00 PM, Monday, February 8, 2016 in the Office of the County Commissioners, Room 1103 - Worcester County Government Center, One West Market Street, Snow Hill, Maryland 21863, at which time they will be opened and publicly read aloud. Envelopes shall be marked "**Proposal for Design of New Operations Building, Ocean Pines WWTP**" in the lower left-hand corner. After opening, proposals will be forwarded to the Public Works Department for tabulation, review and recommendation to the County Commissioners for their consideration at a future meeting. In awarding the proposal, the Commissioners reserve the right to reject any and all proposals, waive formalities, informalities and technicalities therein, and to take whatever proposal they determine to be in the best interest of the County considering lowest or best proposal, quality of goods and work, time of delivery or completion, responsibility of consultants being considered, previous experience of consultants with County contracts, or any other factors they deem appropriate. All inquiries shall be directed to John S. Ross, P.E., Deputy Director of Public Works, at 410-641-5251, or emailed to jross@co.worcester.md.us

**REQUEST FOR PROPOSALS
OPERATIONS BUILDING
OCEAN PINES WWTP**

1. DESCRIPTION OF THE PROJECT

The County Commissioners of Worcester County, Maryland (Commissioners) are requesting Architectural/Engineering Design Services for a new Operations Building to be located on the site of the Ocean Pines Wastewater Treatment Plant, 1000 Shore Lane, Ocean Pines, Maryland. Proposals will be received at the Worcester County Government Center, 1 W. Market Street, Room 1103, Snow Hill, MD 21863 until 1:00 PM, on February 8, 2016. Firms responding to this request shall submit three (3) copies of their proposal in an envelope marked "Proposal for Design of New Operations Building, Ocean Pines WWTP".

2. PRE PROPOSAL MEETING

A Pre Proposal meeting will be held at the Ocean Pines Wastewater Treatment Plant, 1000 Shore Lane, Ocean Pines, Maryland on Thursday January 21, 2016 and 10:00 AM. This meeting is not mandatory.

3. SCOPE OF SERVICES

Commissioners are proposing the construction of a new single story Operations Building of approximately 2,200 SF floor area. The completed structure shall include a shared office space of up to six (6) persons, laboratory, training room, supervisor office, break room and miscellaneous support spaces. The attached schematic floor plan shall be used as the preliminary basis of design for the project.

- A. The architect/engineer shall review the current space program and meet with designated representatives of the Ocean Pines WWTP to finalize the program for design.
- B. The architect/engineer shall prepare construction documents for the Operations Building including but not limited to:
 - 1. Architectural Plans
 - 2. Structural Plans
 - 3. Mechanical, Electrical and Plumbing (MEP) Plans
 - 4. Site Plans
 - 5. Geotechnical testing (Specifications only, field work and report paid separately)
 - 6. Project Specifications with Bid Documents.
- C. Design plans shall be submitted to Commissioners for review and comments at the 30%, 90% and Final Design stages.
- D. The architect/engineer shall assist in the selection and specifications for equipment for the building.

- E. The architect/engineer shall design the Operations Building in accordance with applicable codes including the International Building Code (IBC), NFPA 101 Life Safety Code, the International Energy Conservation Code (IECC) and the 2010 ADA Standards for Accessible Design.
- F. The architect/engineer shall assist Commissioners in obtaining permits/approvals for construction of the Project:
 - 1. Stormwater Management waiver/exemption
 - 2. Erosion and Sediment Control permit
 - 3. Building plan review and approval
 - 4. Fire Marshal plan review and approval
- G. The architect/engineer shall assist Commissioners in bidding the project including attending the pre-bid conference, responding to bidders' questions for information, and reviewing the bids for recommendation of award.
- H. Construction Phase Services are not part of this Scope of Services. Commissioners reserve the right to engage the architect/engineer to perform these services as expanded services to its contract, or select a separate firm to perform these services.

4. FEE PROPOSAL

The Fee Proposal shall include the following information:

- A. The total fee, inclusive of all costs and reimbursable expenses that will be charged to Commissioners to complete the required services, broken down by the following phases: Design Development (30% and 90%), Construction Documents (Final), Permitting and Bidding Services.
- B. Include cost to attend up to three (3) meetings with County Staff during the design of the building.
- C. Provide hourly rates and multipliers for additional services.

5. EVALUATION CRITERIA

Each submission shall include, but not necessarily be limited to, the following information to be used as the basis of evaluation:

- A. Name, address and brief history of the firm. Include telephone number and the name of a contact person.
- B. Relevant Experience: examples of three (3) or more projects of similar type, size and complexity.
- C. Resumes and background information on the personnel who will be directly involved in the project, including educational background, professional licenses, years with firm and relevant work experience.

- D. List of three (3) or more references of clients who the firm has worked with on similar projects including addresses and phone numbers.

Selection of the Consultant shall be based on the following:

- A. Price - 50%
- B. Relevant Experience - 25%
- C. Project Team Qualifications - 25%

6. GENERAL REQUIREMENTS

The right is reserved, as the interest of the Worcester County Commissioners, to reject any and all submissions, to waive any informality in submissions received, and to accept or reject any items of any submissions, as applicable.

Questions regarding the submission requirements must be submitted to John S. Ross, P.E. Deputy Director of Public Works at (410) 641-5251 or emailed to jross@co.worcester.md.us.

7. ATTACHMENT

Preliminary Building floor plan is attached.

END OF DOCUMENT

✓ ADD
11/6/16

BIDDERS LIST
Ocean Pines WWTP
Operations Building Design

DAVIS BOWEN & FRIEDEL
PO Box 93
Salisbury MD 21803
Phone: 410-543-9091
jjt@dbfinc.com

EA ENGINEERING
Berlin MD Office
11202 Racetrack Road, Unit 202
Berlin MD 21811
Phone: 410-641-5341
dkolar@eaest.com

GEORGE, MILES & BUHR
206 West Main Street
Salisbury MD 21801
Phone: 410-742-3115
PBozick@gmbnet.com

BECKER MORGAN GROUP
Port Exchange Suite 300
312 West Main Street
Salisbury, MD 21801
Phone: (410) 546-9100
Fax: (410) 546-5824
jharman@beckermorgan.com

JMT
72 Loveton Circle
Sparks, MD 21152
Phone (410)329-3100
Fax (410) 472-2200
KBaxter@jmt.com

RK&K ENGINEERS
81 Mosher Street
Baltimore, MD 21217
phager@rkk.com

BUCHART HORN AND ASSOCIATES
445 West Philadelphia Street
York, PA 17401-3383
bmeals@bucharthorn.com

RECEIVED
FEB 10 2016
Worcester County Admin



11

Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
DIRECTOR

MEMORANDUM

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 9, 2016
SUBJECT: Bid Request –Upgrading Pump Stations A and F, Ocean Pines Service Area

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

Attached for your review and approval are bid documents including the Notice to Bidders, Drawings, Specifications and Bidder's List for Upgrading Pump Stations A and F in the Ocean Pines Service Area. The total cost for this construction project is estimated to be \$800,000. Funding for the project is included the 2014 bond issue.

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

We are requesting that the Commissioners authorize the Department to proceed with bidding this work.

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

Should you have any questions, please feel free to call me.

FLEET
MANAGEMENT
TEL: 410-632-5675
FAX: 410-632-1753

Attachment

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Specifications	3
Plans	28

cc: John Ross, P. E., Deputy Director
Jessica Ramsay, CPA, Enterprise Fund Controller

WATER AND
WASTEWATER
TEL: 410-641-5251
FAX: 410-641-5185

* Full copies of Plans and specifications available in County Administration

BIDDERS' LIST

Ocean Pines Pump Station A and F Upgrades

Bunting & Murray Construction Corp.
RD 1, Box 140A
Selbyville DE 19975
302-436-5144
FAX: 1-302-436-1753
carrie@buntingandmurray.com

Hopkins Construction, Inc.
Rt. 3, Box 12
Bridgeville DE 19933
302-337-3366
FAX: 1-302-337-3317
www.hopcon.com

George & Lynch, Inc.
113 W. 6th Street
New Castle DE 19720
302-328-6275
FAX: 1-302-328-8998
mmcgonigal@geolyn.com

Mervin L Blades & Son
1212 Unionville Rd
Pocomoke City, MD 21851
410-957-3515
tblades@bladesconstruction.com

Bennett Construction, Inc.
515 S. Camden Avenue
Fruitland MD 21826
410-749-3116
FAX: 410-749-6088
bruceg@bennett-construction.com

A-del Construction Company, Inc.
10 Adel Drive
Newark, DE 19702-1331
Email - cfairer@a-del.com
(302) 893-3964
FAX (302) 453-9550

Dixie Construction Company, Inc.
260 Hopewell Road
Churchville, MD 21028
(410) 879-8055
(410)241-5586
ebrown@dixieconst.com

A.P. Croll & Son, Inc.
PO Box 748
22997 Lewes-Georgetown Highway
Georgetown, DE 19947
302-856-6177
Fax: 302-856-3482
mail@apcroll.com

Bearing Construction, Inc.
805 Shine Smith Road
Sudlersville, MD 21668-1561
(410)556-6100
Fax (410)556-6574
jim@bearingconstruction.net

Teal Construction, Inc.
PO Box 779 – 19903
612 Mary Street
Dover, DE 19903
302-678-9500
Fax: 302-678-9715
CR1647@TealConstruction.com

M2 Construction, Inc.
901 Stony Battery Road
Landisville, PA 17538
admin@m2constructionllc.com
(717) 305-8801
Fax - (717) 823-6977



FOR COMMISSIONER'S REVIEW
**Contract Documents and
Construction Specifications**

**Worcester County
Ocean Pines Vacuum Pump Stations A & F Upgrades**

Prepared for

Worcester County Department of Public Works
6113 Timmons Road
Snow Hill, Maryland 20863

Prepared by

EA Engineering, Science, and Technology, Inc., PBC
11202 Racetrack Road, Unit 103
Ocean Pines, Maryland 21811
(410) 641-5341

THE WATER AND SEWER FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS ARE APPROVED BY WORCESTER COUNTY WATER AND WASTEWATER DIVISION.	
_____ WORCESTER COUNTY, WATER AND WASTEWATER DIVISION	_____ DATE
THE WATER AND SEWER FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS ARE APPROVED BY WORCESTER COUNTY DEPARTMENT OF PUBLIC WORKS.	
_____ WORCESTER COUNTY, DIRECTOR OF PUBLIC WORKS	_____ DATE

Complete Set of
Specifications
available for review
in County Administration

February 2016
EA Project No. 62826.01

**WORCESTER COUNTY MARYLAND
BIDDING DOCUMENTS**

**CONSTRUCTION SPECIFICATIONS
FOR
OCEAN PINES VACUUM PUMP STATIONS A & F UPGRADES**

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SECTION B: GENERAL CONDITIONS OF THE CONTRACT
SECTION C: SUPPLEMENTARY CONDITIONS
SECTION D: BONDS AND BID FORMS
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SECTION F: DRAWINGS (Bound Separately)

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INSTRUCTIONS TO BIDDERS

1. DEFINED TERMS

Terms used in these Instructions to Bidders, which are defined in the Standard General Conditions of the Construction Contract (EJCDC C-700, 2007 ed.), have the meanings assigned to them in the General Conditions. The term "Bidder" means one who submits a Bid directly to Owner, as distinct from a Sub-Bidder, who submits a Bid to a Bidder. The term "Successful Bidder" means the lowest, qualified, responsible and responsive Bidder to whom Owner (on the basis of Owner's evaluation as hereinafter provided) makes an award. The term "Bidding Documents" includes the Advertisement of Invitation to Bid, Instructions to Bidders, the Bid Form, and the proposed Contract Documents (including all Addenda issued prior to receipt of Bids).

2. COPIES OF BIDDING DOCUMENTS

2.1 Complete sets of the Bidding Documents may be obtained from Owner, at the non-refundable cost of \$100 per set.

2.2 Complete sets of Bidding Documents must be used in preparing Bids; neither Owner nor Engineer assume any responsibility for errors or misinterpretations resulting from the use of incomplete sets of Bidding Documents.

2.3 Owner and Engineer in making copies of Bidding Documents available on the above terms do so only for the purpose of obtaining Bids on the Work and do not confer a license or grant for any other use.

3. QUALIFICATIONS OF BIDDERS

To demonstrate qualifications to perform the Work, each Bidder must submit along with his bid the following information:

- Resume for the full-time onsite superintendent showing that the superintendent has experience in the installation of C-900/905 PVC pipe or similar for sewer force main. Experience must include the installation dewatering systems, excavation, sheeting, and shoring, and mechanical systems.
- The location of the Bidder's offsite borrow, and aggregate sources. In addition, the Bidder shall provide copies of all relevant permits for the proposed borrow sources. Any proposed borrow pit that is not fully permitted prior to the bid date will not be acceptable.
- For each borrow source provide two proctor curves for in place density.

Further, within five (5) days of Owner's request, Bidder shall submit additional written evidence, such as financial data, additional previous experience on similar projects, equipment availability, present commitments, and other such data, as may be requested. Each Bid must contain evidence of Bidder's qualifications to do business in the state where the project is located or covenant to obtain such qualification prior to award of the Contract.

4. EXAMINATION OF CONTRACT DOCUMENTS AND SITE

4.1 It is the responsibility of each Bidder before submitting a Bid, to (a) examine the Contract Documents thoroughly; (b) visit the site and make all subsurface investigations necessary to become familiar with local conditions that may affect cost, progress, performance or furnishing of the Work; (c) consider federal, state, and local Laws and Regulations that may affect cost, progress, performance, or furnishing of the Work; (d) study and carefully correlate Bidder's observations with the Contract Documents, and (e) notify Engineer of all conflicts, errors, or discrepancies in the Contract Documents.

4.2 Reference is made to the Supplementary Conditions for identification of:

4.2.1 Those reports of explorations and tests of subsurface conditions at the site which have been utilized by Engineer in preparation of the Contract Documents. Bidder may rely upon the accuracy of the technical data contained in such reports, but not upon nontechnical data, interpretations or opinions contained therein or for the completeness thereof for the purposes of bidding or construction.

4.2.2 Those drawings of physical conditions in or relating to existing surface and subsurface conditions (except Underground Facilities) which are at or contiguous to the site which have been utilized by Engineer in preparation of the Contract Documents. Bidder may rely upon the accuracy of the technical data contained in such drawings, but not upon the completeness thereof for the purposes of bidding or construction.

Copies of such reports and drawings will be made available by Owner to any Bidder on request. Those reports and drawings are not part of the Contract Documents, but the technical data contained therein, upon which Bidder is entitled to rely as provided in Article 4, are incorporated therein by reference. Such technical data has been identified and established in the Supplementary Conditions.

4.3 Information and data reflected in the Contract Documents, with respect to Underground Facilities at or contiguous to the site, is based upon information and data furnished to Owner and Engineer by owners of such Underground Facilities or others, and Owner does not assume responsibility for the accuracy or completeness thereof, unless it is expressly provided otherwise in the Supplementary Conditions.

4.4 Provisions concerning responsibilities for the adequacy of data furnished to prospective Bidders on subsurface conditions, Underground Facilities, and other physical conditions, and

possible changes in the Contract Documents due to differing conditions appear in Article 4 of the General Conditions.

4.5 Before submitting a Bid, each Bidder will, at Bidder's own expense, make or obtain any additional examinations, investigations, explorations, tests, and studies and obtain any additional information and data which pertain to the physical conditions (surface, subsurface, and Underground Facilities) at or contiguous to the site or otherwise which may affect cost, progress, performance, or furnishing of the Work and which Bidder deems necessary to determine its Bid for performing and furnishing the Work in accordance with the time, price, and other terms and conditions of the Contract Documents.

4.6 On request in advance, Owner will provide each Bidder access to the site to conduct such explorations and tests as each Bidder deems necessary for submission of a Bid. Bidder shall fill all holes, clean up, and restore the site to its former condition upon completion of such explorations.

4.7 The lands upon which the Work is to be performed, rights-of-way and easements for access thereto, and other lands designated for use by the Contractor in performing the Work are identified in the Contract Documents. All additional lands and access thereto required for temporary construction facilities or storage of materials and equipment are to be provided by Contractor.

4.8 The submission of a Bid will constitute an incontrovertible representation by Bidder that Bidder has complied with every requirement of Article 4, that without exception the Bid is premised upon performing and furnishing the Work required by the Contract Documents and such means, methods, techniques, sequences, or procedures of construction as may be indicated in or required by the Contract Documents, and that the Contract Documents are sufficient in scope and detail to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

5. INTERPRETATIONS AND ADDENDA

5.1 All questions about the meaning or intent of the Contract Document are to be directed to Owner. Interpretations or clarifications considered necessary by Owner in response to such questions will be issued by Addenda, mailed or delivered to all parties, and recorded by Owner as having received the Bidding Documents. Questions regarding the Contract Documents must be received by 1 pm on March 21, 2016. Only questions answered by formal written Addenda will be binding. Oral and other interpretations or clarifications will be without legal effect.

5.2 Addenda may also be issued to modify the Bidding Documents as deemed advisable by Owner or Engineer.

6. BID SECURITY

6.1 Each Bid must be accompanied by Bid security made payable to Owner in an amount of five (5) percent of the Bidder's maximum Bid price and in the form of a certified or bank check or a Bid Bond, issued by a surety meeting the requirements of Article 5 of the General Conditions.

6.2 The Bid security of the Successful Bidder will be retained until such Bidder has executed the Agreement and furnished the required Contract security, whereupon the Bid security will be returned. If the Successful Bidder fails to execute and deliver the Agreement and furnish the required Contract security within fifteen (15) days after the Notice of Award, Owner may annul the Notice of Award and the Bid security of that Bidder will be forfeited. The Bid security of other Bidders whom Owner believes to have a reasonable chance of receiving the award may be retained by Owner until the earlier of the seventh day after the Effective Date of the Agreement or the sixty-first day after the Bid opening, whereupon Bid security furnished by such Bidders will be returned. Bid security with Bids which are not competitive will be returned within seven (7) days after the Bid opening.

7. CONTRACT TIME

The numbers of days within which, or the dates by which, the Work is to be substantially completed and also completed and ready for final payment (the Contract Time) are set forth in the Bid Form and the Agreement.

8. LIQUIDATED DAMAGES

Provisions for liquidated damages are \$1,000 per day, for the first 30 days. Beyond 30 days, damages increase to \$5,000 per day, as set forth in the Agreement.

9. SUBSTITUTE OR "OR-EQUAL" ITEMS

The Contract, if awarded, will be on the basis of materials and equipment described in the Drawings or specified in the Specifications without consideration of possible substitute or "or-equal" item. Substitute or "or-equal" materials or equipment may be furnished or used by Contractor if acceptable to Engineer; application for such acceptance will not be considered by Engineer until after the Effective Date of the Agreement. The procedure for submission of any such application by Contractor and consideration by Engineer is set forth in Article 6 of the General Conditions and may be supplemented in the General Requirements.

10. SUBCONTRACTORS, SUPPLIERS, AND OTHERS

10.1 If the Instructions to Bidders and/or the Supplementary Conditions require the identity of certain Subcontractors, Suppliers, and other persons and organizations (including those who are to furnish the principal items of material and equipment) to be submitted to Owner in advance of the Effective Date of Agreement, the apparent Successful Bidder, and any other Bidder so requested, shall submit to Owner a list of all such Subcontractors, Suppliers, and other persons

and organizations proposed for those portions of the Work for which such identification is required. Such list shall be accompanied by an experience statement with pertinent information regarding similar projects and other evidence of qualification for each such Subcontractor, Supplier, person, or organization if requested by Owner. If Owner or Engineer, after due investigation, has reasonable objection to any proposed Subcontractor, Supplier, other person or organization, may request the apparent Successful Bidder to submit an acceptable substitute prior to the Notice of Award, in which case that Bidder's Bid price will be increased (or decreased) by the difference in cost occasioned by such substitution and Owner may consider such price adjustment in evaluating Bids and making the Contract award.

10.2 In Contracts where the Contract Price is on the basis of Cost-of-the-Work Plus a Fee, the apparent Successful Bidder, prior to the Notice of Award, shall identify in writing to Owner those portions of the Work that such Bidder proposes to subcontract and after the Notice of Award may only subcontract other portions of the Work with Owner's written consent.

10.3 No Contractor shall be required to employ any Subcontractor, Supplier, other person or organization against whom Contractor has reasonable objection.

11. BID FORM

11.1 The Bid Form (Form of Proposal) is included with the Bidding Documents; additional copies may be obtained from Worcester County.

11.2 All blanks on the Bid Form must be completed in ink or typed.

11.3 Bids by corporations must be executed in the corporate name by the president or a vice-president (or other corporate officer accompanied by evidence of authority to sign) and the corporate seal must be affixed and attested by the secretary or an assistant secretary. The corporate address and state of incorporation must be shown below the signature.

11.4 Bids by partnerships must be executed in the partnership name and signed by a partner, whose title must appear under the signature, and the official address of the partnership must be shown below the signature.

11.5 All names must be typed or printed below the signature.

11.6 The Bid shall contain an acknowledgment of receipt of all Addenda (the numbers of which must be filled in on the Bid Form).

11.7 The address and telephone number for communications regarding the Bid must be shown.

12. SUBMISSION OF BIDS

12.1 Bids shall be submitted before 1:00 PM (EDT) on March 28, 2016 at the office of the Worcester County Commissioners, One West Market Street, Room 1103, Snow Hill, Maryland 21863, as indicated in the Advertisement or Invitation to Bid and shall be enclosed in an opaque, sealed envelope, marked with the Project title, and name and address of the Bidder and accompanied by the Bid security and other related documents. If the Bid is sent through the mail or other delivery system, the sealed envelope shall be enclosed in a separate envelope with the notation "BID ENCLOSED—OCEAN PINES VACUUM PUMP STATION A&F UPGRADES on the face of it.

13. MODIFICATION AND WITHDRAWAL OF BIDS

13.1 Bids may be modified or withdrawn by an appropriate document duly executed (in the manner that Bid must be executed) and delivered to the place where Bids are to be submitted at any time prior to the opening of Bids.

14. OPENING OF BIDS

Bids will be opened and read aloud publicly at before 1:00 PM (EDT) on March 28, 2016. An abstract of the amounts of the base Bids and major alternates will be made available to Bidders after the opening of Bids. Bids will be reviewed, with a recommendation anticipated to be presented to the County Commissioners at their regular meeting.

15. BIDS TO REMAIN SUBJECT TO ACCEPTANCE

All bids will remain subject to acceptance for ninety (90) days after the day of the Bid opening, but Owner may, in his sole discretion, release any Bid and return the Bid security prior to that date.

16. AWARD OF CONTRACT

16.1 Owner reserves the right to reject any and all Bids, to waive any and all informalities not involving price, time, or changes in the Work and to negotiate Contract terms with the Successful Bidder, and the right to disregard all nonconforming, nonresponsive, unbalanced, or conditional Bids. Also, Owner reserves the right to reject the Bid of any Bidder if Owner believes that it would not be in the best interest of the Project to make an award to that Bidder, whether because the Bid is not responsive, or the Bidder is unqualified or of doubtful financial ability, or fails to meet any other pertinent standard or criteria established by Owner. Discrepancies in the multiplication of units of Work and unit prices will be resolved in favor of the unit prices. Discrepancies between the indicated sum of any column of figures and the correct sum thereof will be resolved in favor of the correct sum.

16.2 In evaluating Bids, Owner will consider the qualifications of the Bidders, whether or not the Bids comply with the prescribed requirements, and such alternates, unit prices, and other data as may be requested in the Bid Form or prior to the Notice of Award.

16.3 Owner may consider the qualifications and experience of Subcontractors, Suppliers, and other persons and organizations proposed for those portions of the Work as to which the identity of Subcontractors, Suppliers, and other persons and organizations must be submitted as provided in the Supplementary Conditions. Owner also may consider the operating costs, maintenance requirements, performance data, and guarantees of major items of materials and equipment proposed for incorporation in the Work when such data is required to be submitted prior to the Notice of Award.

16.4 Owner may conduct such investigations, as Owner deems necessary, to assist in the evaluation of any Bid and to establish the responsibility, qualifications, and financial ability of Bidders, proposed Subcontractors, Suppliers, and other persons and organizations to perform and furnish the Work in accordance with the Contract Document to Owner's satisfaction within the prescribed time.

16.5 If the Contract is to be awarded, it will be awarded to the lowest Bidder whose evaluation by Owner indicates that the award will be in the best interests of the Project.

16.6 If the Contract is to be awarded, Owner will give the Successful Bidder a Notice of Award within sixty (60) days after the day of the Bid opening.

17. CONTRACT SECURITY

Article 5 of the General Conditions and the Supplementary Conditions set forth Owner's requirements as to performance and payment Bonds. When the Successful Bidder delivers the executed Agreement to Owner, it must be accompanied by the required performance and payment Bonds.

18. SIGNING OF AGREEMENT

When Owner gives a Notice of Award to the Successful Bidder, it will be accompanied by the required number of unsigned counterparts of the Agreement with other written Contract Documents attached. Within fifteen (15) days thereafter, Contractor shall sign and deliver the required number of counterparts of the Agreement and attached documents to Owner with the required Bonds. Within ten (10) days thereafter, Owner shall deliver one fully signed counterpart to Contractor. Each counterpart is to be accompanied by a complete set of the Drawings with appropriate identification.

19. PREBID CONFERENCE

A prebid conference will be held at before 10:00 AM (EDT) on March 10, 2016 at the Department of Public Works-Water and Waste Water Administration Building, 1000 Shore

Lane, Berlin MD 21811. Representatives of Owner and Engineer will be present to discuss the Project. Bidders are encouraged to attend and participate in the conference. Engineer will transmit to all prospective Bidders of record such Addenda as Engineer considers necessary in response to questions arising at the conference.

20. SALES AND USE TAXES

The Owner's exemption from Maryland State Sales and Use Taxes on materials and equipment cannot be passed on to the Contractor. Contractor shall add such taxes within the Contract Price.

21. RETAINAGE

Provisions concerning retainage are set forth in the Agreement.

22. AWARD OF BIDS

The successful Bidder, for purpose of Contract award, shall be the conforming responsible Bidder offering the low unit price bid for the Base Bid Items.

BID FORM

PROJECT IDENTIFICATION: Ocean Pines Vacuum Pump Stations A & F Upgrades

CONTRACT IDENTIFICATION: Contract S020-15-02

THIS BID IS SUBMITTED TO: County Commissioners of Worcester County—OWNER

SUBMIT BID AT: Worcester County Government Center
1 West Market Street
Room 1103
Snow Hill, Maryland 21863
Attn: Mr. John Ross, P.E., Deputy Director of Public Works

1. The undersigned BIDDER proposes and agrees, if this Bid is accepted, to enter into an agreement with OWNER in the form included in the Contract Documents to perform and furnish all Work as specified or indicated in the Contract Documents for the Contract Price and within the Contract Time indicated in this Bid and in accordance with the other terms and conditions of the Contract Documents.
2. Bidder accepts all of the terms and conditions of the Advertisement and Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for sixty (60) days after the day of Bid opening. Bidder will sign and submit the Agreement with the Bonds and other documents required by the Bidding Requirements within fifteen (15) days after the date of OWNER'S Notice of Award.
3. In submitting this Bid, Bidder represents, as more fully set forth in the Agreement, that:

- a. Bidder has examined copies of all the Bidding Documents and of the following Addenda (receipt of all which is hereby acknowledged):

Date(s)	Number(s)
_____	_____

- b. Bidder has familiarized itself with the nature and extent of the Contract Documents, Work, site, locality, and all local conditions and Laws and Regulations that in any manner may affect cost, progress, performance, or furnishing of the Work.
- c. Bidder has obtained and carefully studies (or assumes responsibility for obtaining and carefully studying) all such examinations, investigations, explorations, tests, and studies which pertain to the subsurface or physical

conditions at the site or otherwise may affect the cost, progress, performance, or furnishing of the Work as Bidder considers necessary for the performance or furnishing of the Work at the Contract Price, within the Contract Time and in accordance with the other terms and conditions of the Contract Documents, including specifically the provisions of Article 4 of the General Conditions; and no additional examinations, investigations, explorations, tests, reports, or similar information or data are or will be required by Bidder for such purposes.

- d. Bidder has reviewed and checked all information and data shown on or indicated on the Contract Documents with respect to existing Underground Facilities at or contiguous to the site and assumes responsibility for the accurate location of said Underground Facilities. No additional examinations, investigations, explorations, tests, reports, or similar information or data in respect of said Underground Facilities are or will be required by Bidder in order to perform and furnish the Work at the Contract Price, within the Contract Time and in accordance with the other terms and conditions of the Contract Documents, including specifically the provisions of Article 4 of the General Conditions.
 - e. Bidder has correlated the results of all such observations, examinations, investigations, explorations, tests, reports, and studies with the terms and conditions of the Contract Documents.
 - f. Bidder has given ENGINEER written notice of all conflicts, errors, or discrepancies that it has discovered in the Contract Documents and the written resolution thereof by ENGINEER is acceptable to Bidder.
 - g. This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm, or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization, or corporation: Bidder has not directly or indirectly induced or solicited any other bidder to submit a false or sham Bid; Bidder has not solicited or induced any person, firm, or corporation to refrain from bidding; and Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over OWNER.
4. Bidder will complete the Work within two hundred seventy five (275) calendar days from receipt of Notice to Proceed for the following price as indicated on the Bid Form.

BID FORM PUMP STATION A

OCEAN PINES VACUUM PUMP STATIONS A & F UPGRADES
WORCESTER COUNTY, MARYLAND

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QTY	UNIT	COST PER UNIT (\$)	TOTAL ITEM COST (\$)
	DEMOLITION AND REMOVAL				
1	2500 GALLON VACUUM TANK AND BURIED APPURTANANCES	1	LS		
2	DRY PIT PIPING, VALVES, AND APPURTANANCES	1	LS		
3	BIOFILTER AND MISC. DEMOLITION	1	LS		
4	ELECTRICAL SYSTEM	1	LS		
	PLANS				
5	EXCAVATION PLAN and HEALTH AND SAFETY PLAN	1	LS		
	VACUUM SYSTEM				
6	EXCAVATION AND BACKFILL	1	LS		
7	3000 GALLON VACUUM TANK	1	LS		
8	VACUUM PIPING, VALVES, AND APPURTANANCES	1	LS		
	BUILDING RENOVATIONS				
9	INTERIOR BUILDING RENOVATIONS	1	LS		
10	EXTERIOR BUILDING RENOVATIONS	1	LS		
	SITE CIVIL				
11	PAVED DRIVEWAY AND PADS	1	SF		
12	GRADING, EROSION AND SEDIMENT CONTORL AND SITE WORK	1	LS		
	SEWAGE LIFT STATION				
13	DRY PIT PIPING, VALVES AND APPURTENANCES	1	LS		
14	INSTALLATION OF COUNTY SUPPLIED PUMPS	2	Ea		
15	MAG METER, VAULT AND APPURTENANCES	1	LS		
	ELECTRICAL EQUIPMENT				
16	SITE WORK	1	LS		
17	INSTALLATION OF OTHER EQUIPMENT IN THE EXISTING PUMP STATION A BUILDING	1	LS		
18	CHANGE GENERATOR TO 480VAC, AND EQUIPMENT ASSOCIATED WITH THE EMERGENCY GENERATOR (including the generator circuit breaker and ATS)	1	LS		
19	POWER DISTRIBUTION EQUIPMENT (including panelboards and transformer)	1	LS		
20	Softstarts, motor starters, and control panel	1	LS		
	MISCELLANEOUS				
21	MOBILIZATION , DEMOBILIZATION, AND START UP	1	LS		
22	INTEGRATION OF EQUIPMENT INTO COUNTY SCADA SYSTEM, AND PROGRAMMING CHANGES TO EXISTING SCADA CENTRAL COMPUTER.	1	LS		
23	BIOFILTER	1	LS		
24	DEWATERING	1	LS		
A	Total Bid				

TOTAL BASE BID PRICE IN WORDS: _____

BID FORM PUMP STATION F

OCEAN PINES VACUUM PUMP STATIONS A & F UPGRADES
WORCESTER COUNTY, MARYLAND

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QTY	UNIT	COST PER UNIT (\$)	TOTAL ITEM COST (\$)
	DEMOLITION AND REMOVAL				
1	2500 GALLON VACUUM TANK AND BURIED APPURTANANCES	1	LS		
2	DRY PIT PIPING, VALVES, AND APPURTANANCES	1	LS		
3	BIOFILTER AND MISC. DEMOLITION	1	LS		
4	ELECTRICAL SYSTEM	1	LS		
	PLANS				
5	EXCAVATION PLAN and HEALTH AND SAFETY PLAN	1	LS		
	VACUUM SYSTEM				
6	EXCAVATION AND BACKFILL	1	LS		
7	3000 GALLON VACUUM TANK	1	LS		
8	VACUUM PIPING, VALVES, AND APPURTANANCES	1	LS		
	BUILDING RENOVATIONS				
9	INTERIOR BUILDING RENOVATIONS	1	LS		
10	EXTERIOR BUILDING RENOVATIONS	1	LS		
	SITE CIVIL				
11	PAVED DRIVEWAY AND PADS	1	SF		
12	GRADING, EROSION AND SEDIMENT CONTORL AND SITE WORK	1	LS		
	SEWAGE LIFT STATION				
13	DRY PIT PIPING, VALVES AND APPURTENANCES	1	LS		
14	INSTALLATION OF COUNTY SUPPLIED PUMPS	2	EA		
15	MAG METER, VAULT AND APPURTENANCES	1	LS		
	ELECTRICAL EQUIPMENT				
16	SITE WORK	1	LS		
17	INSTALLATION OF OTHER EQUIPMENT IN THE EXISTING PUMP STATION F BUILDING	1	LS		
18	CHANGE GENERATOR TO 480VAC, AND EQUIPMENT ASSOCIATED WITH THE EMERGENCY GENERATOR (including the generator circuit breaker and ATS)	1	LS		
19	POWER DISTRIBUTION EQUIPMENT (including panelboards and transformer)	1	LS		
20	Softstarts, motor starters, and control panel	1	LS		
	MISCELLANEOUS				
21	MOBILIZATION , DEMOBILIZATION, AND START UP	1	LS		
22	INTEGRATION OF EQUIPMENT INTO COUNTY SCADA SYSTEM, AND PROGRAMMING CHANGES TO EXISTING SCADA CENTRAL COMPUTER.	1	LS		
23	BIOFILTER	1	LS		
24	DEWATERING	1	LS		
25	RAIN GARDEN	1	LS		
F	Total Bid				

TOTAL BASE BID PRICE IN WORDS: _____

5. The following documents are attached to and made a condition of this Bid:
- a. Required bid Security in the form of bond or cashier's check.
 - b. A tabulation of Subcontractors, Suppliers, and other persons and organizations required to be identified in this Bid.
 - c. Bidder's Qualification Statement with supporting data.

6. Communications concerning this Bid shall be addressed:

Darl Kolar, P.E.
EA Engineering, Science, and Technology, Inc., PBC
11202 Racetrack Road, Unit 103
Ocean Pines, MD 21811
(410) 641-5341

7. The terms used in this Bid which are defined in the General Conditions of the Construction Contract included as part of the Contract Documents have the meanings assigned to them in the General Conditions.

SUBMITTED ON _____, 201__.

If Bidder is:

An Individual

By _____ (SEAL)
(Individual's Name)

doing business at

Business Address: _____

Phone Number: _____

A Partnership

By _____ (SEAL)
(Firm Name)

(General Partner)

Business Address: _____

Phone Number: _____

A Corporation

By _____ (SEAL)
(Corporation Name)

(State of Incorporation)

By _____
(Name of Person Authorized to Sign)

(Title)

(Corporate Seal)

Attest _____ (SEAL)
(Secretary)

Business Address: _____

Phone Number: _____

A Joint Venture

By _____
(Name)

(Address)

By _____
(Name)

(Address)

(Each joint venture must sign. The manner of signing for each individual, partnership, and corporation that is a party of the joint venture should be in the manner indicated above.)

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SECTION 01 11 00
SUMMARY OF WORK

PART 1 GENERAL

1.1 LOCATION

The work to be performed hereunder is located in Worcester County, Maryland, at the following address:

Ocean Pines Vacuum Pump Station A Upgrades
269 Ocean Parkway, Lot W-01-296A, Section 01, Lot W-01-296A, Section 01
Ocean Pines, Maryland 21811

Ocean Pines Vacuum Pump Station F Upgrades
43 Club House Road, UTILITY Lot #453 Section #4
Ocean Pines, Maryland 21811

1.2 SCOPE

- A. The work to be performed hereunder includes the furnishing of all labor, materials, transportation, tools, supplies, equipment, and appurtenances necessary for the complete, and in-place, satisfactory construction and testing of all work shown on the Drawings and required by the Contract for Ocean Pines Vacuum Pump Stations A & F Upgrades. The County is to install and operate a temporary vacuum pumping system prior to work performed by the CONTRACTOR. The CONTRACTOR shall conduct work flow to allow the County to provide operations necessary to allow uninterrupted sewage flow in the temporary system until connection and successful start-up on the permanent vacuum pumping system.
- B. It is the intent of the Contract Documents to describe a complete project and any work that may be reasonably inferred as being required to produce a finished job for the intended purposes, and this work shall be completed whether or not such incidental or related work is explicitly stated in the Contract Documents.
- C. The project upgrades generally includes items performed by the County and CONTRACTOR as noted below. Items identified as "County" will be performed by Worcester County other work will be provided by the CONTRACTOR:
- County will install and operate the temporary bypass system for sewage during construction until Pump Stations are operational and accepted by the County.
 - County will install electrical room addition and provide 480 Volt service before Contact.
 - County will demolish and replace fencing after Contract Completion.
 - County will remove existing above grade vacuum storage tank before Contract.

- Excavation, dewatering and associated permitting, preparation of Excavation Plan, temporary supports sheeting and shoring, to remove and install vacuum systems and gravity drains.
 - Dry pit internal piping and appurtenances demolition and replacement.
 - Demolition, abandonment and removal of existing piping, concrete flooring, vacuum tanks, valves, electrical and biofilter.
 - Rain garden (Pump Station F only).
 - Connection of new piping to existing force main.
 - Demolition, removal, modification of existing equipment and installation of new equipment, vacuum pump stands, louvers, fans in the existing Pump Stations buildings.
 - 3,000-gallon vacuum tanks, controls, and foundations, re installation and connection of sewage pumps, motors and fans currently in use.
 - Instrumentation, including magnetic flow meter, level sensor, and float switches.
 - Programming of Pump Control Panel's Programmable Logic Controller (PLC) and Operator Interface Terminal, and integration of the Pump Station into the existing Worcester County Supervisory Control and Data Acquisition (SCADA) system.
 - Prepare and supply Operation and Maintenance Manuals for all equipment.
 - Conduct start-up test and provide testing results to OWNER and ENGINEER.
 - Relocation and new electrical controls and equipment.
 - New concrete flooring in both rooms
 - Existing building upgrades including flooring, roofing, doors, I-beam etc.
 - County to provide new roofing, doors, and shingles before Contract.
 - County to provide new soffits, siding, fence, tree planting, after Contract completion.
 - County will install new transformers and electrical service before Contract.
- D. The CONTRACTOR shall provide and install materials and labor to construct the improvements to Ocean Pines Vacuum Pump Stations A & F Upgrades, and make all connections and install all appurtenant items as shown in or required by the Contract Documents. CONTRACTOR shall be responsible for mounting all electrical enclosures, all equipment, and all conduits and conductors.
- E. The CONTRACTOR shall be responsible for mounting and properly grounding the directional antenna at Ocean Pines Vacuum Pump Stations A & F Upgrades.

CONTRACTOR shall be responsible for programming the PLC and operator interface display located at this pumping station.

- F. The CONTRACTOR shall be responsible for updating the Trihedral software on the PC Computers at the Central Office of the Ocean Pines Wastewater Treatment Plant (WWTP), as well as at other locations. This computer shall have its HMI monitoring and control software updated to include control and monitoring screens for Ocean Pines Vacuum Pump Stations A & F Upgrades. These screens shall, as closely as possible, duplicate the screens used on similar facilities. These additional screens shall be as consistent in appearance, function, and operation as the existing screens so that these additional screens will provide for a seamless addition of Ocean Pines Pump Stations "A & F" Upgrade to the existing Worcester County SCADA system. CONTRACTOR shall submit proposed paper copies of the proposed screens and test the proposed changes on a separate system (to be provided by the CONTRACTOR) so that operation of the existing SCADA system is not affected in any way. Prior to implementation of the changes for Ocean Pines Pump Station "A and F" Upgrade, the CONTRACTOR shall obtain the approval of the OWNER and the ENGINEER. The changes shall be implemented in such a manner that they may be removed, and the system returned to its existing operating condition if these changes are not satisfactory to the OWNER.
- G. All equipment removed shall be disposed of by the CONTRACTOR. The OWNER shall have right of salvage for all equipment removed; however, if the OWNER does not claim this equipment, it shall be disposed of at the CONTRACTOR'S expense.
- H. Lump Sum Items
 - 1. Measurement for all items listed as Lump Sum will be on a lump sum basis and are reflected as such on the bid form. Payment for each of the items will be as a percent complete in accordance with the schedule of values established prior to initiating construction and in accordance with the work completed each month. Payment is not to exceed each lump sum price from bid.
- I. Measurement and Payment, Unit Price Items
 - 1. Measurement for all items listed as Unit Price with quantities identified will be at the unit prices bid, and shall include the furnishing of all labor, tools, equipment, and materials and the performance for all work required to complete the project as indicated and specified in accordance with all requirements on the Contract Documents and to the entire satisfaction of the ENGINEER.
- J. Measurement and Payment, General
 - 1. All incidental, minor and miscellaneous items, work and materials for which no specific lump sum or unit price bid item is shown and which are necessary to complete the work and to maintain and/or repair the work, shall be done and furnished by the CONTRACTOR without extra charge.

1.3 BOUNDARIES OF WORK

- A. The OWNER shall provide land for the work specified in these Contract Documents and shall provide suitable provisions for ingress and egress, and the CONTRACTOR shall not

enter on or occupy with men, tools, equipment, or material any ground outside the property of the OWNER without the written consent of the OWNER of such ground. Other contractors and employees or agents of the OWNER may, for all necessary purposes, enter upon the work and premises used by the CONTRACTOR, and the CONTRACTOR shall conduct his work so as not to impede unnecessarily any work being done by others on or adjacent to the site.

- B. Staging Area shall be on the property of the pumping station. Additional storage required shall be obtained by the CONTRACTOR and shall be the CONTRACTOR'S responsibility.

1.4 WATER SUPPLY

- A. The OWNER will provide, at no charge to the CONTRACTOR, a reasonable amount of water for construction purposes.

1.5 PERMITS, INSPECTIONS, TESTS

- A. The CONTRACTOR will acquire all permits, inspections, and tests necessary for the proper execution of the work in accordance with all federal, state, and local rules, regulations, and codes. Copies of all permits shall be presented to the OWNER upon receipt and shall be posted, as required, at the project site.
- B. The CONTRACTOR shall notify the ENGINEER two (2) working days prior to all inspections and tests and shall furnish certificates of test results and approvals to the ENGINEER upon receipt

1.6 CONTINUITY OF SERVICES

- A. The CONTRACTOR shall make every provision necessary to maintain the operation of the pumping station, and to minimize downtime. The CONTRACTOR shall minimize interference with the operations of the wastewater collection system and keep interruptions to water flows to an absolute minimum.
- B. Operation of valves and/or gates required to perform this work shall be executed only by County personnel. The Deputy Director of the Worcester County Department of Public Works, or his designated agent, will supervise this work, and no valve, gate, or other equipment shall be operated without his knowledge.
- C. In order to minimize any periods when pumps are not available for service, the CONTRACTOR shall complete the work to the fullest extent possible prior to any shutdown request. The CONTRACTOR shall have completed all necessary preparatory work and shall have adequate personnel available to keep any shutdown periods to a minimum. All equipment and materials needed to complete the work shall be onsite prior to the commencement of any shutdown.
- D. Two-pump operation of the pumping station shall be maintained at all times. Provide necessary and temporary connections and relocations as required to maintain two-pump operation at all times.

1.7 MATERIAL AND WORKMANSHIP WARRANTY

- A. The CONTRACTOR shall warrant that all workmanship, material, and equipment furnished and installed by him shall be free of defects for a period of two (2) years after acceptance of the work. Should such defects appear, the CONTRACTOR shall repair or replace such defects at no cost to the OWNER.

1.8 INSTRUCTION OF OWNER'S REPRESENTATIVES

- A. Before request for final acceptance of Work, furnish necessary skilled personnel to operate all systems. Instruct designated OWNER'S representative in proper operation and care of systems and equipment. Repeat instructions as required.
- B. The CONTRACTOR shall provide, in suitable binders, three (3) copies of printed specifications, instructions, and diagrams covering operation and maintenance of each item of equipment and controls supplied. All Drawings are to be site-specific, and customized for this project.
- C. The CONTRACTOR shall thoroughly and completely instruct the OWNER or his representative in the operation and maintenance of all equipment and systems installed under this Contract to the satisfaction of the ENGINEER.

1.9 COORDINATION WITH OTHER CONTRACTORS, UTILITIES, AND GOVERNMENT AGENCIES

- A. There will be construction activities by other contractors, utilities, and government agencies at the project site. The CONTRACTOR will be required to coordinate and cooperate with others in carrying out his work.

1.10 REFERENCED SPECIFICATIONS

- A. The requirements of the ACI, ASA, API, ASME ASTM, AWS, AWWA, CFR, COMAR, EPA, MDE, MSS, UL and other specifications shall mean the latest edition thereof, and shall apply to all of the latest edition thereof, and shall apply to all of the applicable work to be performed, except as modified or revised by the Contract Documents, which shall govern.
- B. The requirements of referenced specifications shall be as binding upon the performance of the work as if they were fully written out herein.

1.11 FIELD ADJUSTMENTS

- A. The alignment and placement of the work shall be subject to adjustments in the field as directed by the ENGINEER.
- B. Calibration of instruments and sensors shall be subject to adjustments in the field as directed by the ENGINEER. All instruments shall be accurately and completely calibrated by the CONTRACTOR.

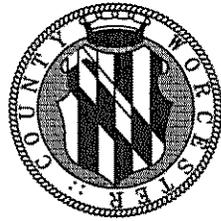
PART 2 PRODUCTS

Not Used.

PART 3 EXECUTION

Not Used.

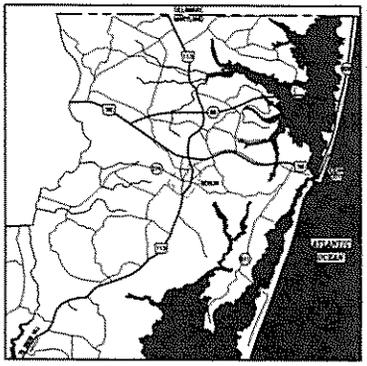
** End of Section **



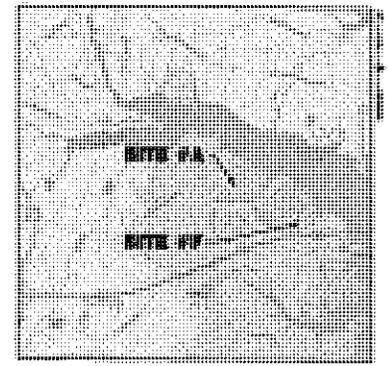
WORCESTER COUNTY CONTRACT NUMBER: S-020-16-02

WORCESTER COUNTY OCEAN PINES VACUUM LIFT STATIONS A & F UPGRADES

FEBRUARY 2016



VICINITY MAP
GRAPHIC SCALE IN FEET



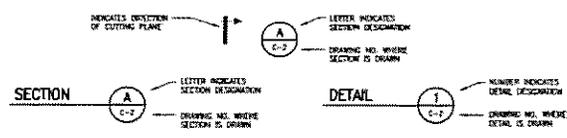
LOCATION MAP
GRAPHIC SCALE IN FEET

Complete Set of Plans
Available in County
Administration

- GENERAL NOTES:**
- CONTRACTOR SHALL NOTIFY WEST UTILITY, WORCESTER COUNTY DEPARTMENT OF PUBLIC WORKS (DPW), AND WORCESTER COUNTY EROSION AND SEDIMENT CONTROL AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO HAVE UNDERGROUND UTILITIES MARKED. UTILITIES SHOWN HEREON ARE APPROXIMATE AND WERE OBTAINED FROM AVAILABLE WORCESTER COUNTY INFORMATION. A PRE-CONSTRUCTION MEETING SHALL BE HELD 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL UTILITY COMPANIES SHALL BE NOTIFIED BY THE CONTRACTOR TO MAKE ALL UTILITIES MARKED PRIOR TO COMMENCING WORK.
 - CONTRACTOR IS REQUIRED TO TEST PIT AND LOCATE ALL UTILITIES PRIOR TO INTRUSIVE WORK. ANY DAMAGE TO UTILITIES OF ADJACENT INFRASTRUCTURE SHALL BE REPAIRED TO ITS ORIGINAL CONDITION IMMEDIATELY.
 - ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST OCCUPATIONAL HEALTH AND SAFETY ACT, LATEST EDITION, AND ALL RULES OR REGULATIONS THEREOF.
 - THE CONTRACTOR SHALL REPAIR OR REPLACE IN KIND ANY DAMAGE TO EXISTING FEATURES OWNED OR REGISTERED DURING CONSTRUCTION.
 - CONTRACTOR SHALL TAKE CARE, CAUTION, AND PROPER MEASURES TO PROTECT ALL TREES AND LANDSCAPING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND CARING FOR EXISTING STRUCTURES, UTILITY PIPES, TRANSFORMERS, AND COMMUNICATION TOWERS. A MINIMUM OF 5 LF SHALL BE MAINTAINED BETWEEN THE PLACEMENT OF THE PROPOSED AND IDEAL LISTED ABOVE.
 - UTILITY DISTANCES SUCH AS WATER, GAS, COMMUNICATIONS, AND ELECTRIC ARE REQUIRED. COORDINATION IS REQUIRED TO COORDINATE WITH ALL PROVIDERS FOR REPAIR OR SCHEDULED SHUT DOWN.
 - THE CONTRACTOR SHALL COMPLY WITH ALL PERMITS AND APPLICABLE CODES AND REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE TO PROCURE THEIR OWN STAGING AREA AND LAY DOWN AREA. COORDINATION WITH WORCESTER COUNTY MAY BE REQUIRED. LAY DOWN AREAS AND/OR STAGING AREAS SHALL BE PROTECTED WITH PROPER EROSION AND SEDIMENT CONTROLS.
 - ALL WORK IS TO BE PERFORMED WITHIN THE RIGHT OF WAY AND WITHIN ANY SETBACK REQUIREMENTS. ALL OTHER WORK OUTSIDE OF THESE AREAS WILL REQUIRE COORDINATION WITH THE WORCESTER COUNTY DEPARTMENT OF PUBLIC WORKS FOR APPROVED PROCEDURES, ACCESS, AND PERMISSIONS.
 - CONTRACTOR IS RESPONSIBLE TO COORDINATE PUMP STATION SHUT DOWNS WITH WORCESTER COUNTY. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE DRAINING OF ALL STORAGE FROM ARMORED PIPES AS WELL AS PIPES FOR CONNECTIONS TO THE EXISTING SYSTEM. CONTRACTOR SHALL HAVE EQUIPMENT ON-SITE TO ADDRESS THE REMOVAL OF STORAGE FROM THE LINE. AT NO TIME IS STORAGE PERMITTED TO ENCOUNTER THE OCEAN.
 - DURING CONNECTION CONTRACTOR SHALL NOT ALLOW SEWAGE TO BE RELEASED ONTO THE OCEAN. CONTRACTOR IS RESPONSIBLE TO PROVIDE EQUIPMENT TO SAFELY COLLECT, STORE, AND EQUALIZE SEWAGE (ENGINEERED TO THE OCEAN PINES WASTEWATER TREATMENT PLANT).
 - THE PUMP STATION PROPERTIES DO NOT HAVE ANY WETLANDS ON-SITE.
 - THE PROPERTIES ARE SITUATED WITHIN FLOOD HAZARD ZONE II, AS SHOWN ON FIRM MAP #200001-0225-A, DATED 2-15-79.
 - STATION A IS NOT LOCATED IN THE ATLANTIC COASTAL BAYS CRITICAL AREA.
 - STATION F IS LOCATED IN THE ATLANTIC COASTAL BAYS CRITICAL AREA.
 - ELEVATIONS SHOWN ARE IN FEET ABOVE MEAN SEA LEVEL 1929 DATUM.
 - NO TREES ARE PLANNED TO BE REMOVED. FOREST CONSIDERATION IS NOT REQUIRED.
 - FINISH FLOOR OF THE STATION A IS AT ELEVATION 9.12' AND THE FINISH FLOOR OF STATION F IS 10.0' AND ARE THE BENCHMARKS FOR THE SITES.
 - AREA OF BOTH LOTS = 2.2208 SQ. FT.
 - REFERENCE: PLAT "OCEAN PINES BAY COAST - SECTION 17" BY FRISCH WILLIAM ENG. CO. DATE: JAN. 1989 PLAT BOOK: PWN 1273-A
 - TOPOGRAPHIC AND LAND SURVEY DONE BY J.E. BUNTING SURVEYS, INC. 410-641-3315 ON 01/12/15.
 - DEMOLITION IS EXPECTED. CONTRACTOR TO SECURE A DEMOLITION AND REMOVAL PERMIT FOR THE PROJECT.
 - CONTRACTOR IS RESPONSIBLE FOR ALL ACTIVITIES RELATING TO CONCRETE SPILL CLEANUP, REQUIRED PERMITS, TRAINED PERSONNEL, AND EQUIPMENT.
 - ALL UNDERGROUND UTILITIES AND EQUIPMENT WERE OBTAINED FROM COUNTY SUPPLIED DESIGN DRAWINGS. NO AS-BUILT INFORMATION WAS OBTAINED REGARDING ACTUAL LOCATIONS, LENGTHS, AND DEPTHS. CONTRACTOR TO VERIFY AND NOTIFY ENGINEER IF CONFLICTS EXIST.
 - ONLY 1 (ONE) STATION CAN BE DONE AT A TIME. ONE OF THE 2 STATIONS MUST BE LEFT OPERATIONAL AT ALL TIMES.

DRAWING NUMBER	SHEET NUMBER	DRAWING TITLE
T-1	1 OF 36	TITLE SHEET
C-1	2 OF 36	STATION A - EXISTING CIVIL SITE AND DEMOLITION PLAN
C-2	3 OF 36	STATION A - TEMPORARY SEWER BYPASS PLAN AND PROFILE (NIC)
C-3	4 OF 36	STATION A - PROPOSED CIVIL SITE PLAN
C-4	5 OF 36	STATION A - SWM, PLANTING, AND FINAL GRADING PLAN
C-5	6 OF 36	STATION A - EXISTING PROFILE AND SECTION
C-6	7 OF 36	STATION A - PROPOSED PROFILE AND SECTION
C-7	8 OF 36	STATION F - EXISTING CIVIL SITE AND DEMOLITION PLAN
C-8	9 OF 36	STATION F - TEMPORARY SEWER BYPASS PLAN AND PROFILE (NIC)
C-9	10 OF 36	STATION F - PROPOSED CIVIL SITE PLAN
C-10	11 OF 36	STATION F - SWM, PLANTING, AND FINAL GRADING PLAN
C-11	12 OF 36	STATION F - EXISTING PROFILE AND SECTION
C-12	13 OF 36	STATION F - PROPOSED PROFILE AND SECTION
C-13	14 OF 36	SITE DETAILS I
C-14	15 OF 36	SITE DETAILS II
C-15	16 OF 36	STORMWATER MANAGEMENT DETAILS
ES-1	17 OF 36	STATION A - EROSION & SEDIMENT CONTROL PLAN
ES-2	18 OF 36	STATION F - EROSION & SEDIMENT CONTROL PLAN
ES-3	19 OF 36	EROSION & SEDIMENT CONTROL NOTES
ES-4	20 OF 36	EROSION & SEDIMENT CONTROL NOTES AND DETAILS
ES-5	21 OF 36	EROSION & SEDIMENT CONTROL DETAILS
S-1	22 OF 36	S-1 NOTES AND DETAILS I
S-2	23 OF 36	S-2 NOTES AND DETAILS II
A-1	24 OF 36	STATION A - FLOOR PLAN, DEMO PLAN, AND ROOF PLAN
A-2	25 OF 36	STATION F - FLOOR PLAN, DEMO PLAN, AND ROOF PLAN
A-3	26 OF 36	STATION A - ELEVATIONS, WALL SECTIONS, AND DETAILS
A-4	27 OF 36	STATION F - ELEVATIONS, WALL SECTIONS, AND DETAILS
M-1	28 OF 36	MECHANICAL DETAILS I
M-2	29 OF 36	MECHANICAL DETAILS II
E-1	30 OF 36	ABBREVIATIONS & STATION A ELECTRICAL SITE PLAN
E-2	31 OF 36	STATION F ELECTRICAL SITE PLAN AND ONE-LINE DIAGRAM
E-3	32 OF 36	VACUUM LIFT STATION BUILDING PLAN
E-4	33 OF 36	PUMP CONTROL PANEL AND PANELBOARD SCHEDULES
E-5	34 OF 36	PUMP CONTROL PANEL ELEMENTARY
E-6	35 OF 36	PUMP CONTROL PANEL ELEMENTARY CONTINUED & ELEMENTARIES
E-7	36 OF 36	SOFT START ELEMENTARY AND SCADA SITE PLAN

REFERENCE SYMBOLS



STATEMENT OF CONTRACTOR

I HEREBY CERTIFY THAT I HAVE INSPECTED THIS SITE AND THAT DRAINAGE ONTO THIS SITE FROM OTHER UPGRADE PROJECTS AND FROM THIS SITE ONTO OTHER DRAINAGE PROJECTS HAS BEEN ADDRESSSED IN ACCORDANCE WITH APPLICABLE CODES.

DARRYL K. KEAL, P.E.
NO. P.E. NO. 27732

DATE

CONSULTANT CERTIFICATION

I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A FEASIBLE AND REASONABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE LAW, EDITION AND SEDIMENT CONTROL CODES. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

DARRYL K. KEAL, P.E.
NO. P.E. NO. 27732

DATE

OWNER/DEVELOPER/APPLICANT CERTIFICATION

I HEREBY CERTIFY THAT I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN AND THAT ALL GRADING, DRAINAGE AND CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.

ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURAL DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARIANNA STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE. ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY REPRESENTS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE. ALL STRUCTURAL DESIGN FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SIZE EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONSTRUCTING AREAS HAVE FINISHED FINAL STABILIZATION INSPECTION. UPON COMPLETION OF THIS PROJECT AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION SHEET, AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT EXCEPT SPECIAL CASES. THESE DOCUMENTS, ONCE REVIEWED IS COMPLETE AND APPROVED, A CERTIFICATION OF OCCUPANCY CAN BE ISSUED.

OWNER/APPLICANT:

DATE

COUNTY COMMISSIONERS
OF WORCESTER COUNTY MARYLAND
1 WEST BARNET ST. - RM 1023
SHOW HILL, MARYLAND 21085

DEPARTMENT OF PUBLIC WORKS
8125 HANCOCK ROAD
SHOW HILL, MD 21085

ATTN: JOHN RUTEN, P.E.
PHONE: (410) 632-3622

THE WATER AND SEWER FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS ARE APPROVED BY WORCESTER COUNTY WATER AND WASTEWATER DIVISION.

DATE: FEBRUARY 2016

PROJECT NUMBER: 020201.0001

SHEET: 1 OF 36

WORCESTER COUNTY
 DEPARTMENT OF PUBLIC WORKS
 OCEAN PINES VACUUM LIFT STATIONS A & F UPGRADES
 TITLE SHEET
 DATE: FEBRUARY 2016
 PROJECT NUMBER: 020201.0001
 SHEET: 1 OF 36



EA Engineering, Science, and Technology, Inc.
1000 Valley Center
225 Spotswood Circle
Hunt Valley, Maryland 21031
(410) 394-7000

DATE: FEBRUARY 2016

SHEET: 1 OF 36

FOR COMMISSIONER - REVIEW



ENGINEERING ASSOCIATES, INC.
1000 Valley Center
West Valley City, Utah 84119
Phone: (801) 363-7000
Fax: (801) 363-7001

PROJECT NUMBER: 2015-0000
SHEET: 3 OF 18
DATE: 11/11/15

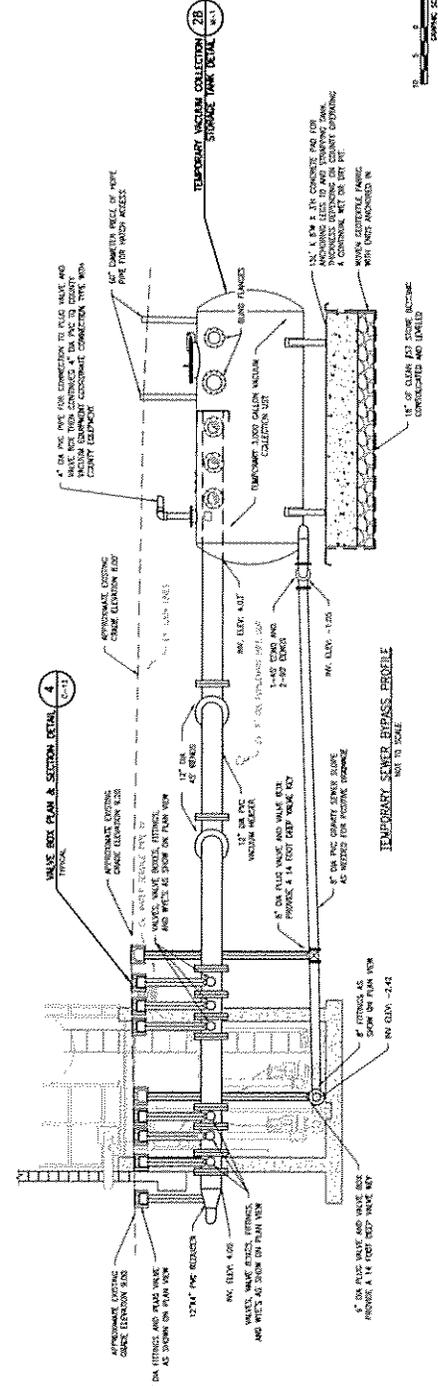
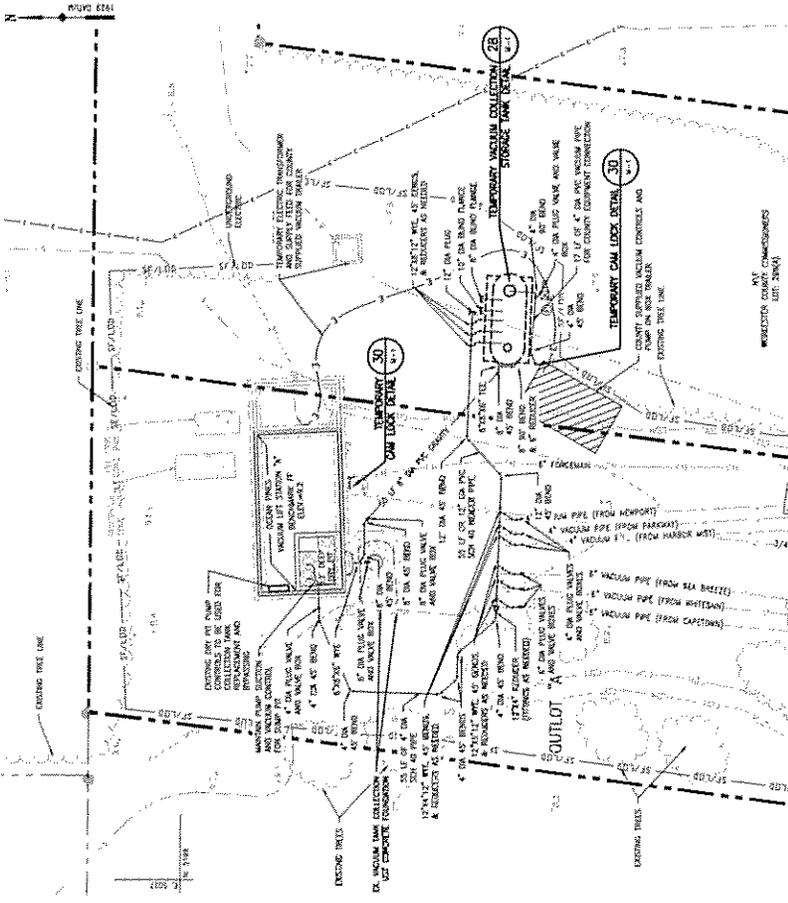
WORCESTER COUNTY
DEPARTMENT OF PUBLIC WORKS
OCEAN PINES VACUUM LIFT STATIONS A & F UPGRADES
STATION A - TEMPORARY SEWER BYPASS PLAN AND PROFILE (NIC)

Table with columns: NO., DESCRIPTION, DATE, BY, CHECKED BY, APPROVED BY. Includes project details and revision history.

- LEGEND
EXISTING PROPERTY BOUNDARY
EXISTING UTILITY BOUNDARY
EXISTING PLACED EASEMENT
EXISTING PLACED EASEMENT AND EASEL
EXISTING RIGHT OF WAY
EXISTING WATER LINE
EXISTING SANITARY LINE
EXISTING SEWER LINE
EXISTING 12" DIA. WATER MAIN
EXISTING 12" DIA. SANITARY MAIN
EXISTING 12" DIA. SEWER MAIN
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EXISTING 12" DIA. SANITARY MAIN
EXISTING 12" DIA. SEWER MAIN

- GENERAL NOTES
1. TEMPORARY BY-PASS SYSTEM IS TO BE INSTALLED BY THE COUNTY. CONTRACTORS SHALL...
2. WORCESTER COUNTY TO INSTALL THE PROPOSED CHANNEL STEEL JAWED GALVANIZED TEMPORARY...
3. ALL UNDERGROUND UTILITIES AND EQUIPMENT LOCATIONS, LOCATIONS AND DEPTHS ARE...
4. CONTRACTOR IS TO VERIFY ALL PROPOSED 12" DIA. SEWER MAINS AND NOT FROM 45-60" DIA...
5. THE SURVEY WAS COMPLETED USING AN ADVANCED GRADE 2. COORDINATE LOCATIONS ARE...
6. MEANS AND METHODS FOR CONTRACTORS TO SURVEY AND CHECK EXISTING AND NEW WELLS...

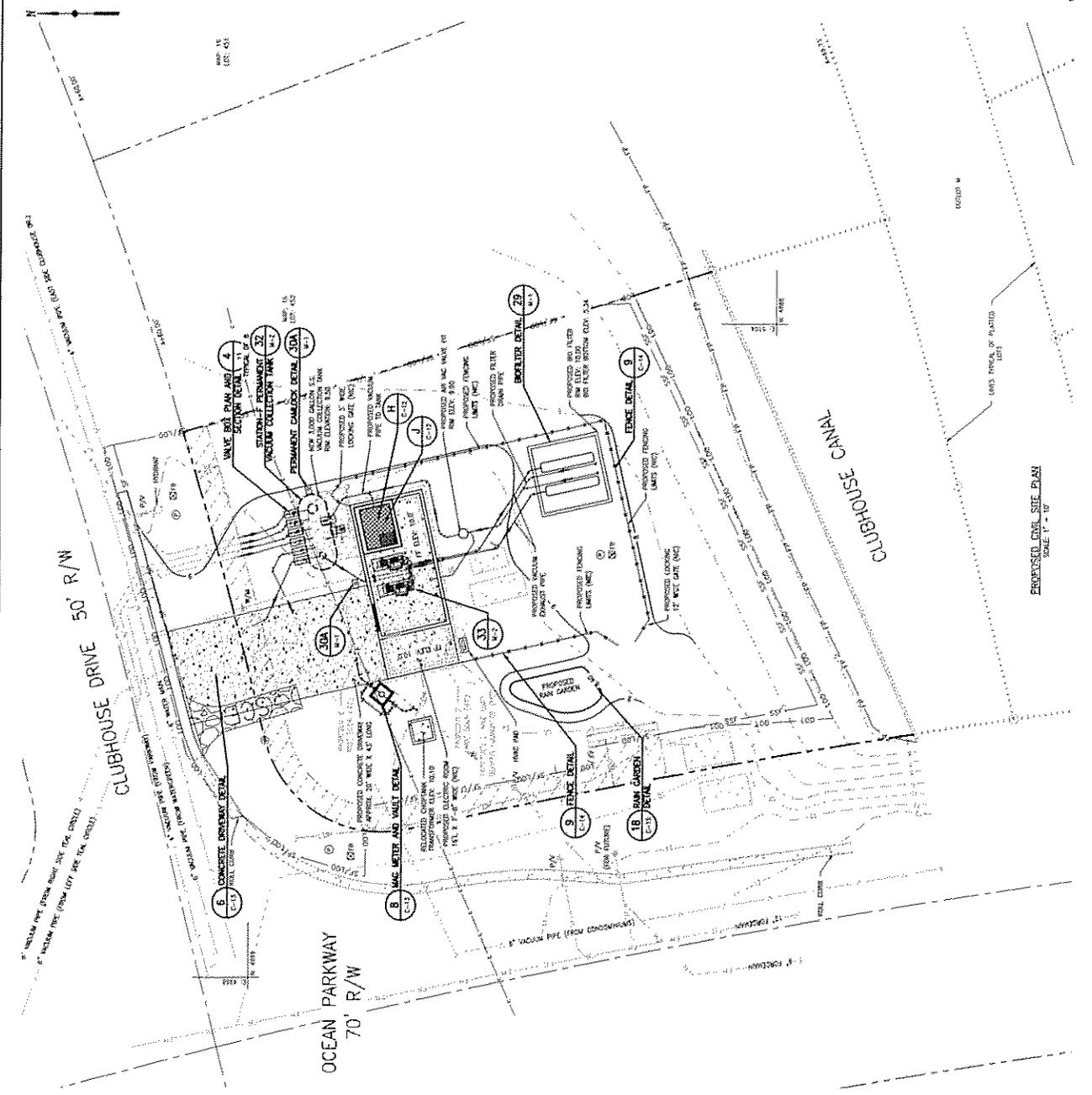
PAGE NOT IN CONTRACT



NO.	DESCRIPTION	DATE
1	DESIGN REVISIONS	
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
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48	REVISIONS	
49	REVISIONS	
50	REVISIONS	

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF OCEAN PINES, FLORIDA, LOCAL ORDINANCES AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OCEAN PINES, FLORIDA, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE VACUUM LIFT STATIONS AND ASSOCIATED INFRASTRUCTURE.



FOR COMMISSIONER - REVIEW



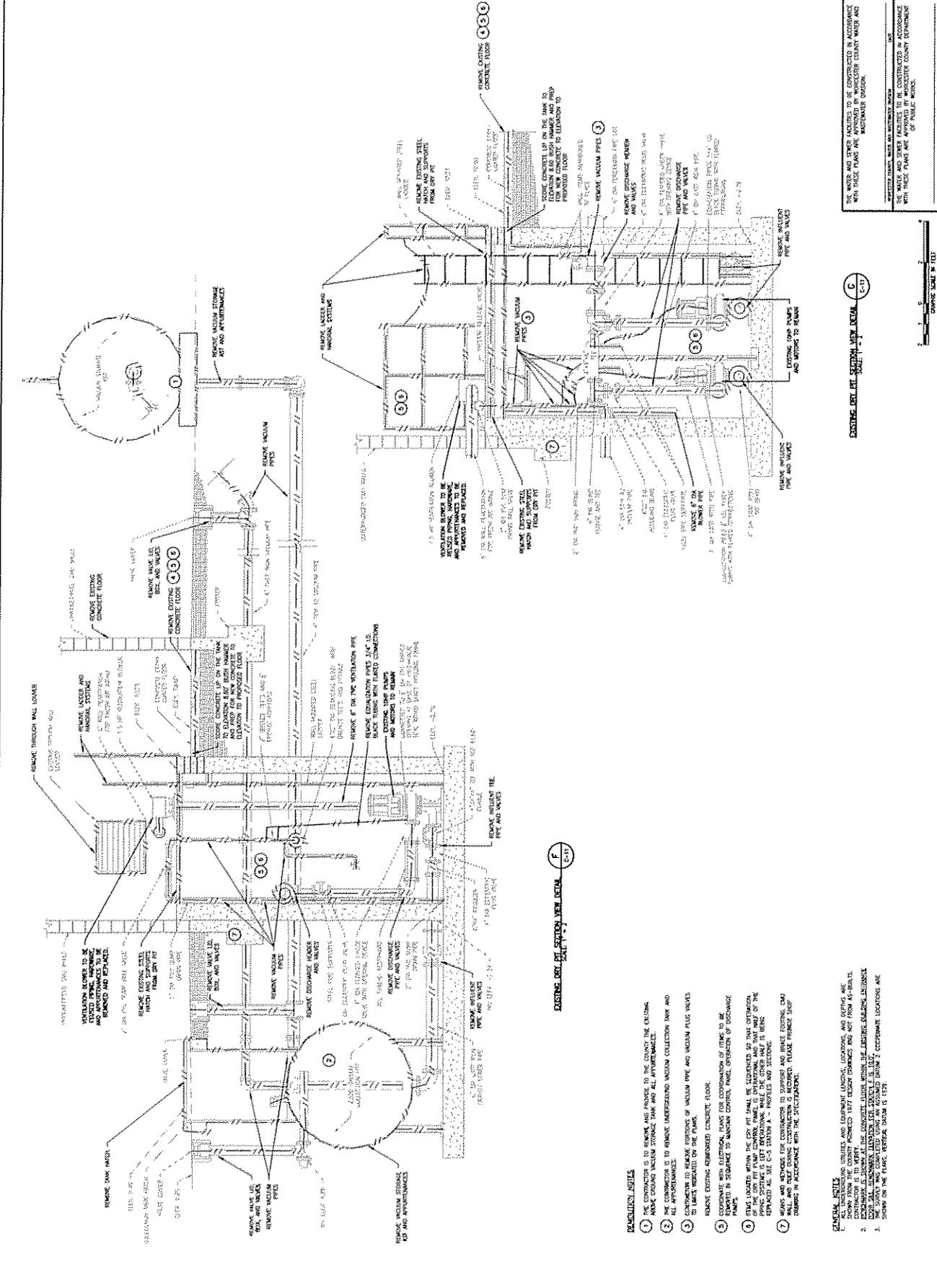
EA Environmental Sciences
 200 West Street
 New York, NY 10038
 Phone: (212) 366-1000
 Fax: (212) 366-1001

DATE: FEBRUARY 2010

PROJECT NUMBER: 0420001001

STATION F - EXISTING PROFILE AND SECTION

NO.	DESCRIPTION	DATE	BY	CHKD BY
105	REVISIONS			
104	REVISIONS			
103	REVISIONS			
102	REVISIONS			
101	REVISIONS			



THE WATER AND SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS WITH THESE PLANS AND NOTIFYING THE WORCESTER COUNTY WATER AND SEWERWORKS DIVISION.

THE WATER AND SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS WITH THESE PLANS AND NOTIFYING THE WORCESTER COUNTY DEPARTMENT OF PUBLIC WORKS.

EXISTING PROFILE AND SECTION - STATION F - C-11

SCALE: 1/4" = 1'-0"

- REVISIONS:**
1. REVISIONS TO THE EXISTING PROFILE AND SECTION.
 2. REVISIONS TO THE EXISTING PROFILE AND SECTION.
 3. REVISIONS TO THE EXISTING PROFILE AND SECTION.
 4. REVISIONS TO THE EXISTING PROFILE AND SECTION.
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- GENERAL NOTES:**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS WITH THESE PLANS AND NOTIFYING THE WORCESTER COUNTY DEPARTMENT OF PUBLIC WORKS.
 3. THE SURVEY AND CONTROL POINTS ARE AS SHOWN ON SHEET C-10.
 4. SHOW ON THE PLAN: VERTICAL CURVE IS 100'
 5. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
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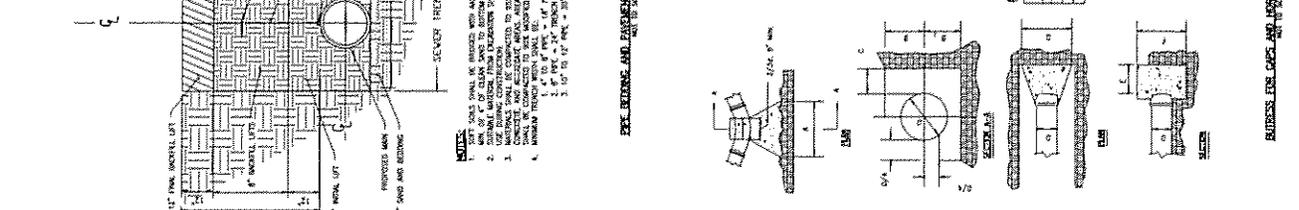
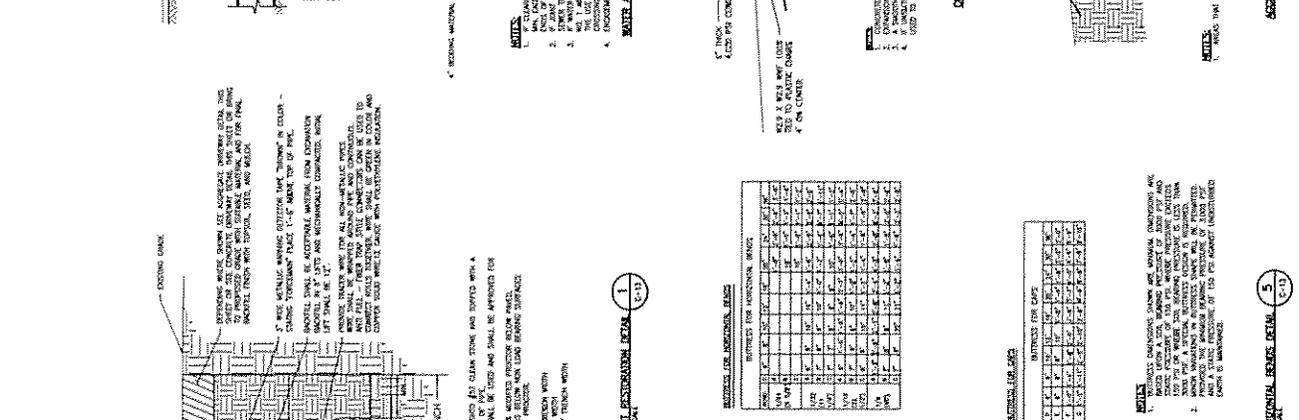
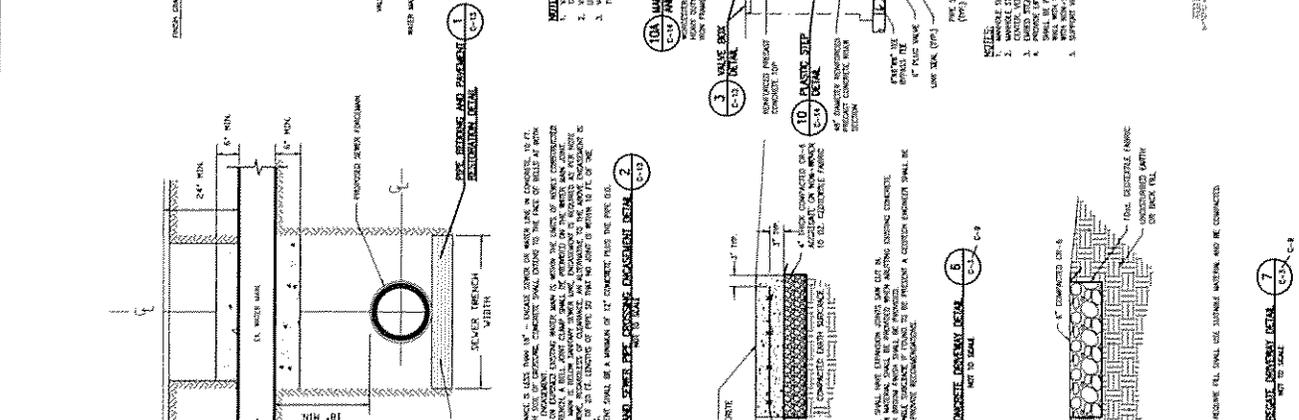
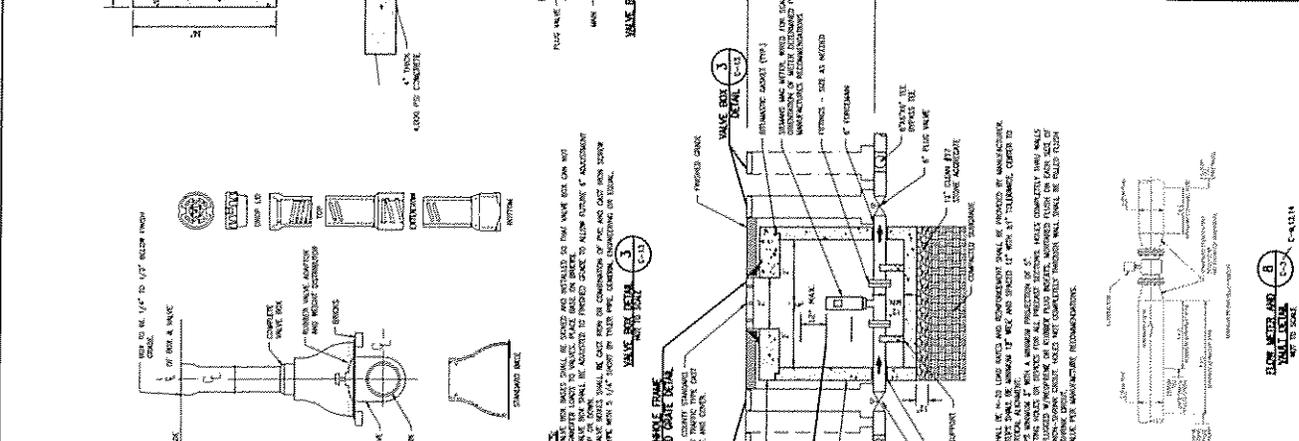
FOR COMMISSIONER REVIEW

EA Environmental Science and Technology, Inc.
 2000 North Pointe Drive
 Suite 200
 Ocean Pines, Maryland 21071
 Phone: 410-326-1000

DATE: 11/19/15

PROJECT NUMBER: 1501

PROJECT NAME: OCEAN PINES VACUUM LIFT STATIONS A & F UPGRADES



NOTES:

1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE UNLESS OTHERWISE NOTED.
2. ALL REINFORCEMENT SHALL BE #4 BARS UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
4. ALL TRENCHES SHALL BE BACKFILLED WITH 3/4\"/>

WATER AND SEWER PIPE CROSSING ENCASUREMENT DETAIL 2
 NOT TO SCALE

PIPE BEDDING AND TRENCH RESTRAINT DETAIL 1
 NOT TO SCALE

VALVE BOX PLAN AND SECTION DETAIL 3
 NOT TO SCALE

VALVE BOX PLAN AND SECTION DETAIL 4
 NOT TO SCALE

CONCRETE DRIVEWAY DETAIL 5
 NOT TO SCALE

AGGREGATE DRIVEWAY DETAIL 7
 NOT TO SCALE

FLOW WATER AND VALVE DETAIL 8
 NOT TO SCALE

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/19/15	ISSUED FOR PERMIT

NOTES:

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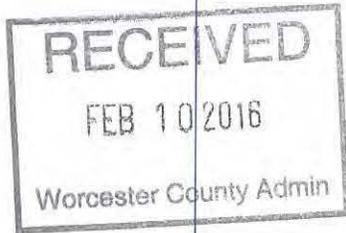
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12

Worcester County
DEPARTMENT OF PUBLIC WORKS

6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

MEMORANDUM

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 8, 2016
SUBJECT: Request for Out of State Travel
SCADA Radio Training

JOHN H. TUSTIN, P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

**FLEET
MANAGEMENT**
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

The Water and Wastewater Division of the Department of Public Works has been working for several years to transition system monitoring and alarms from using telephone lines to radios. Using radios has been shown to be very reliable and allows for more a responsive and easily expandable system. Clearly, communication technology is moving away from land based phone lines.

To maintain the radio systems, the department has primarily been using outside contractors with some support from internal staff. In 2014, the Department hired a SCADA Technician with specific knowledge of installation, programming and maintenance of the computerized system monitoring systems but the technician has little experience working on the radios. The radios are important in the monitoring systems and are an item that requires frequent attention.

We have identified two (2) training sessions (attached) from the supplier of the radios, GE Digital MDS, that would provide the training needed to troubleshoot and repair the system radios. The first 2-day Session held July 13-14, 2016 relates to radio fundamentals and the second session held August 8, 2016 deals specifically with the radios used in the Water and Wastewater Division. The Sessions are both held in Rochester, New York and therefore require out of state travel to attend.

Total Cost for attending both sessions is \$2,900 which includes:

Item	July 13-14 Session 4 Days Total	August 8 Session 3Days Total
Tuition	\$1,200	\$600
Travel (County Vehicle Fuel)	\$90	\$90
Meals \$60 per day	\$240	\$180
Lodging (\$100/night)	\$300	\$200
Total	\$1,830	\$1,070

Because most of the service areas use the SCADA system, the expense would be spread among the users based on customer counts. Adequate funding for this is available in the various service area budgets under account number 7000.060

If you have any questions, please feel free to contact me.

Enclosures

cc: John Ross, P. E., Deputy Director



Digital Energy > Communications > Training

Product Lookup

Online Store

Press Room

Product Categories

- > Overview
- Industrial Wireless
- > Fiber Optic Multiplexers
- Ethernet Switches & Converters
- > Network Management Software

Services

- > Overview
- > Training
- > RMA

Training Schedule

Courses are taught in a state-of-the-art hands-on lab that simulates real world experience. Technical Training courses offered by GE teach students how to maximize the features and functionality of their MDS products, and also examines physical characteristics such as product interfaces, configuration, management, maintenance, and firmware upgrades.

2015

Session 1
RF Fundamentals

Course	Description	Dates	Price
RF Fundamentals & MDS SD and SD Master Station	Maximize the performance of your communications network by increasing your knowledge of RF and Data test equipment. The first two-days of this course are an ideal refresher and an excellent introductory course. The second two days cover the MDS SD Series of products and teach students how to bridge Ethernet, connect serial and IP/Ethernet devices on a single radio, and smoothly expand an existing x710 network with SD radios.	April 14-17 July 14-17 October 6-9	\$2,400
<u>RF Fundamentals</u>	This two-day course focuses on radio frequency fundamentals. It is the first two days of the full RF Fundamentals & MDS SD and SD Master Station course as described above.	April 14-15 July 14-15 <i>July 19-20</i> October 6-7	\$1,200
MDS SD and SD Master Station	This two-day course focuses on the MDS SD Series products. It is the last two days of the full RF Fundamentals & MDS SD and SD Master Station course as described above.	April 16-17 July 16-17 October 8-9	\$1,200
Wireless Radio Communications Course	This 5-day course covers the MDS TransNET/entraNET, Intrepid/Mercury/NET products. In addition to covering product functions, configuration and management, this course shows students how to maximize the performance of their MDS radio networks.	April 27 - May 1 July 27-31 October 19-23	\$3,000
MDS TransNET Series	The MDS TransNET Series technical training course teaches students how to enhance product functionality and features to support a flexible serial network. This course is day one of the full Wireless Radio Communications Course as described above.	April 27 July 27 October 19	\$600
MDS entraNET	Learn how to get exceptionally long range	April 28	\$600

- Network Configuration Tips
- Troubleshooting
- Redundancy Options
- Special Features
- Reference Materials

Day 3 - MDS Intrepid Series**Overview Intrepid Power Point Presentation**

- Hardware
- Software
- Optimal settings
- System Design

Using the GE Link Budget Calculator (web based software)

- Evaluating what radios will meet your requirements

RF Power Point Presentation

- Path calculation
- Feed Lines
- Grounding and Installation
- Understanding and Mitigating Interference

Labs

1. Installing the MRL Manager (Windows based software)
2. Setting up two radios to pass traffic (basic configuration)
3. How to save configuration files
4. How to upgrade the radios firmware
5. How to save the Event Log for troubleshooting purposes

Day 4 - MDS Mercury Series

- OFDM and Frequency Hopping Theory
- Network Theory
- Unicast, multicast and broadcast addressing
- IP addressing Review
- IP addressing with Mercury
- Transparent Ethernet Bridging Theory
- Ethernet Bridging with Mercury
- Network Theory
- VLAN and IEEE 802.1Q
 - SNMP, Syslog and TFTP
- Network Security Overview
 - Radius, IEEE 802.1X, SSH, SSL
- Configuring 802.1Q, Security and Management on Mercury
- Mercury Maintenance and Best Practices

Day 5 - MDS iNET Series

- Introduction
- Features
- Interfacing
- System Configurations
- Unit Configuration
- Menus and Management
- Serial Configuration
- Security Configuration
- Device Information
- Performance Information
- Maintenance
- Firmware Upgrades and Configuration Files

Radio Frequency Fundamentals & MDS SD and SD Master Station (4 days)**Day 1 - Fundamentals of RF Communications****Radio Frequency (RF) Fundamentals**

- Overview
- Units of Measurement and RF Terminology
- Wave and Signal Mechanics
- Antenna Basics
- RF Interconnections
- Link Mechanics
- Applications and Characteristics
- Evaluating Radio Paths
- Feed Lines
- System Design
- Grounding and Installation
- Understanding and Mitigating Interference
- RF Test Equipment
- Data Test Equipment

Day 2 - Fundamentals of RF Communications**Cont'd****Radio Interfacing**

- Serial Interfacing Overview
- Serial Interfacing Basics
- DTE and DCE Concept
- Electrical Standards
- Short-Haul Modems
- Fiber Interfaces and Fiber Modems
- Multi-Drop Interfacing
- Interface Conversions
- Special Purpose Interface Devices
- OSI Layers
- Physical Layer Interconnections
- Logical Link Layer Communications
- Network Layer Communications
- Transport Layer Communications
- Upper-Layer Communications
- Security
- Networking Applications over Radio

Day 3 - MDS SD and SD Master Station**MAS Overview**

- MAS Terminology
- MAS Topologies
- EIA-232 Interfacing in General
- Popular SCADA Protocols (brief overview)

Data Performance

- Polled Systems
- Report by Exception
- Software Capabilities

MDS SD and SD Master Station

- MAS Terminology
- Radio Types & Configurations
- Handshaking
- Programmable Delays
- Squelch Tails
- Modulation Techniques
- Data Timing Considerations
- Methods of Keying
- Repeaters

Session 1



Digital Energy > Communications > Training

Product Lookup

Online Store

Press Room

Product Categories

- > Overview
- Industrial Wireless
- > Fiber Optic Multiplexers
- Ethernet Switches & Converters
- > Network Management Software

Services

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Training Schedule

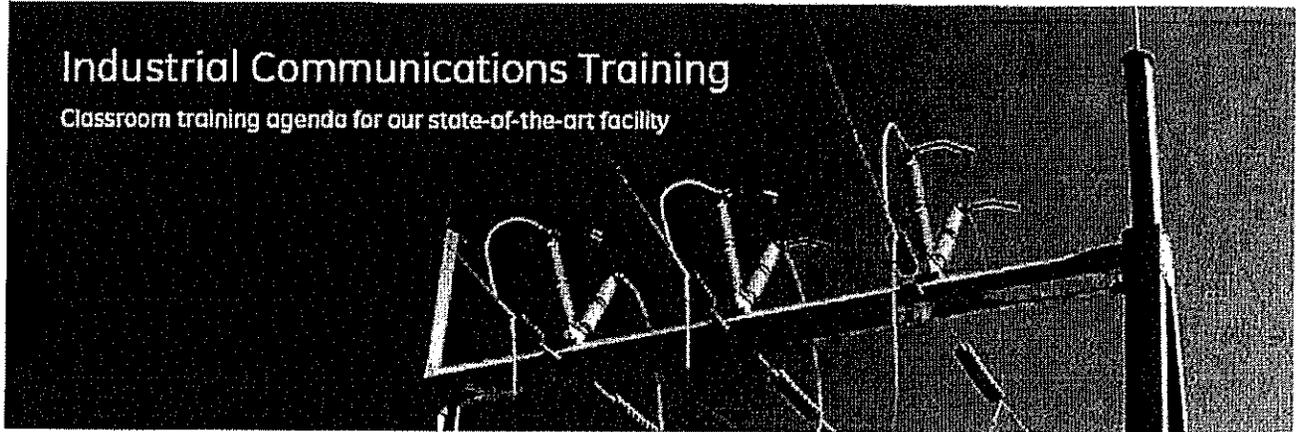
Courses are taught in a state-of-the-art hands-on lab that simulates real world experience. Technical Training courses offered by GE teach students how to maximize the features and functionality of their MDS products, and also examines physical characteristics such as product interfaces, configuration, management, maintenance, and firmware upgrades.

~~2015~~ 2016

Session 2

Course	Description	Dates	Price
RF Fundamentals & MDS SD and SD Master Station	Maximize the performance of your communications network by increasing your knowledge of RF and Data test equipment. The first two-days of this course are an ideal refresher and an excellent introductory course. The second two days cover the MDS SD Series of products and teach students how to bridge Ethernet, connect serial and IP/Ethernet devices on a single radio, and smoothly expand an existing x710 network with SD radios.	April 14-17 July 14-17 October 6-9	\$2,400
RF Fundamentals	This two-day course focuses on radio frequency fundamentals. It is the first two days of the full RF Fundamentals & MDS SD and SD Master Station course as described above.	April 14-15 July 14-15 October 6-7	\$1,200
MDS SD and SD Master Station	This two-day course focuses on the MDS SD Series products. It is the last two days of the full RF Fundamentals & MDS SD and SD Master Station course as described above.	April 16-17 July 16-17 October 8-9	\$1,200
Wireless Radio Communications Course	This 5-day course covers the MDS TransNET/entraNET, Intrepid/Mercury/INET products. In addition to covering product functions, configuration and management, this course shows students how to maximize the performance of their MDS radio networks.	April 27 - May 1 July 27-31 October 19-23	\$3,000
MDS TransNET Series	The MDS TransNET Series technical training course teaches students how to enhance product functionality and features to support a flexible serial network. This course is day one of the full Wireless Radio Communications Course as described above.	April 27 July 27 October 19	\$600
MDS entraNET	Learn how to get exceptionally long range	April 28	\$800

August 8



Industrial Communications Training

Classroom training agenda for our state-of-the-art facility

Digital Energy > Communications > Training

Product Lookup

Online Store

Press Room

Product Categories

- > Overview
 - Industrial Wireless
- > Fiber Optic Multiplexers
- Ethernet Switches & Converters
- > Network Management Software

Services

- > Overview
- > Training
- > RMA

Training Agendas

We offer a variety of training courses in our state-of-the-art facilities that cover the MDS product lines. Related topics and courses are offered together as a longer 4- or 5- day course for ordering and traveling convenience. Specific 1- or 2-day product courses can be ordered as needed for your individual training needs. If you are interested in training on a product not shown here, please contact us to discuss options.

Wireless Radio Communications Course (5 days)

- Day 1 - MDS TransNET Series
- Day 2 - MDS entraNET Series
- Day 3 - MDS Intrepid Series
- Day 4 - MDS Mercury Series
- Day 5 - MDS iNET Series

Radio Frequency Fundamentals & MDS SD and SD Master Station (4 days)

- Day 1 - Fundamentals of RF Communications
- Day 2 - Fundamentals of RF Communications cont'd
- Day 3 - MDS SD and SD Master Station
- Day 4 - MDS SD and SD Master Station cont'd

MDS Orbit Platform (2 days)

- Day 1 - Basic Configuration
- Day 2 - Expanded Functionality

Session 2

Wireless Radio Communications Course (5 days)

Day 1 - MDS TransNET Series

- Introduction
- Key Features
- Network Topologies
- Interfacing
- Integration with iNET systems
- Network Management
- Store-and-Forward Operation
- Configuration Software
- Setup
- Maintenance

Day 2 - MDS entraNET Series

- System Architecture
- Features
- Interfacing
- Security Concepts
- Local Configuration
- Network Management
- Configuration Files
- RF Adjustments and Measurements
- Interface Configuration
- Firmware Upgrades



GE MDS, LLC
175 Science Parkway
Rochester, NY 14620 USA
T: 585 242 9600
F: 585 242 9620

1/28/2016

Andy Stinson

RE: GE Quotation for System Optimization Services

[Customer Name],

GE MDS, LLC is pleased to offer Mr. Stinson with a quotation for Training sessions in Rochester NY.

Attached to this quotation are the following:

- Statement of work
- ES104 terms and conditions

Line	Description	Pricing	Quantity	Extended Price
1	RF Fundamentals	\$1,200.00	2 days	\$1,200.00
2	TransNET Radio Training	\$600.00	1 day	\$600.00

General Conditions:

- For Training classes a minimum registration of 3 students (internal or external) must be met to hold the session. GE will notify you ~ 3 weeks in advance if the session is not meeting the requirement.
- Work to be performed on a mutually agreeable schedule and is subject to resource and system availability.
- This proposal is valid for 30 days from date of transmission.
- The Buyer agrees to pay for services within 45 days from GE's submission of invoice.

Please feel free to contact me at your convenience with any questions or comments you may have regarding this quotation.



Digital Energy
MDS

Quote Number 20160128 Rev 0.1

Training Dates available in 2016

RF Fundamentals

February 17-18

April 6-7

July 13-14

September 28-29

GE MDS TransNETRadio Training

January 25

April 25

August 8

October 17

Sincerely,

Willard Harding
Supervisor Technical Services
GE MDS, LLC

RECEIVED
FEB 10 2016
Worcester County Admin



13

Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

MEMORANDUM

JOHN H. TUSTIN, P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: Feb. 1, 2016
SUBJECT: Household Hazardous Waste & Electronics Recycling Day
Final Report – Oct. 10, 2015 Event

.....

DIVISIONS

The Worcester County Department of Public Works Recycling Division held an e-Cycle (Electronics Recycling) and Household Hazardous Waste Day on Saturday, October 10, 2015, at the Showell Elementary School.

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

Attached is the final tonnage figures for the Electronics and Hazardous Waste Collection. The total cost of advertising for this event was \$2,716.00, which included radio PSA's which were aired several times a day for 1 week prior to the event and newspaper ads in several of the local papers. These ads were run for 2 consecutive weeks prior to the event. Electronics collected totaled 16.43 tons or 32,860 lbs. with a disposal fee of \$7,700.00. Household Hazardous Waste totaled 4.62 tons or 9,240 lbs at a disposal fee of \$13,078.33. The total cost of the event was \$23,494.33.

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

Should you have any questions, please do not hesitate to call me.

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

Attachment

FLEET MANAGEMENT
TEL: 410-632-5675
FAX: 410-632-1753

Cc: Ron Taylor, Recycling Manager

WATER AND WASTEWATER
TEL: 410-641-5251
FAX: 410-641-5185

OCTOBER 10, 2015 - HHW & e-CYCLE Collection Day

Event held at the SHOWELL ELEMENTARY SCHOOL parking lot

Number of Vehicles ----			HHW	ELECT.	BOTH	TOTAL	O. CITY BROUGHT US 3.09 Tons OF ELECTRONICS & .68 Tons OF HHW										
			126	149	140	415	SNOW HILL BROUGHT US .23 Tons OF HHW										
Laptops	Drives	Monitors	Key-boards	Mouse	Printers	TV's	VCR' & DVD's	Scanners	Radio's	Phones	Fax's	Micro-Waves	Copiers	Toaster	Modems	Remotes	Speakers
12	106	36	31	11	73	146	64	4	13	5	12	14	7	3	5	2	17

Misc. items consisted of the following:

Cables	Pro-jector	Vacuum Cleaners	Cal-culator	Type-writers	Shredder	Coffee Makers	Pencil Sharpner	Heaters	Flash lite	Direct TV Box	Toaster Oven	Air Cond.	Leaf Blower	Power Tools	I Pad Game Boy	Misc.	Total Pieces
14	0	2	5	1	3	9	1	3	1	3	3	1	2	3	1	22	618

HAZARDOUS WASTE BREAKDOWN

PRODUCT	UNIT RATE	LBS	COST
Set/up Fee-Mobilization			\$ 8,650.00
Labor adjustment for crew size			\$ 200.00
Aerosols	\$ 0.75 per lb	455	\$ 341.25
Fluorescent Light tubes	\$ 0.75 per lb	615	\$ 461.25
Waste oil	\$ 0.30 per lb	1,045	\$ 313.50
Flammable Solid	\$ 0.10 per lb	21	\$ 2.10
Fire Extinguishers	\$ 0.75 per lb	68	\$ 51.00
Oxidizer solid	\$ 1.50 per lb	34	\$ 51.00
Oil Base Paints	\$ 0.50 per lb	918	\$ 459.00
compact bulbs	\$ 0.75 per lb	39	\$ 29.25
Corrosive Liquid - Base	\$ 0.65 per lb	170	\$ 110.50
Corrosive Liquid - Acids	\$ 0.65 per lb	75	\$ 48.75
Antifreeze	\$ 0.30 per lb	245	\$ 73.50
Poured Flammable Liquids	\$ 0.23 per lb	2,751	\$ 632.73
Lithium Batteries	\$ 0.50 per lb	76	\$ 38.00
Smoke Detectors	\$ 0.65 per lb	13	\$ 8.45
Spent Carbon Drums	\$ 0.65 per lb	11	\$ 7.15
Nicad Batteries	\$ 0.50 per lb	82	\$ 41.00
PCB Ballasts	\$ 1.90 per lb	0	\$ -
Pesticides - Solids	\$ 0.75 per lb	414	\$ 310.50
Pesticides - Liquids	\$ 0.75 per lb	542	\$ 406.50
Mercury C ompounds	\$ 0.10 per lb	9	\$ 0.90
Oxidizers	\$ 1.50 per lb	15	\$ 22.50
Alkaline Batteries	\$ 0.50 per lb	754	\$ 377.00
Propane - small X 15	\$ 7.50 each	59	\$ 442.50
HHW	Total Lbs Collected	9,237	\$ 13,078.33
Electronics	Total Lbs Collected	32,860	\$ 7,700.00
Advertising Costs			\$ 2,716.00
TOTAL EVENT COST			\$ 23,494.33

Misc. Items	Quantity
BATTERY BACK-UP	2
IRONS	1
HAIRDRYER	3
FRYING PAN	1
MARINE ELECTRONICS	1
FAN	1
MOTOR	1
REFRIGATOR	2
RADAR DETECTOR	1
FENCH CHARGER	1
TOOTHBRUSH	2
CHANDLIER	1
BATTERY CHARGERS	5
TOTALS	22

HHW TOTALS 9237 lbs

2

RECEIVED
FEB 10 2016
Worcester County Admin



14

Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

MEMORANDUM

JOHN H. TUSTIN, P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 10, 2016
SUBJECT: e-Cycle & Household Hazardous Waste Collection
Day – April 23, 2016

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

**FLEET
MANAGEMENT**
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

.....
We have scheduled another e-Cycle (Electronics Recycling) and Household Hazardous Waste Day for Saturday, April 23, 2016 at the West Ocean City Park & Ride. MDE and MES has been notified and have put us on their schedule for that day as they need to know in advance as other counties are also scheduling events at that time of year. CLEAN VENTURES will handle the Hazardous Waste collection and employees of the DPW Recycling Division will help with the collection of Electronics. The total cost of this event, including advertising is expected to be around \$20,000. The funds for this are in the Recycling Budget – 680.7003.6700.640.

The towns of Ocean City, Berlin, Snow Hill & Pocomoke City will be notified about this event and will be invited to participate.

As always, thank you for your help.

Cc: Ron Taylor

RECEIVED
FEB 10 2016
Worcester County Admin



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Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

JOHN H. TUSTIN, P.E.
DIRECTOR

MEMORANDUM

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TO: Harold L. Higgins, Chief Administrative Officer
FROM: John H. Tustin, P.E., Director *JHT*
DATE: February 10, 2016
SUBJECT: Surplus Vehicles, Equipment and Miscellaneous Items

TEL: 410-632-5623
FAX: 410-632-1753

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

**FLEET
MANAGEMENT**
TEL: 410-632-5675
FAX: 410-632-1753

**WATER AND
WASTEWATER**
TEL: 410-641-5251
FAX: 410-641-5185

.....
Attached, for your approval and to comply with Worcester County's Code of Public Local Laws, is a list of county-owned property to be declared as surplus and advertised once a week for three consecutive weeks, prior to being auctioned on the internet website GovDeals.com. Upon completion of meeting the County's code requirement, Fleet Management will begin the process of disposing of the surplus property.

If you have any questions, please do not hesitate to contact me.

Attachments

cc: Kathy Whited, Budget Officer
Fleet Management File: GovDeals.com

WORCESTER COUNTY
SURPLUS VEHICLE & EQUIPMENT LIST - 2016

VEHICLES

STOCK #	YEAR	MAKE	MODEL	VIN #	MILEAGE	DEPARTMENT	COMMENTS
	2003	Ford	Ranger Ext Cab	1FTYR14U33TA46341	110,076	EP	Age, no known problems
	2004	Chevrolet	Cavalier	1G1JC52F947271347	133,787	EP	Needs tires, front brakes, rear frame rusting
	2005	Ford	Expedition	1FMPU16595LA93601	156,700	Fire Marshal	High mileage
	1993	Dodge	Shadow	1B3XP28D1PN648071	83,482	Health	AC inoperable, age (23 yrs), dents
	1994	Ford	Tempo GL	2FAPP36X7RB117351	119,912	Health	Runs rough, needs steering rack, rear motor mount, align
	1995	Ford	Areostar	1FMCA11U7SZC05956	164,363	Health	Ignition key problems, age, battery drains
	1996	Dodge	Intrepid	1B3HD46F7TF152046	107,500	Health	Age, paint peeling, rusting
	1996	Ford	Van	1FTFE24H7THB24716	178,858	Maintenance.	High mileage, age, corrosion
	2002	Chevrolet	1500 Pickup Truck	1GCEK14W22Z140795	134,135	Maintenance.	High mileage, corrosion
	2005	Chevrolet	Silverado Pickup 4x4	1GCEK14V05E295719	144,664	Maintenance.	Small engine no power
	2006	Ford	F-350 Truck	1FDWW36Y56EA91958	147,159	Maintenance.	High mileage
	1988	Ford	F700 Dump Truck	1FDXK74A5JVA25545	189,522	Parks	Does not pass DOT, severe rust
	2000	Ford	Taurus	1FAFP5325YG169911	77,217	Recreation	Age, catalytic converter, PCM
	1987	Ford	LT 9000 Dump Truck	1FDZU90W1HVA64112	168,720	Roads	Does not pass DOT, parts obsolete
	1987	Ford	LT9000 Dump Truck	1FDZU90W1HVA64111	192,290	Roads	Does not pass DOT, parts obsolete
	1989	International	1754 Dump Truck	1HTLCCFN8KH665423	250,062	Roads	High mileage, parts obsolete
	1991	Ford	F800 Dump Truck	1FDXK84P9MVA13963	266,466	Roads	High mileage, parts obsolete
	2006	Ford	Crown Vic	2FAFP71W36X108940	188,317	Sheriff	High mileage
	2007	Ford	Crown Vic	2FAFP71W87X123080	174,061	Sheriff	Dead battery, bad transmission
	2007	Ford	Crown Vic	2FAFP71W77X123085	200,608	Sheriff	Dead battery, high mileage
	2008	Ford	Crown Vic	2FAFP71V28X141101	202,171	Sheriff	Broken window, will not start, parts missing
	2009	Ford	Crown Vic	2FAHP71V99X121468	139,290	Sheriff	PCM issues (cuts off), dead battery (K-9)
	2004	Ford	Crown Vic	2FAFP71W74X121980	137,829	Solid Waste	Paint peeling, exhaust manifold leaks, windshield cracked
	1996	Chevrolet	S10 Pickup	1GCCS14X1TK203508	171,122	WWW	High mileage, no A/C
	2000	Ford	F150 Pickup	1FTZF172XYNB20017	191,710	WWW	Dead battery, bad transmission, broken window
	2001	Ford	Ranger	1FTYR10U71TA72301	150,114	WWW	High mileage
	2003	Chevrolet	S10 Pickup	1GCCS14H238126539	160,903	WWW	Dead battery, fly wheel broken
	2005	Chevrolet	2500 Utility Truck	1GBHC24U85E248482	264,916	WWW	High mileage

EQUIPMENT							
STOCK #	YEAR	MAKE/DESCRIPTION	MODEL	SERIAL/VIN #	HOURS	DEPARTMENT	COMMENTS
	unknown	John Deere Mower	F935	M0F935X150059	4,481	Jail	Engine will not run, flat tires, broken steering
	2000	Kubota Mower	F3060	15436	4,218	Parks	4x4 doesn't work, engine smokes, bad spindle
	unknown	Fimco Sprayer	50 Gallon with Trailer	unknown	unknown	Parks	No pump
	1986	Pipe Flusher	Meyers Pipe Flusher	11004	unknown	Roads	Tank rusted, parts obsolete
	1999	Mower	23' Long Reach Alamo	5086	4,200	Roads	Worn out
	2000	Tractor	New Holland TS90	141038B	9,027	Roads	High hours, not dependable
	2001	Tractor	New Holland TS90	159975B	5,185	Roads	High hours, not dependable
	unknown	Trash Pump	QP Trash Pump (QP301T)	301T-338	unknown	Roads	Obsolete
	unknown	Mower	Kees KKW 48141	unknown	unknown	Roads	Transmission linkage shaft broken

MISCELLANEOUS							
STOCK #	NO.	DESCRIPTION				DEPARTMENT	COMMENTS
	1 lot	Used Wheel weights				Fleet Management	No longer needed
	1	Rane PA System				Government Center	No longer needed
	1 lot	4 Garrett Magnetometers				Government Center	No longer needed
	1	Chalk board				Health	No longer needed
	1	Detecto Scale				Health	No longer needed
	1 lot	4 Metal Lockers				Health	No longer needed
	1	Cabinet with plastic top				Health	No longer needed
	1	Wooden Entertainment or Storage Cabinet				Maintenance.	No longer needed
	1 lot	7 Shop lights				Maintenance.	Replaced with newer lights
	1 lot	3 Filing Cabinets				Maintenance.	No longer needed
	1 lot	30 Ball Field Lights				Parks	No longer needed
	1 lot	13 Misc Chairs				Public Works	No longer needed
	1 lot	3 Tables with Wooden Tops				Public Works	No longer needed
	1 lot	2 Metal and Wood Desks				Public Works	No longer needed

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MISCELLANEOUS CONTINUED

STOCK #	NO.	DESCRIPTION	DEPARTMENT	COMMENTS
	1 lot	42 Chairs with 2 Rolling Stands	Recreation	No longer needed
	1 lot	Girls ages 5-12 softball uniforms, helmets, shin guards, chest protectors	Recreation	No longer needed
	1	Jugs softball pitching machine	Recreation	No longer needed
	1	Jugs softball pitching machine	Recreation	No longer needed
	1 lot	8 Chain saws and 3 weed eaters	Roads	Missing parts inoperable
	1 lot	2 Snow plows	Roads	Missing parts
	1 lot	Plastic baffles (approx. 76)	Roads	No longer needed
	1 lot	2 Lawn mowers	Roads	Not operational
	1 lot	Wooden 4x4 posts (various sizes)	Roads	Broken
	1 lot	2 Ice machines	Roads	Not operational
	1	Metal cabinet	Roads	No longer needed
	1 lot	Metal shelves	Roads	No longer needed
	1	Storage bin	Roads	No longer needed

SUBTITLE IV
County Real and Personal Property and County Buildings

§ CG 4-401. Title to County property.

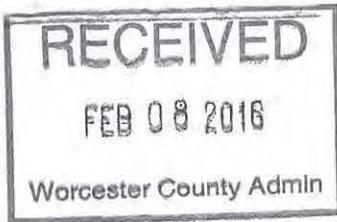
Title to all County property, both real and personal, transferred to Worcester County, the County Commissioners or any agency department or branch thereof by way of purchase, grant, gift, dedication or anyway whatsoever shall be titled to the County Commissioners of Worcester County unless otherwise specifically provided in individual cases by a resolution of the County Commissioners.

§ CG 4-402. Management of real and personal property and buildings.

Management authority and responsibility for all County property and buildings is vested in and charged to the County Commissioners, and all decisions with regard to the use of the same and contracts with regard thereto, be they for acquisition, improvement or in any way connected therewith, shall be by resolution of the County Commissioners or as may be provided by law or regulation. The County Commissioners may, at their option, by resolution or as provided by appropriate law and regulation, delegate the authority and responsibility as prescribed by this section by franchise, lease or other appropriate executive or legislative act.

§ CG 4-403. Disposition of County property when no longer used by County.

- (a) Generally. Unless otherwise provided by law, whenever the County Commissioners propose to dispose of any County-owned property or any rights incidental thereto by reason of the fact that such property is no longer required for County use, they shall first advertise the same at least once a week for three successive weeks in one or more newspapers of general circulation in said County inviting competitive bids to be made upon such terms and conditions as the County Commissioners may deem appropriate, including, without limitation, the right to accept or reject any and all bids as they see fit with regard to the disposal of such property and giving an opportunity for objections to any such disposal.
- (b) For other public use. When any County-owned property is no longer needed for use by the County Commissioners and the County Commissioners propose to dispose of the same by lease, grant or otherwise for a public purpose, as such public purpose may be from time to time determined by a five-sevenths majority vote of the County Commissioners, the Commissioners shall, prior to adopting a resolution for the disposal of such property, advertise the proposed disposal once a week for three successive weeks in one or more newspapers of general circulation in said County stating the terms of such disposal and the compensation to be received therefor and giving opportunity for objections thereto. [Amended 8-20-2002 by Bill No. 02-11]
- (c) Where bidding impractical. The County Commissioners may, by a five-sevenths majority vote, determine that it may be impractical to dispose of County-owned property or rights incidental thereto for nonpublic purposes by competitive bidding. In such cases, the County Commissioners shall, prior to adopting a resolution for the disposal of such property, advertise the proposed disposal once a week for three successive weeks in one or more newspapers of general circulation in said County stating the terms of such disposal and the compensation to be received therefor and giving opportunity for objections thereto. [Amended 8-20-2002 by Bill No. 02-11]
- (d) Exceptions. The provisions of this section shall not apply to the closing of public roads within the County or easements for public utilities or to property titled to other bodies corporate or politic of the County.



Lower Eastern Shore Moose Family Center #2431
8928 Old Princess Anne Rd.
Westover MD 21871

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January 12, 2016

William Gregory
Governor
Lower Eastern Shore Moose Family Center #2431
8928 Old Princess Anne Rd.
Westover MD 21871

Copy! John Tustin ✓
For review and
recommendation

FYI - Sheriff Mason ✓

Worcester County Commissioners
Government Center 1 W. Market St. Room 1103
Snow Hill, MD 21863

* John Tustin recommends approval

Re: Permission to use and mark Worcester County roads as part of "Our House/Our Kids Half Century Bike Ride" on March 19, 2016

The Moose Organization provides care for children at risk through our child city at Mooseheart, Ill. Our local Moose Association, the MD-DE-DC Moose Association pledges, each year, to provide all the funds, \$130,000, needed to provide for Our Kids housed in the MD-DE-DC House at Mooseheart. This funding is made possible through the fundraising efforts of each and every Moose lodge and Women's chapter in MD, DE and DC. Our Lodge and Chapter, the Lower Eastern Shore Moose Family Center #2431, is doing its part by holding their third annual "Our House/Our Kids Half Century Bike Ride" on Saturday, March 19, 2016. The bike ride will traverse a 50 mile route through the Pocomoke Forest area of Somerset and Worcester County. Typically, the turns along routes of organized bike rides of this type are marked with spray paint on the pavement along the right edge of the roadway, so as to prepare the rider for an upcoming turn. This aids the rider in preparing for a change of the route so that they don't have to stop and read maps or route directions, especially where there is no shoulder to safely pull off onto, and to prepare to slow and/or stop where required to maneuver a turn so as to not to interfere with vehicular traffic. These markings are typically done with a color of paint that will not be misconstrued as official roads department markings for maintenance and repairs. We plan to use white to make these markings. The markings consist of arrows to indicate which type of turn is coming up, i.e. left or right turn and immediately after the turn a pair of straight arrows to confirm to the rider that he/she is on the correct route. This is very helpful if the turns involve multiple road intersections. An occasional mileage marker may also be indicated on the roadway by just numbers, such as 22, for 22 miles into the ride. The riders use these markers for progress indicators, pacing themselves, and to prepare for rest stops. Typically, these markings on the roadway will diminish over time due to weather conditions and vehicular traffic. The route we have established will take the riders to Furnace town, with an established rest stop already arranged with the Furnace town Visitors Center. The Worcester County roads included in the route are:



Lower Eastern Shore Moose Family Center #2431
8928 Old Princess Anne Rd.
Westover MD 21871

Fleming Mill Pond Rd, Whitesburg Rd, Sand Rd, Millville Rd, and Old Furnace Rd. I have attached a copy of cue sheet depicting all roads involved in the ride. We are currently working on an internet location where this route may be viewed.

We are requesting that your Board of Commissioners permits us to include your county roads in this fundraising event route and allow us to mark the route as indicated. We are awaiting your approval in order to start publicizing this event. Early publicity is vital for a successful fundraising bike ride event.

If you have any questions concerning this event, route, equipment, etc. please feel free to call our event organizer, Barbara Gregory on 443-235-4488, or the Lodge on 410-651-0360.

Thank you for your consideration in this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "William C. Gregory", written in a cursive style.

William Gregory
Governor



Maryland Department of Agriculture

Office of Plant Industries and Pest Management

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor
Joseph Bartenfelder, Secretary
James P. Eichhorst, Deputy Secretary

Forest Pest Management

The Wayne A. Cawley, Jr. Building
50 Harry S. Truman Parkway
Annapolis, Maryland 21401
www.mda.maryland.gov

17
Agriculture | Maryland's Leading Industry

410.841.5922 Baltimore/Washington
410.841.5835 Fax
800.492.5590 Toll Free

3 February 2016

Mr. Harold Higgins, Chief Administrative Officer
Worcester County Commissioners
One W. Market St., Room 1103
Snow Hill, MD 21863-1195

Copy: Kathy Whitler
for budget review
- John Tustine ✓
- Bob Mitchell ✓

Dear Mr. Higgins,

Thank you for your past participation in the Maryland Department of Agriculture's Forest Pest Management (FPM) Program for management of gypsy moth for Worcester County and its citizens. The goal of the FPM Program is to identify developing pest infestations and to be able to respond appropriately before significant damage occurs.

The purpose of this letter is to inform you that we have identified two areas of gypsy moth populations that may cause defoliation in Worcester County (see attached map) and to ask if Worcester County is interested in participating in a gypsy moth aerial suppression project the spring of 2016. The county is cost sharing only on non-state owned lands. The County would cost share 25% if we get a federal grant. If we did not get the grant the cost share would be 50%. Approximately 55 acres qualifies for suppression for a 25% estimated cost share of \$825 with federal grant. If there is no federal grant money the County cost share would be \$1,375. This does not include the cost of surveys.

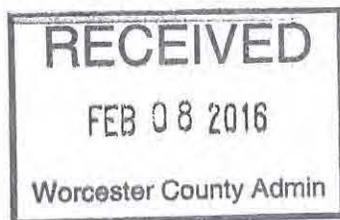
(FY16 Budget = \$1,500.00)

Please, let us know by February 19, 2016 if you will be able to participate.

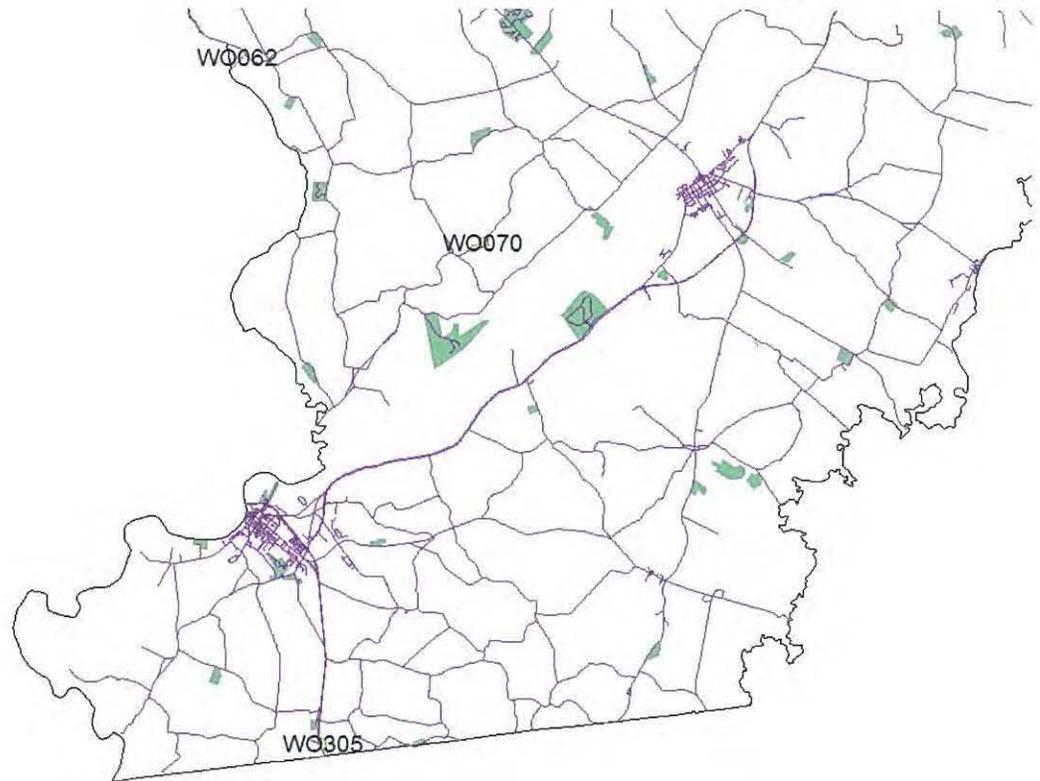
Thank you for working with us to protect our valuable rural and urban forest resources. If you have any questions regarding the Forest Pest Management Program or would like information on any forest pests, do not hesitate to contact us. Our local office contact information is: MDA, FPM, 28577 Mary's Court Suite 4, Easton, Maryland 21601. (Telephone: 410-822-8234. Email: heather.disque@maryland.gov).

Sincerely,

Heather Harmon Disque
Regional Entomologist



Proposed Gypsy Moth Suppression 2016 Worcester County



Proposed Worcester County Gypsy Moth Suppression blocks are in yellow, 55 acres. State land, WO 305, is also proposed for suppression to be paid for by the state. Gypsy moth survey blocks in green have low or no gypsy moth populations.



18

Worcester County
Water & Sewer Committee

To: Harold L. Higgins, Chief Administrative Officer
From: Robert J. Mitchell, LEHS, REHS, Chairman *RJM*
Worcester County Water & Sewer Committee
Subject: Utilization of New Mystic Harbour Sanitary Capacity
Date: February 10, 2016

Following the recent completion of the new Mystic Harbour Wastewater Treatment Plant (WWTP), the Worcester County Water & Sewer Committee (hereafter “the Committee”) has developed an implementation policy for the sale, allocation and use of the additional sewage treatment capacity in the Mystic Harbour Sanitary Service Area (hereafter “Mystic Sanitary Area”), and specifically within the overlay area of the Mystic Sanitary Area and the West Ocean City Sanitary Service Area (hereafter “Mystic/WOC Overlay Area”) as adopted in the Worcester County Water and Sewerage Master Plan (hereafter “the Plan”). This memo serves to explain the implementation policy agreed upon by the Committee.

Furthermore, the Committee recently reviewed correspondence from attorneys Hugh Cropper and Mark Cropper (copies attached) on behalf of their clients requesting that the Commissioners adopt a policy to allow the private sale and transfer of Equivalent Dwelling Units (EDUs) of sanitary sewer and water capacity within the Mystic Sanitary Area similar to that which has been permitted in the West Ocean City Sanitary Service Area since 1997. The Committee strongly recommends against adoption of such an EDU Transfer policy in the Mystic Sanitary Area due to conflicts such a policy would create with the orderly sale, allocation and use of the additional sewage treatment capacity as adopted in the Plan and as projected to meet the financial obligations of debt service to repay the Mystic Harbour WWTP upgrade and expansion project. This memo shall also serve to address the Committee’s concerns with regard to the proposed Mystic EDU transfer policy concept.

Background

The Mystic Harbour WWTP was recently upgraded to provide additional sanitary treatment capability to serve the residential and commercial needs of properties within the Mystic Sanitary Area. This original WWTP was constructed by the former developer of the Mystic Harbour residential community and turned over to the County by the managing entities (Mystic Harbour Water and Wastewater Services, Inc. and Mystic Harbour Utilities Corporation) in 1995. After

Citizens and Government Working Together

that turnover, significant infrastructure improvements and expansions for the Mystic Sanitary Area were completed by the Worcester County Department of Public Works in July 2014, including the aforementioned WWTP upgrade.

Construction of the new Mystic Harbour WWTP has resulted in a total of 666 new sewer EDUs becoming available. The planning documents included in the latest approved Water and Sewerage Master Plan amendment regarding the Mystic Sanitary Area identified a number of goals for the additional capacity with highest priority to infill lots, followed by expansion of existing facilities, then the replacement of septic tanks, and finally for new developments. Infill was envisioned to enhance the commercial development along the US Route 50 commercial corridor in West Ocean City and the northern MD Route 611 commercial corridor, which falls within the Mystic/WOC Overlay Area. There are approximately 331 sewer EDUs that could be utilized in the Mystic/WOC Overlay Area as shown on the attached map and table and as designated in the Mystic Harbour Environmental report prepared in support of the most recent amendment to the Plan, which was subsequently adopted as part of the Plan.

Page 6-7

Using sewer capacity in the Mystic Harbour WWTP within the Mystic/WOC Overlay Area presents certain challenges in that the commercial properties along US Route 50 are served by pipelines from the West Ocean City Sanitary Service Area (WOC Sanitary Area), rather than the Mystic Sanitary Area. Requiring the extension of sewage collection lines from the Mystic Harbour WWTP to the Route 50 commercial properties would create an onerous and unnecessary financial burden on those properties. As an alternative, the Committee has determined that Pump Station Number 4 in West Ocean City can be easily modified to direct sewage flow for treatment by either the Ocean City WWTP (as it currently does) or to the Mystic Harbour WWTP. This pump station could therefore be used to transfer an equivalent amount of wastewater generated in the WOC Sanitary Area to the Mystic WWTP for treatment to offset the additional flow created by any new customers in the Mystic/WOC Overlay Area who purchase sewer EDUs from the Mystic Sanitary Area to serve their projects. In addition to sewer capacity, these infill properties in the Mystic/WOC Overlay Area would also be required to purchase a corresponding number of water EDUs from the Mystic Sanitary Area in order to become customers of a single service area for billing purposes. Any remaining West Ocean City sewer EDUs, if any, on these infill properties could be sold and transferred to other properties in the WOC Sanitary Area in accordance with the WOC EDU Transfer Policy.

Financial Issues

Construction of the upgrade and expansion of the Mystic Harbour WWTP required a significant capital expense by the Mystic Sanitary Area. While the total cost was decreased by \$4.7 million in federal grants, the balance of \$8,134,000 is an ongoing financial obligation of the current and future customers within the Mystic Sanitary Area. In accordance with our projections for financing this new debt, the Enterprise Fund Controller has estimated that the service area will need to sell at least 30 EDUs each year. EDUs are currently sold for \$7,292 (equity contribution) for each sewer EDU, with quarterly debt service payments of \$48 per EDU thereafter until the debt is paid in full at the conclusion of the 40-year term. Therefore, the total income derived by the County for each sewer EDU is approximately \$14,000 over the course of the bond repayment. Financial viability of the service area depends on new customers to purchase the additional capacity which was created by the upgrade and expansion of the Mystic Harbour WWTP.

Furthermore, the Mystic Sanitary Area is in the process of developing a spray irrigation system on the Eagle's Landing Golf Course for disposal of treated effluent from the new Mystic Harbour WWTP. The estimated cost of this project is \$3.2 million of which \$2.45 million which will be financed after a \$750,000 grant which will add to the debt service obligation for Mystic Harbour customers. Additional customers will be needed to help offset a portion of this new debt.

The new WWTP resulted in the availability of a total of 666 EDUs. In our most recent Plan amendment, this additional capacity was projected to serve several projects and properties south of the Mystic Harbour subdivision, with 331 EDUs of sewer service available for infill, septic connections, and redevelopment projects in the Mystic/WOC Overlay Area (see attached map).

Transfer Policy Not Recommended

On January 27, 2016 we received a letter from Hugh Cropper on behalf of his clients, Kelly Farm Associates, requesting that the County adopt an EDU Transfer Policy in the Mystic Sanitary Area similar to the current EDU Transfer policy in the WOC Sanitary Area so that his client could transfer 40 Mystic sewer EDUs to a property in the Mystic/WOC Overlay Area. That request was followed by a letter received on February 3, 2016 from Mark Cropper requesting such a policy to allow his clients (Showell Entities) to sell up to 84 sewer EDUs and up to 78 water EDUs of Mystic Sanitary Area capacity to serve properties in the WOC Sanitary Area. Most recently, we received a second letter by email from Hugh Cropper on February 3, 2016 requesting that Kelly Farm Associates also be able to transfer 40 water EDUs to the Food Lion Shopping Center in the Mystic/WOC Overlay Area. The Committee recommends against the adoption of such an EDU Transfer policy in the Mystic Sanitary Area.

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The Committee recognizes that EDU transfers are currently permitted in the WOC Sanitary Area under the provisions of Resolution 97-1 which was adopted by the County Commissioners on January 7, 1997 under a specific set of circumstances that the Commissioners in 1997 felt applied to the WOC Sanitary Area. The original intent of this policy was to transfer growth away from the critical areas and promote growth outside the 100 year floodplain and environmentally sensitive areas. As an unintended consequence of that policy, sewer EDUs were essentially traded as commodities and quickly escalated in price as the demand increased and supply diminished. A quick review of our records indicates that sewer EDUs that sold for \$6,500 per EDU in 2000 were sold for \$50,000 at the peak of the "market" in 2004. They have since returned to a cost of \$20,000 per EDU based upon the most recent WOC EDU transfer recorded in 2015. Overly-inflated prices for EDUs create unnecessary barriers to infill development and the orderly redevelopment of properties in West Ocean City and therefore thwarts our efforts to promote economic development in Worcester County. Our proposal will ensure a stable price for EDUs, increasing each year only by the additional cost of debt service for the remaining EDUs.

The Committee believes that the available sewage treatment capacity in the Mystic Harbour WWTP is a public asset that should be allocated by the County to further the goals and objectives of the Worcester County Comprehensive Development Plan, rather than a commodity to be traded by property owners. Furthermore, creating a market for the sale of sewer and/or water EDUs in the Mystic Sanitary Area would act against our financing plan for the repayment of debt on the Mystic Harbour WWTP which relies on the sale of at least 30 EDUs each year to cover debt service. Our planning and financial evaluations for the new WWTP and the spray irrigation

system did not anticipate that the transfer of existing EDU's would be permitted. EDU transfers would directly compete with the financial needs of the Mystic Sanitary Area to allocate capacity to new customers. Therefore adoption of an EDU Transfer policy in the Mystic Sanitary Area could jeopardize the financial viability of the Mystic Sanitary Area as planned and would likely lead to increased rates for all customers to satisfy the debt service.

Instead, the Committee believes that the implementation policy we have established for the sale, allocation and use of the additional sewage treatment capacity in the Mystic Sanitary Area for use in the Mystic/WOC Overlay Area will be sufficient to serve the needs for infill development and redevelopment of properties in the Mystic/WOC Overlay Area as envisioned.

Implementation Policy

Because the target area for use of the available sewer EDUs from the Mystic Sanitary Area are commercial in nature, the primary focus of the implementation policy will be commercial accounts, however, this policy could be adapted to residential accounts if needed.

Given that part of the current Mystic Harbour Sanitary Service Area overlays the West Ocean City Sanitary Service Area, Mystic Harbour customers can and do currently reside in both service areas. This is the result of Mystic Harbour providing public water service within the West Ocean City Service Area and a prior Mystic Harbour planning amendment designating the Mystic Sanitary Area as a non-exclusive district, expecting that parts of the service area may receive service from another sanitary district.

Under this policy, customers requesting Mystic Harbour sewer EDUs would be required to connect to the Mystic Harbour Water System in order to become customers of a single service area for billing purposes. No customer could have a mixture of West Ocean City sewer EDUs and Mystic Harbour sewer EDUs serving a single account. Any West Ocean City sewer EDUs currently assigned to a property requesting Mystic Harbour sewer EDUs could be disposed of by the customer in accordance with the current West Ocean City EDU Transfer Policy.

The basic tenets of this policy for utilization of the available sewer EDUs from the Mystic Sanitary Area in the Mystic/WOC Overlay Area are as follows:

1. The allocation of Mystic Harbour sewer capacity will only be approved for properties with an existing demonstrated need and in connection with either a permit or plat approval specifying how and where the capacity will be allocated.
2. There will be no transfers of sewer allocations allowed in the Mystic Sanitary Area by private property owners who have excess capacity allocated to their properties.
3. A formal document demonstrating how the equitable amount of sewage will be transferred and accounted for between the West Ocean City Sanitary Service Area and the Mystic Harbour Sanitary Service Area will be prepared by the Worcester County Department of Public Works and accepted by the Enterprise Fund Controller.
4. The current equity contribution for each Mystic Harbour sewer EDU is \$7,292, with quarterly debt service payments of \$48 per EDU thereafter until the debt is paid in full.

The following example illustrates how this policy would be implemented:

A current commercial customer located in the Mystic/WOC Overlay Area has 2 West Ocean City sewer EDUs in service and is connected to the West Ocean City Sewer System. They want to redevelop and expand their commercial use of the property which will require an additional 8 EDUs thereby requiring a total of 10 EDUs .

The customer would purchase 10 Mystic Harbour sewer EDUs from the County from the pool of 331 EDUs available for infill development in the Mystic/WOC Overlay Area. The customer could dispose of their 2 West Ocean City EDUs in accordance with the EDU transfer policy, or the West Ocean City EDUs could remain on the property but they would essentially be inactive. Alternatively, the property owner could return their excess West Ocean City EDUs to the West Ocean City Service Area, but they would have no cash value at that time.

If the property is not already connected to Mystic Harbour Water System, they would be required to connect. Once connected, the property would be a Mystic Harbour customer in every way except that the wastewater generated on the property would be conveyed through the West Ocean City system for treatment at the Ocean City WWTP, to be offset by an equivalent diversion of WOC Sanitary Area flow to the Mystic Harbour WWTP.

In order to account for the wastewater generated by these Mystic Harbour customers in the Mystic/WOC Overlay Area processed by the Ocean City WWTP, operators would transfer a volume of wastewater from the West Ocean City sewage collection system to the Mystic Harbour WWTP by way of Pump Station Number 4 equivalent to the estimated wastewater generated from those Mystic Harbour customers.

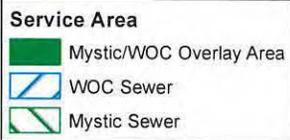
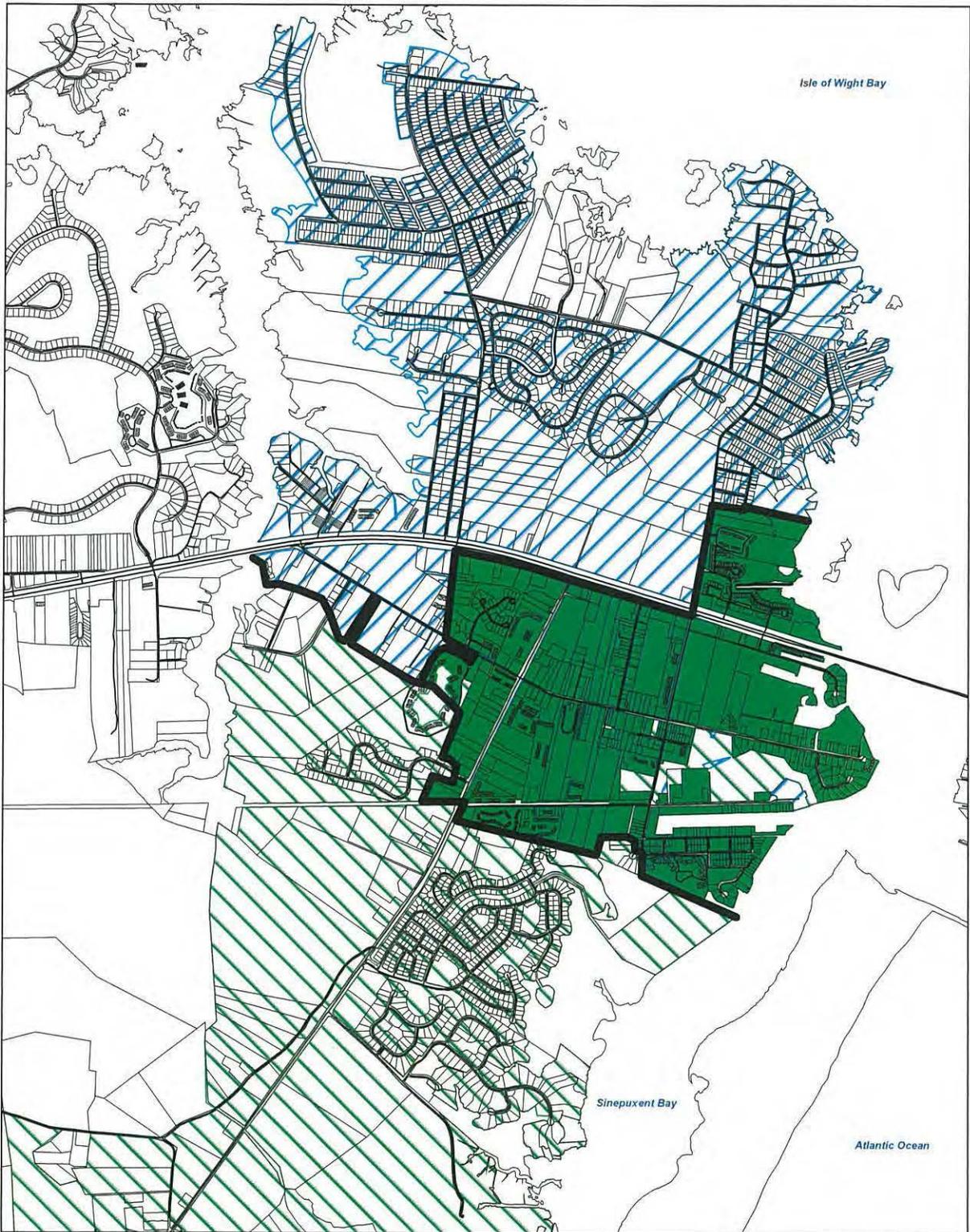
The following billing quarter, as a part of the quarterly billing cycle, the Worcester County Treasurer's Office would report how much actual Mystic Harbour wastewater was processed by way of the West Ocean City collection area using water meter readings. Throughout the following quarter, adjustments will be made (positive or negative) to the volume transferred to the Mystic Harbour WWTP through Pump Station Number 4 in addition to transferring the estimated volumes for the current quarter.

Please note that implementation of this policy would not be possible until structural changes are made to Pump Station Number 4 in West Ocean City to allow it to pump to either facility and to meter those flows.

Summary and Recommendation

The Committee recommends endorsement of the implementation policy for the sale, allocation and use of the additional sewage treatment capacity in the Mystic Sanitary Area. We further recommend that the request for adoption of an EDU Transfer policy in the Mystic Sanitary Area be declined.

As always, the Water & Sewer Committee members will be available to answer any questions you or the County Commissioners may have with regard to this matter.



Development Review
and Permitting
Technical Services Division
West Ocean City and Mystic Harbor
Sewer and Water Service Areas

Drawn By: MDD Reviewed By: KLH

0 500 1,000 1,500
Feet

1 inch = 1,500 feet

Map prepared for the Worcester County Environmental Programs Department, February 03, 2016.

This map is intended for planning purposes only and not for regulatory application.

MDD\GIS Data\Sanitary Services\SSA Analysis\Mystic-WOC Sewer SSA Analysis-11x17.mxd

New Mystic Harbour Sanitary Area Capacity

EDUs in MYSTIC HARBOUR SANITARY SERVICE AREA	
North of Airport, North of Antique Road, East and West of Rt 611	
80	Vacant or Multi-lot Properties
80	Commercial Properties
17	SF Dwellings
154	Infill and intensification of existing properties
331	Subtotal EDUs
Airport and South of Airport, East of Rt 611	
4	Vacant or multi-lot properties
6	Assateague Greens Executive Golf Course/Range - 9 holes
5	Church
20	SF Dwellings
32	Airport/Clubhouse/Humane Society
88	Castaways Campground
130	Frontier Town Campground
30	Commercial Portion of Frontier Town
20	Additional Commercial Infill South of Airport
335	Subtotal EDUs
666	TOTAL

Note: Included in Environmental Report submitted to the Maryland Department of Environment in support of the most recent Water and Sewerage Plan amendment for the Mystic Sanitary Area.

LAW OFFICES

BOOTH BOOTH CROPPER & MARRINER P.C.

CURTIS H. BOOTH
BRYNJA MCDIVITT BOOTH
HUGH CROPPER IV
THOMAS C. MARRINER*
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9923 STEPHEN DECATUR HIGHWAY, #D-2

OCEAN CITY, MARYLAND 21842

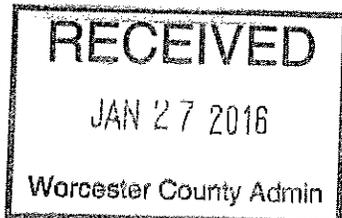
(410) 213-2681

EMAIL: hcropper@bbcmmlaw.com

WEBSITE
www.bbcmmlaw.com

*ADMITTED IN MD & DC

** OF COUNSEL



January 22, 2016

Worcester County Commissioners
Attention: Mr. Madison J. Bunting, President
One West Market Street, Room 1103
Snow Hill, Maryland 21863

copy: Bob Mitchell ✓
For review and
recommendation
- Sewer Committee ✓

RE: *Proposed Mystic EDU Transfers*

Dear President Bunting and Commissioners:

Back in 2006, I represented Messrs. Spencer F. Rowe and Geo. Bert Cropper regarding the transfer/re-allocation of EDU's in the West Ocean City Sanitary Service Area. As a result of my request, the Worcester County Commissioners adopted Resolution 97-1 authorizing the transfer/re-allocation of EDU's within the West Ocean City Sanitary Service Area, subject to certain restrictions.

The EDU transfer business was robust over the next few years, and it was a boost to the West Ocean City economy. There are many, many businesses in West Ocean City that could not have been built without EDU transfers.

At this point, the vast majority of the eligible EDU's have already been transferred within the West Ocean City Sanitary Service Area.

I represent Kelly Farm Associates, owners of a property located in the Mystic Harbor Service Area. The property is described as 39.672 acres, located on the west side of Maryland Route 611, and is described in the attached EDU invoice from Worcester County.

My clients have been paying the sum of \$ 5,920.00 per quarter, for the availability of these EDU's, over the past several years.

Worcester County Commissioners
January 22, 2016
Page Two

My clients have agreed to transfer the EDU's to the property of GTF, LLC, Worcester County Tax Map 27, Parcel 144. This is the property known as The Wheels of Yesteryear, located on the south side of U.S. Route 50 in West Ocean City. The Wheels of Yesteryear property is located in the Mystic Harbor Service Area, and it is eligible for service from Mystic Harbor, according to the Worcester County Comprehensive Water and Sewer Plan.

I would like to request that the County Commissioners pass a Resolution authorizing the sale and the transfer of EDU's within the Mystic Harbor Service Area. ✂

As an example, the transfer that I have just described will be a huge boost to economic development in Worcester County. Kelly Farm Associates property is designated as Agriculture/Green Infrastructure/Existing Developed Area in the Worcester County Comprehensive Land Use Plan.

By contrast, The Wheels of Yesteryear property is designated as Commercial Center in the Worcester County Land Use Plan.

This certainly represents smart growth.

The development of the Kelly Farm Associates property into 40 single family lots could certainly be considered sprawl, whereas the consolidation of those EDU's for a use consistent with the Worcester County Comprehensive Land Use Plan would certainly be considered smart growth. This would be in keeping with the intent and objectives of the Comprehensive Land Use Plan, as well as the State of Maryland Smart Growth Initiative.

My client would be responsible for all infrastructure, i.e. the design and installation of the conveyance pipe, required pump stations, etc.

The Wheels of Yesteryear property would also purchase water from Mystic Harbor, so that there would be one unified bill. The entire property would be served by Mystic Harbor, so that there would be no separate invoices or bills.

Worcester County Commissioners
January 22, 2016
Page Three

I have represented clients in both the expansion of the West Ocean City Sanitary Service Area and the Mystic Harbor Service Area in the past. In those instances, property owners have designed and installed the infrastructure, and turned it over to Worcester County. This would work the exact same way.

This will be a positive for Worcester County. I cannot imagine any downside. It will promote economic growth, allow the development and utilization of appropriately zoned properties, and it is smart and sustainable growth. It will allow the utilization of EDU's which are otherwise sitting idle. This will be more user fees for the Mystic Harbor Facility, which will reduce the costs for everyone.

Please give this request your very kind consideration.

Very truly yours,



Hugh Cropper IV

HC/tgb

Enclosure

CC: Robert J. Mitchell, LEHS, REHS
Mitchell Parker
Gene Parker
John W. Salm, III, P.E.
Khadija Akter



WORCESTER COUNTY
 Office of the Treasurer
 Water & Wastewater Services Collection
 P.O. Box 349
 Snow Hill, MD 21663-0349
 410-632-1030

Account No. 10296900-001
Service Address STEPHEN DECATUR HWY PAR 3A-My

Service Period 10/1/2015 - 12/31/2015
Meter Readings

Previous Balance 5,920.00
Penalties 0.00
Adjustments 0.00
Payments Received (5,920.00)
Balance at Billing 0.00
Current Billing

Charge Code	Amount
Water and/or Sewer	4000.00
MYH - EDU	1,920.00

DUE UPON RECEIPT

Current Charges 5,920.00
Balance Due 5,920.00

Penalty Date 2/9/2016
After Penalty Date 6,102.60

Legal Description

IMPSPAR 3A 39.672 ACS R-611 RESUB
 PAR 3 SOUTH POINT SUBDIV

Please retain this portion for your records

Account No.	Penalty Date	Amount Due	After Penalty Date
10296900-001	2/9/2016	5,920.00	6,102.60



Please return this portion with your payment

Service Address
 STEPHEN DECATUR HWY PAR 3A
 Mystic Harbour

Mailing Address

TAYLOR ROBERT J & ETAL
 C/O PARKER EUGENE R JR
 P O BOX 307
 OCEAN CITY, MD 21843

00010296900001000592000

Real Property Data Search (w3)

Guide to searching the database

Search Result for WORCESTER COUNTY

View Map		View GroundRent Redemption			View GroundRent Registration				
Account Identifier:		District - 10 Account Number - 015340							
Owner Information									
Owner Name:	G T F LLC			Use:	COMMERCIAL				
Mailing Address:	9635 STEPHEN DECATUR HWY OCEAN CITY MD 21842-9311			Principal Residence:	NO				
				Deed Reference:	/00000/ 00000				
Location & Structure Information									
Premises Address:		12708 OCEAN GATEWAY HWY OCEAN CITY 21842-0000			Legal Description:		LOTS 9 10 11 S SIDE R-50 PL 2 ELLIOTT'S DEV		
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0027	0007	0144		72S0			9	2016	Plat Ref:
Special Tax Areas:				Town:		NONE			
				Ad Valorem:					
				Tax Class:					
Primary Structure Built		Above Grade Enclosed Area		Finished Basement Area		Property Land Area		County Use	
1950		10,500 SF				32,250 SF			
Stories	Basement	Type	Exterior	Full/Half Bath	Garage	Last Major Renovation			
		RETAIL STORE							
Value Information									
		Base Value		Value		Phase-in Assessments			
				As of		As of		As of	
				01/01/2016		07/01/2015		07/01/2016	
Land:		608,000		598,000					
Improvements		59,600		36,400					
Total:		667,600		634,400		667,600		634,400	
Preferential Land:		0						0	
Transfer Information									
Seller: I VILLANI & SONS INC				Date: 09/20/1996		Price: \$672,000			
Type: ARMS LENGTH MULTIPLE				Deed1: /00000/ 00000		Deed2:			
Seller: GARDNER DAVID X VIOLET C EWELL 10				Date:		Price: \$0			
Type: NON-ARMS LENGTH OTHER				Deed1: RHO /02315/ 00001		Deed2:			
Seller:				Date:		Price:			
Type:				Deed1:		Deed2:			
Exemption Information									
Partial Exempt Assessments:		Class		07/01/2015		07/01/2016			
County:		000		0.00					
State:		000		0.00					
Municipal:		000		0.00 0.00		0.00 0.00			
Tax Exempt:				Special Tax Recapture:					
Exempt Class:				NONE					
Homestead Application Information									
Homestead Application Status: No Application									

Real Property Data Search (w3)

Guide to searching the database

Search Result for WORCESTER COUNTY

View Map		View GroundRent Redemption				View GroundRent Registration				
Account Identifier:		District - 10 Account Number - 296900								
Owner Information										
Owner Name:	TAYLOR ROBERT J & OTHERS T/A KELLY FARMS ASSOCIATES				Use:	Principal Residence:		COMMERCIAL NO		
Mailing Address:	C/O EUGENE R. PARKER JR. PO BOX 307 OCEAN CITY MD 21843-0307				Deed Reference:	/01185/ 00284				
Location & Structure Information										
Premises Address:		STEPHEN DECATUR HWY OCEAN CITY 21842-0000			Legal Description:		PAR 3A 39.672 ACS R-611 RESUB PAR 3 SOUTH POINT SUBDIV			
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:	106008
0026	0018	0274		0000			3A	2016	Plat Ref:	
Special Tax Areas:					Town:		NONE			
					Ad Valorem:					
					Tax Class:					
Primary Structure Built		Above Grade Enclosed Area		Finished Basement Area		Property Land Area		County Use		
						39.6700 AC				
Stories	Basement	Type	Exterior	Full/Half Bath	Garage	Last Major Renovation				
Value Information										
			Base Value	Value As of 01/01/2016	Phase-in Assessments					
					As of 07/01/2015	As of 07/01/2016				
Land:			958,200	729,100						
Improvements			0	0						
Total:			958,200	729,100	958,200	729,100				
Preferential Land:			0				0			
Transfer Information										
Seller: PARKER EUGENE R JR & BRUCE A MOORE				Date: 06/16/1986		Price: \$185,000				
Type: ARMS LENGTH IMPROVED				Deed1: WCL /01185/ 00284		Deed2:				
Seller:				Date:		Price:				
Type:				Deed1:		Deed2:				
Seller:				Date:		Price:				
Type:				Deed1:		Deed2:				
Exemption Information										
Partial Exempt Assessments:		Class			07/01/2015		07/01/2016			
County:		000			0.00					
State:		000			0.00					
Municipal:		000			0.00 0.00		0.00 0.00			
Tax Exempt:				Special Tax Recapture:						
Exempt Class:				NONE						
Homestead Application Information										
Homestead Application Status: No Application										

Law Offices
AYRES, JENKINS, GORDY & ALMAND, P.A.

6200 COASTAL HIGHWAY, SUITE 200
OCEAN CITY, MARYLAND 21842

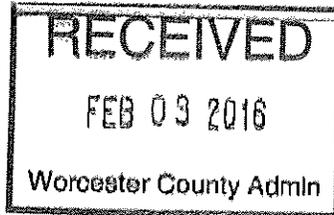
(410) 723-1400
FAX (410) 723-1861

GUY R. AYRES III
M. DEAN JENKINS
JAMES W. ALMAND
WILLIAM E. ESHAM, III
MARK SPENCER CROPPER
BRUCE F. BRIGHT
HEATHER E. STANSBURY
JON P. BULKELEY

OF COUNSEL
HAROLD B. GORDY, JR.

OCEAN PINES OFFICE
11047 RACETRACK ROAD
BERLIN, MARYLAND 21811
(410) 641-5033
FAX (410) 641-6926

Reply to Ocean City Office



Copy: Sewer Committee ✓

February 2, 2016

Worcester County Commissioners
Attn: Madison J. Bunting, Jr. – President
One West Market Street, Room 1103
Snow Hill, MD 21863

Re: Mystic Harbor EDU Transfers

Dear President Bunting:

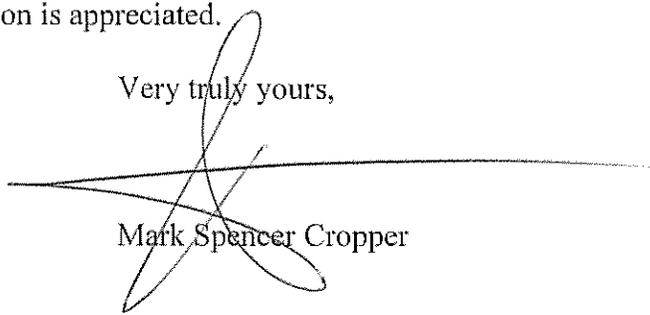
I represent Ann's Landing, LLC and Adam Showell (hereinafter collectively referred to as the "Showell Entities"). Pursuant to various documents, the Showell Entities have the right to pursue the appropriate regulatory consents and approvals to transfer and assign up to 84 Equivalent Dwelling Units ("EDUs") of wastewater (the "Sewer EDUs") and 78 EDUs of water (the "Water EDUs") from that property located at the eastern terminus of Sunset Avenue (on which the Showell Hotel was once approved) and then known as Tax Map 27, Grid 8, Parcel 487 (Tax Account # 10-371694), subsequently re-subdivided (hereinafter the "Property").

Very recently, the Showell Entities have been contacted by various property owners in west Ocean City, most of which are in the Mystic Harbor Service Area, desiring to purchase some of my clients' Sewer EDUs. However, due to the position of the Worcester County Commissioners over the years, such transfers of EDUs within the Mystic Harbor Service Area have only been permitted in very rare and special circumstances. As a result, many development opportunities have been lost. There are simply too few EDUs remaining and available in the West Ocean City Sanitary Service Area to meet the existing and future development demands in west Ocean City. Moreover, not allowing the Showell Entities to sell its Sewer EDUs and Water EDUs will mean that a significant portion of EDU capacity from the Mystic Harbor Wastewater Plant will forever be unused. I respectfully submit that not allowing the utilization of such a significant volume of EDU capacity is not in the best interests of Worcester County.

Accordingly, please reconsider the policy of Worcester County and allow my clients to sell the Sewer EDUs and Water EDUs in west Ocean City. Should you have any questions about

this letter, do not hesitate to give me a call. I will also make myself available if a meeting is desired. Your anticipated cooperation is appreciated.

Very truly yours,



Mark Spencer Cropper

MSC:lbs

cc: Adam Showell

LAW OFFICES

**BOOTH BOOTH
CROPPER & MARRINER P.C.**

CURTIS H. BOOTH
BRYNJA MCDIVITT BOOTH
HUGH CROPPER IV
THOMAS C. MARRINER*
ELIZABETH ANN EVINS
ROY B. COWDREY, JR. **

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EASTON, MD 21601
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FAX (410) 820-6586

*ADMITTED IN MD & DC
** OF COUNSEL

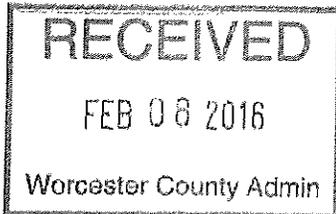
9923 STEPHEN DECATUR HIGHWAY, #D-2

OCEAN CITY, MARYLAND 21842

(410) 213-2681

EMAIL: heropper@bbcmllaw.com

WEBSITE
www.bbcmllaw.com



Copy: Sewer Committee ✓

February 3, 2016

Worcester County Commissioners
Attention: Mr. Madison J. Bunting, President
One West Market Street, Room 1103
Snow Hill, Maryland 21863

RE: *Proposed Mystic Water EDU Transfers*

Dear President Bunting and Commissioners:

On January 22, 2016, I wrote you a letter requesting a Resolution authorizing the transfer of forty (40) Mystic wastewater EDU's from the property of Kelly Farm Associates, approximately 39.62 acres, located on the west side of Maryland Route 611, to the property known as The Wheels of Yesteryear, located on the south side of U.S. Route 50 in West Ocean City.

The Kelly Farm Associates property is also allocated forty (40) water EDU's in the Mystic Harbor Service Area.

My clients would like to request permission to transfer the forty (40) water EDU's to Worcester County Tax Map 27, Parcel 150, lands of Ocean City Market Place, LLC, which is the Food Lion Shopping Center located on the west side of Stephen Decatur Highway.

The primary partners in Kelly Farm Associates are also the primary members of Ocean City Market Place, LLC (i.e. Gene and Mitch Parker).

This will allow the Food Lion Shopping Center to remove its existing infrastructure, such as the large water tower/bladder tank to increase water pressure.

Worcester County Commissioners
February 3, 2016
Page Two

It is estimated that the Food Lion Shopping Center will require approximately fifty (50) EDU's, so my clients will need to purchase about another ten (10) EDU's from Worcester County.

This is smart growth, and in-fill development. The Kelly Farm Associates property is designated as a mixture of agriculture and green infrastructure in the Worcester County Comprehensive Land Use Plan. The Ocean City Market Place, LLC property is zoned commercial, and it is designated as Commercial Center in the Worcester County Land Use Plan. It is an existing shopping center, and it is desirous to connect that shopping center to the public water system.

Thank you for your very kind consideration.

Very truly yours,



Hugh Cropper IV

HC/tgb

CC: Robert J. Mitchell, LEHS, REHS
Mitchell Parker
Gene Parker

RECEIVED
JAN 29 2016
WOR CO ADMIN
DIANE



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410-632-1200 / FAX: 410-632-3008
www.co.worcester.md.us/drp/drpindex.htm

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

19

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICE DIVISION

Propose to schedule Public
Hearing on March 15, 2016

MEMORANDUM

TO: Harold L. Higgins, Chief Administrative Officer
FROM: Edward A. Tudor, Director *EAT*
DATE: January 29, 2016
RE: Planning Commission Findings of Fact and Recommendation
Rezoning Case No. 398
(Salt Grass Bali Hi, LLC, Applicant, and Hugh Cropper, IV,
Attorney for the Applicant)



Attached herewith please find the Planning Commission's written Findings of Fact and Recommendation relative to Rezoning Case No. 398, seeking to rezone approximately 24.031 acres of land located on the southerly side of St. Martins Neck Road at the westerly side of Salt Grass Point Road from E-1 Estate District to A-2 Agricultural District. It was reviewed by the Planning Commission at its meeting on January 7, 2016 and given a favorable recommendation.

Also attached for your use is a draft public notice for the required public hearing that must be held by the County Commissioners. An electronic copy has already been forwarded to Kelly Shannahan. Please advise our department at your earliest convenience as to the public hearing date so that our department can ensure that the mandatory public notice of 15 days is met via posting on the site and mailings to adjoining property owners.

Thank you for your attention to this matter. Should you have any questions or require additional information, please do not hesitate to contact me.

EAT/phw

NOTICE
OF
PROPOSED CHANGE
IN ZONING

DRAFT

SOUTH SIDE OF ST. MARTINS NECK ROAD
WEST SIDE OF SALT GRASS POINT ROAD

FIFTH TAX DISTRICT
WORCESTER COUNTY, MARYLAND

Pursuant to Section 1-113 of the Worcester County Zoning Ordinance, Rezoning Case No. 398 has been filed by Hugh Cropper, IV, attorney, on behalf of Salt Grass Bali Hi, LLC, property owner, for an amendment to the Official Zoning Maps to change approximately 24.031 acres of land located on the south side of St. Martins Neck Road and west side of Salt Grass Point Road, in the Fifth Tax District of Worcester County, Maryland, from E-1 Estate District to A-2 Agricultural District. The Planning Commission has given a favorable recommendation to the rezoning application.

Pursuant to Sections 1-113 and 1-114 of the Worcester County Zoning Ordinance, the County Commissioners will hold a

PUBLIC HEARING

on

TUESDAY,

at

in the

COUNTY COMMISSIONERS' MEETING ROOM
ROOM 1101
WORCESTER COUNTY GOVERNMENT CENTER
ONE WEST MARKET STREET
SNOW HILL, MARYLAND 21863-1072

At said public hearing, the Commissioners will consider the rezoning application, the staff file on Rezoning Case No. 398 and the recommendation of the Planning Commission, any proposed restrictions on the rezoning, other appropriate restrictions, conditions or limitations as may be deemed by them to be appropriate to preserve, improve or protect the general character and design of the lands and improvements being zoned or rezoned or of the surrounding or adjacent lands and improvements, and the advisability of reserving the power and authority to approve or disapprove the design of buildings, construction, landscaping or other improvements, alterations and changes made or to be made on the subject land or lands to assure conformity with the intent and purpose of applicable State laws and regulations and the County Zoning Ordinance.

Maps of the petitioned area, the staff file on Rezoning Case No. 398 and the Planning Commission's recommendation which will be entered into the record of the public hearing are on file and are available for inspection at the Department of Development Review and Permitting, Worcester County Government Center, One West Market Street, Room 1201, Snow Hill, Maryland 21863-1070.

Madison J. Bunting, Jr., President

§ ZS 1-113. Amendments.

(a) Generally. The regulations, restrictions, definitions, districts, classifications and boundaries set forth in this Title may, from time to time, be amended, supplanted, modified or repealed by the County Commissioners. Amendments to the text of this Title shall be passed as Public Local Laws by the County Commissioners. The reclassification of any property or the relocation of any district boundary shall be by resolution of the County Commissioners.

(b) Text amendments.

(1) Proposals for amendments to the text of this Title may be made by any interested person who is a resident of the County, a taxpayer therein or by any governmental agencies of the County. Such proposals for text amendments shall be in the form as prescribed by the Planning Commission and shall be addressed to and filed with the County Commissioners.

(2) Text amendments shall be passed by the County Commissioners as Public Local Laws according to legally required procedures, with the following additional requirements: Any proposed amendment shall first be referred to the Planning Commission for recommendation. The Planning Commission shall make a recommendation to the County Commissioners within a reasonable time after receipt of the proposed amendment. If, after receipt of the recommendation of the Planning Commission, no County Commissioner is willing to introduce the proposed amendment as a bill, it need not be considered. If one or more County Commissioners does introduce the proposed amendment as a bill, the County Commissioners shall hold at least one public hearing in relation to the proposed amendment, at which parties and interested citizens shall have an opportunity to be heard. At least fifteen days' notice of the time and place of such hearing and the nature of the proposed amendment shall be published in an official paper or a paper of general circulation in the County in accordance with the provisions of § ZS 1-114 hereof.

(c) Map amendments.

(1) Application.

A. Proposals for amendment of the Official Zoning Maps may be made only by a governmental agency or by the current property owner, contract purchaser, option holder, lessee, his attorney or the agent of the property to be directly affected by the proposed amendment. Applications filed by persons other than the current property owner must be cosigned by the property owner or the property owner's attorney at law or in fact. Such proposals for map amendments shall be in the form as prescribed by the Planning Commission and shall be accompanied by a plat drawn to scale showing property lines, the existing and proposed district boundaries and such other information as the Planning Commission may need in order to locate and plot the amendment on the Official Zoning Maps. Such plat shall not be required for sectional or comprehensive reclassification. Applications for map amendments shall be addressed to and filed with the office of the County

Commissioners. Applications shall be considered thrice annually in order to consider the collective effect of such applications. Application shall only be accepted from January 1 to January 31, May 1 to May 31, and September 1 to September 30 of any calendar year. Every such application shall contain the following information:

1. If the applicant is a corporation, the names and residences of the officers, directors and all stockholders owning more than twenty percent of the capital stock of the corporation.
 2. If the applicant is a partnership, whether a general or limited partnership, the names and residences of all partners who own more than twenty percent of the interest of the partnership.
 3. If the applicant is an individual, his name and residence.
 4. If the applicant is a joint venture, unincorporated association, real estate investment trust or other business trust, the names and residences of all persons holding an interest of more than twenty percent in the joint venture, unincorporated association, real estate investment trust or other business trust.
- (2) Any officially filed amendment or other change shall first be referred by the County Commissioners to the Planning Commission for an investigation and recommendation. The Planning Commission may make such investigations as it deems appropriate or necessary and, for the purpose of its review, may require the submission of pertinent information by any person concerned and may hold such public hearings as are appropriate in its judgement. The Planning Commission shall formulate its recommendation on such amendment or change and shall submit its recommendation and pertinent supporting information to the County Commissioners within ninety days after the Planning Commission's decision of recommendation, unless an extension of time is granted by the County Commissioners. After receiving the recommendation of the Planning Commission concerning any such amendment to this Title and before adopting or denying the same, the County Commissioners shall hold a public hearing in reference thereto in order that parties of interest and citizens shall have an opportunity to be heard. The County Commissioners shall give public notice of such hearing in accordance with the provisions of § ZS 1-114 hereof. Two legible full and complete copies of all exhibits, including electronic media, to be introduced by the applicant at any rezoning hearing as well as any proposed conditions of any rezoning shall be delivered to the Department at least thirty days prior to any rezoning hearing. The exhibits delivered shall be introduced by the applicant into evidence at the public hearing. No other exhibits other than rebuttal shall be permitted to be introduced by the applicant without specific permission of the County Commissioners given at the public hearing. The entire file and record of the staff and Planning Commission shall be incorporated in the record of the hearing and considered by the County Commissioners. Except as hereinafter provided, a simple majority vote of the entire Board of County Commissioners shall be required to pass any map amendment to this Title. However, a five-sevenths majority vote of the entire

Board of County Commissioners shall be required to pass any map amendment to this Title which represents a substantial change in or departure, as determined by a majority of the County Commissioners, from a proposed map amendment as favorably recommended by the Planning Commission or to pass a proposed map amendment which has received an unfavorable recommendation from the Planning Commission. Failure to obtain the aforesaid required majority shall constitute a denial. For the purposes of this section, the "entire Board" shall mean all members eligible to vote on any proposed amendment. A complete record shall be kept of the public hearing and the votes of all members of the County Commissioners in deciding all questions relating to the proposed map amendment.

- (3) Where the purpose and effect of the proposed amendment is to change the zoning classification of the property, the County Commissioners shall make findings of fact in each specific case, including but not limited to the following matters: population change, availability of public facilities, present and future transportation patterns, compatibility with existing and proposed development and existing environmental conditions for the area, including having no adverse impact on waters included on the State's impaired waters list or having an established total maximum daily load requirement, the recommendation of the Planning Commission and compatibility with the County's Comprehensive Plan. The County Commissioners may grant the map amendment based upon a finding that there was a substantial change in the character of the neighborhood where the property is located since the last zoning of the property or that there is a mistake in the existing zoning classification and that a change in zoning would be more desirable in terms of the objectives of the Comprehensive Plan. The County Commissioners may adopt the findings or portions of the findings of the Planning Commission as the findings of the County Commissioners. Individual County Commissioners may make separate findings, but such separate findings considered as a whole must support the action taken. The findings may include reasonably drawn conclusions. The fact that an application for a map amendment complies with all of the specific requirements and purposes set forth in this Title shall not be deemed to create a presumption that the proposed reclassification and resulting development would in fact be compatible with the surrounding land uses and is not, in itself, sufficient to require the granting of the application.
- (4) No application for a map amendment shall be accepted for filing by the office of the County Commissioners if the application is for the reclassification of the whole or any part of land for which the County Commissioners have denied reclassification within the previous twelve months as measured from the date of the County Commissioners vote for denial. However, the County Commissioners may grant reasonable continuances for good cause. In addition, the County Commissioners may allow an applicant to withdraw an application for a map amendment at any time, provided that, if the request for withdrawal is made after publication of the notice of public hearing, no application for reclassification of all or any part of the land which is the subject of the application shall be allowed within twelve months following the date of such withdrawal, unless the Commissioners specify by formal resolution that the time limitation shall not apply.

- (5) The County Commissioners, upon the rezoning of any land or lands, may impose such restrictions, conditions or limitations as may be deemed by them to be appropriate to preserve, improve or protect the general character and design of the lands and improvements being zoned or rezoned or of the surrounding or adjacent lands and improvements and may, upon the zoning or rezoning of any land or lands, retain or reserve the power and authority to approve or disapprove the design of buildings, construction, landscaping or other improvements, alterations and changes made or to be made on the subject land or lands. In the event of a conditional map amendment, the restrictions, conditions and limitations shall be reduced to the form of an agreement signed by the owner and all lien holders and recorded among the land records at the expense of the owner. Restrictions, conditions or limitations may be recommended by the Planning Commission and shall be advertised verbatim or in summary form in the notice of the public hearing on the map amendment. Such recommended restrictions, conditions or limitations shall be considered a part of the Planning Commission's recommendation and subject to the five-sevenths majority vote provisions hereof. If there are no proposed restrictions, conditions or limitations at the time of the advertisement prior to the rezoning hearing, the Commissioners may state in the notice that restrictions, conditions or limitations will be considered at the hearing and may, subsequent to the hearing, without additional advertisement or hearing, impose any such restrictions. A restriction, condition or limitation imposed on an amendment, supplement or change in this Title shall become a part of this Title, and violation thereof shall be deemed to be a violation of this Title.
- (6) Comprehensive (sectional) reclassification map amendments.
- A. Comprehensive (sectional) reclassifications may only be initiated by the Planning Commission or the County Commissioners.
 - B. The Planning Commission shall review the proposed comprehensive reclassification and make a recommendation to the County Commissioners. In the case of a comprehensive (sectional) reclassification initiated by the County Commissioners, the Planning Commission shall make a recommendation to the County Commissioners within one hundred twenty days after its first review by the Planning Commission, unless an extension of time is granted by the County Commissioners. The Planning Commission may make such studies as it deems necessary and appropriate.
 - C. After receiving the recommendation of the Planning Commission, the County Commissioners may require further studies and shall hold a public hearing in reference thereto in order that parties of interest and citizens shall have an opportunity to be heard. Public notice of such hearing shall be given in accordance with the provisions of § ZS 1-114 hereof.
 - D. Comprehensive (sectional) reclassifications shall be by resolution of the County Commissioners.
 - E. Notification of property owners and neighboring property owners and the posting of the property, as required in piecemeal rezonings, shall not be

required when the property is the subject of the comprehensive (sectional) reclassification.

- F. Findings of fact as required in piecemeal rezonings shall not be required for comprehensive (sectional) reclassifications.
- G. In the case of a comprehensive (sectional) rezoning, conditions placed upon a property by virtue of a prior conditional rezoning shall be null and void unless specifically carried forward by the County Commissioners upon a finding that the reasons for which the conditions were originally imposed are still valid.

§ ZS 1-114. Requirements for public notice.

(a) Generally. Unless otherwise expressly provided by law, all notices to the general public required by the terms of this Title shall be made as follows:

(1) By the posting of a reasonably sized sign upon the property which is the subject of the proceedings as follows:

A. The sign shall be of sufficient size to reasonably advise the public of the fact of the public hearing and shall be posted not less than fifteen days prior to the public hearing. The sign shall be posted (to the extent possible) within a reasonable distance of a public road serving or near the property so as (to the extent possible) to be reasonably visible to the public. Posting requirements shall be subject to the following modifications and provisions:

1. Except in the case of the fifteen-day requirement, reasonable, good-faith compliance with the above requirements, as determined by the hearing agency, shall be sufficient.
2. Where the property lines are difficult to ascertain, posting on an adjacent property may be found to be sufficient.
3. Evidence of posting shall be provided at the public hearing, but no evidence that the sign remained standing during the period of posting shall be required. When a posted sign is destroyed or removed, the property shall be reposted but the date of posting shall be the date of original posting.
4. The hearing agency shall have the authority to determine whether or not a good-faith effort to comply with the posting requirements is sufficient to satisfy the intent of such requirements so as to reasonably advise the public of the pending proceeding.

B. Any applicant and/or owner of the property subject to the proceedings shall be deemed to have consented to the entry upon the property by any County staff or board members to examine the property with respect to the specific request and by the public for the purpose of viewing any sign.

C. Posting shall not be required for proposed sectional or comprehensive map amendment procedures or for proposed amendments to the text of this Title.

(2) All proceedings under the terms of this Title requiring a public hearing shall be advertised at least once in one newspaper of general circulation in the County not less than fifteen days prior to the date such proceeding is scheduled for hearing, which advertisement shall state the following:

A. The date, time and place of such hearing.

B. A summary of the purpose of the proceeding in sufficient detail to inform the public of the nature of the proceeding and the relief sought by the initiator of the proceeding.

C. The location of the property involved, if any, the name of the owner and the file or case number of the proceeding and the name of the governmental body before which such proceeding is to be conducted.

D. Any other information deemed necessary to adequately inform the public of the proceeding.

(3) Whenever the application of this Title requires the holding of a public hearing, a notice of the time and place of such hearing shall be mailed to the initiator of the proceeding, to each incorporated municipality within one mile of the property affected by the proposed change, to the owners of all property contiguous to the property with which the hearing is concerned and to all properties opposite the property with which the hearing is concerned. Opposite properties are measured at right angles to the center line of any intervening roads. Such mailed notices shall be sufficient if directed to such qualifying property owners as shown on the tax records of the County, at the address to which the real estate tax bill on the property is sent, and as shown on the current property tax records for the County. Such notice shall contain the same information as the published notice required by this subsection and shall be mailed not less than fifteen days prior to the date of the hearing. An affidavit of compliance with this section shall be made a part of the record. Posting or notification of property owners shall not be required for proposed sectional or comprehensive map amendment procedures or for proposed amendments to the text of this Title.

(b) Responsibility for public notice. It shall be the responsibility of the Department to ensure that the provisions of Subsections (a)(1) and (a)(3) hereof are fully complied with for all matters that come before the Board of Zoning Appeals, the Planning Commission or the County Commissioners relative to matters regulated by this section.

§ ZS 1-115. Permits and zoning/occupancy certificates.

(a) Permit. It shall be unlawful to:

(1) Erect or locate or begin the construction, reconstruction, extension, renovation, demolition or alteration, including the excavation thereof, of any building or structure until a permit for such work has been issued by the Department; or

**PLANNING COMMISSION
FINDINGS OF FACT
AND
RECOMMENDATION**

REZONING CASE NO. 398

APPLICANT:

**Salt Grass Bali HI, LLC
616 Williams Street
Berlin, Maryland 21811**

ATTORNEY FOR THE APPLICANT:

**Hugh Cropper, IV
9923 Stephen Decatur Highway, D-2
Ocean City, Maryland 21842**

January 7, 2016

WORCESTER COUNTY PLANNING COMMISSION

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I. INTRODUCTORY DATA

A. CASE NUMBER: Rezoning Case No. 398, originally filed on September 30, 2015, amended November 20, 2015.

B. APPLICANT: Salt Grass Bali Hi, LLC
616 Williams Street
Berlin, Maryland 21811

APPLICANT'S ATTORNEY: Hugh Cropper, IV
9923 Stephen Decatur Highway, D-2
Ocean City, Maryland 21842

C. TAX MAP/PARCEL: Tax Map 10 - Part of Parcel 314 - Outparcel 1 - Tax District 5

D. SIZE: The petitioned area is 24.031 acres in size.

E. LOCATION: The petitioned area is located on the westerly side of Salt Grass Point Road and southerly side of St. Martins Neck Road.

F. CURRENT USE OF PETITIONED AREA: The petitioned area is tilled cropland and forested.

G. CURRENT ZONING CLASSIFICATION: E-1 Estate District

H. REQUESTED ZONING CLASSIFICATION: A-2 Agricultural District.

I. ZONING HISTORY: The petitioned area was given an E-1 Estate District zoning classification by the 2009 comprehensive rezoning. It was initially given that designation in the 1992 comprehensive rezoning. Its original zoning classification, given at the time zoning was first established in Worcester County in the mid-1960s, was A-1 Agricultural District, a classification retained until 1992.

J. SURROUNDING ZONING: The properties immediately to the south and west of the petitioned area are zoned E-1 Estate District while the more sensitive areas along the St. Martins River are zoned RP Resource Protection District. The properties on the easterly side of Salt Grass Point Road, immediately opposite the petitioned area, are zoned A-2 Agricultural District and are developed as the Bali Hi Campground. There is also a small area of C-1 Neighborhood Commercial District zoning on the southerly side of St. Martins Neck Road at the entrance to this campground. Properties to the east of Bali Hi are zoned R-1 Rural Residential District. Properties on the northerly side of St. Martins Neck Road to

the west of Back Creek Road are zoned A-1 Agricultural District while those to the east of that roadway are zoned A-2 Agricultural District and RP Resource Protection District. The Todd Industrial Park is located on the northerly side of St. Martins Neck Road to the west of the petitioned area and is zoned I-1 Light Industrial District.

- K. **COMPREHENSIVE PLAN:** According to the 2006 Comprehensive Plan and associated land use map, the petitioned area is within the Agricultural Land Use Category.
- L. **WATER AND WASTEWATER:** With regards to wastewater disposal and the provision of potable water, according to the response memo from Robert J. Mitchell, Director of the Department of Environmental Programs (copy attached), the petitioned area is located within the boundaries of the Lighthouse Sound sewer planning area.
- M. **ROAD ACCESS:** The petitioned area fronts on and currently has access to both St. Martins Neck Road and Salt Grass Point Road. Both of these roadways are County-owned and -maintained. The Comprehensive Plan identifies St. Martins Neck Road as a two-lane secondary highway/minor collector highway. Salt Grass Point Road is not specifically mentioned in the Comprehensive Plan.

II. APPLICANT'S TESTIMONY BEFORE THE PLANNING COMMISSION

- A. As the basis for the rezoning request from E-1 Estate District to A-2 Agricultural District Mr. Cropper, attorney for the applicant, contended that there is a mistake in the existing zoning classification of the petitioned area and that there has been a substantial change in the character of the neighborhood since the last comprehensive rezoning, adopted by the County Commissioners on November 3, 2009.

Mr. Cropper introduced Applicant's Exhibit No. 1, a large format zoning map of the area, showing the St. Martins Neck Road corridor in the vicinity of the petitioned area. Mr. Cropper pointed out the petitioned area on this map, identified as a hatched area, and the dashed line that represents the neighborhood for the petitioned area. He called R. D. Hand, landscape architect, of R. D. Hand and Associate, as a witness. Mr. Hand described the neighborhood as being bound on the north by St. Martins Neck Road and extending along a creek in an easterly direction to the Assawoman Bay, on the east by the Assawoman Bay, on the south by St. Martins River but not including the Isle of Wight, and on the west by Harry Creek. He asserted that all of the boundaries cited are natural features. Mr. Cropper noted that the Aramis subdivision, though not yet developed, is located at the westerly limits of the neighborhood and represents a natural boundary, in that most everything to the west of that subdivision is largely

agricultural in nature. He maintained that any area within a five to ten minute drive of the petitioned area and all of the properties served by the Lighthouse Sound wastewater treatment facility should be considered as being within the neighborhood. Mr. Cropper introduced Applicant's Exhibit No. 2, a plat of the petitioned area identifying it as Outparcel 1 and marked by hatching, which illustrates that a small portion of the petitioned area falls within the Atlantic Coastal Bays Critical Area (Critical Area). He stated that the petition for rezoning does not include that portion of the petitioned area which lies within the Critical Area, the proposed zoning boundary is intended to follow the Critical Area line, and that in the event the proposed rezoning is granted, the property owner will create a boundary line adjustment to remove the Critical Area portion of the subject property from the boundaries of Outparcel 1. He maintained that that portion of the subject property which falls within the confines of the Critical Area should remain zoned E-1 Estate District and RP Resource Protection District.

Mr. Hand asserted that the existing E-1 Estate District zoning on the petitioned area is a mistake, for several reasons. First of all, the petitioned area is shown by the Comprehensive Plan as being within the Agricultural Land Use Category, as is most of the St. Martins Neck Road corridor. Additionally, sensitive areas, including a creek and wooded nontidal wetlands, are located on the westerly portion of the petitioned area and are thus not conducive to residential development. The soils on the site are poorly drained and would most likely not pass seasonal testing for onsite septic disposal systems. Finally, the petitioned area is located at the junction of St. Martins Neck Road and Salt Grass Point Road. This roadside location is not suitable for the peaceful enjoyment of a residential subdivision. While not appropriate to residential development, the site could be utilized for purposes allowed by the A-2 Agricultural District. Thus the petitioned area should not be zoned E-1 Estate District. Even more importantly, the E-1 Estate District has not accomplished what it was intended to do. While it functions to lower density it does so by consuming large swaths of land and therefore actually becomes sprawl. It is thus the antithesis of smart growth that the Comprehensive Plan calls for. Mr. Hand noted that a single family residential subdivision in accordance with the E-1 Estate District regulations was previously planned for the property of which the petitioned area is an outparcel. However, when weighing the cost of development, including the installation of infrastructure such as roads, stormwater management facilities, sewer and the like, against the projected value of the lots, it was determined that the costs were out of proportion and the project was abandoned. Mr. Cropper introduced Applicant's Exhibit No. 3, an excerpt from § ZS 1-203 which is the E-1 Estate District regulations as contained in the Zoning and Subdivision Control Article. He specifically cited a portion of § ZS 1-203(a), the purpose and intent statement, which states "(I) it is further the intent of this Section that no additional lands shall be included in this zoning district either by a comprehensive rezoning or individual application and that the district shall be eliminated subsequent to the next State-mandated review

of the Comprehensive Plan.” Mr. Hand and Mr. Cropper asserted that the County intends to do away with the E-1 Estate District because it has been discerned that the district is not beneficial and instead promotes sprawl and thus the ineffective and inefficient provision of services. The existing E-1 Estate District on the petitioned area is consequently a mistake. Mr. Hand stated that if the petitioned area was rezoned to A-2 Agricultural District it would permit a natural expansion of the existing Bali Hi campground located on the easterly side of Salt Grass Point Road, opposite the petitioned area. This use would have no year-round impacts because such a campground is required to be closed for a portion of the year and there would be less impervious surfaces. Noting that the A-2 Agricultural District allows a variety of agricultural uses, including crop land, Mr. Hand stated that a campground is a special exception use in the A-2 Agricultural District which would necessitate review and approval by the Board of Zoning Appeals and is subject to a public hearing.

Acknowledging that Robert Mitchell, Environmental Programs Director, stated in his response memo that adequate sewer capacity is not available from the Lighthouse Sound wastewater system to serve a campground, Mr. Hand stated that this is an opportunity for a public/private partnership to upgrade those facilities. He maintained that the developer providing funds to upgrade the facility would be better environmentally than having on-site septic for residences. He noted that the soils on the petitioned area would most likely not pass the required seasonal testing for such on-site septic systems.

Relative to change in the character of the neighborhood, Mr. Cropper asserted that the major change is the realization that the E-1 Estate District zoning classification does not work as it was intended. He cited the Aramis and Grand View subdivisions as evidence of this. In the case of the Aramis subdivision, located a short distance to the west of the petitioned area, the lots are not selling, while the Grand View subdivision, located at Public Landing, has had all of its lots reconsolidated by means of a new plat and all roads and other infrastructure removed.

Raising the question of whether the requested A-2 Agricultural District zoning is more desirable in terms of the Comprehensive Plan, Mr. Cropper introduced Applicant's Exhibit No. 4, an excerpt from Chapter Two Land Use of the Comprehensive Plan, with portions of sentences highlighted (Page 10 of the Comprehensive Plan). He asserted that, as indicated by this exhibit, the Comprehensive Plan calls for concentrating development and locating planned development in growth areas. Yet the existing E-1 Estate District regulations do not concentrate development, instead sprawling it over larger areas, frequently removed from the more developed areas of Worcester County. Mr. Cropper contended that the requested A-2 Agricultural District was more in keeping with the objectives of the Comprehensive Plan.

Mr. Cropper summarized his presentation by reviewing the definition of the neighborhood, stating that there had been no change of any significance to the neighborhood's population since the comprehensive rezoning of 2009, that public wastewater facilities may be available via connection to Lighthouse Sound's wastewater system, and that there will be no change to present or future transportation patterns arising from the proposed rezoning. He maintained that the requested rezoning to A-2 Agricultural District is compatible with the existing agricultural and low density residential uses to the west and the existing Bali Hi campground to the east and that there will be no environmental impact. He noted that the petitioned area is classified as being within the Agricultural Land Use Category according to the Comprehensive Plan and that that Plan calls for getting rid of the E-1 Estate District zoning classification. However, the existing E-1 Estate District classification on the petitioned area is essentially a residential zoning district. He stated that the requested A-2 Agricultural District is consequently compatible with the Comprehensive Plan. Mr. Cropper asserted that it is a mistake to have the property placed within the Agricultural Land Use Category but zoned E-1 Estate District. He maintained that the soils on the site are poorly drained and will most likely not pass testing for on-site septic disposal. Additionally, sensitive areas, including a creek and wetlands, are located on the westerly portion of the petitioned area. Mr. Cropper asserted that the petitioned area should therefore not be developed residentially. He contended that infrastructure for a subdivision on the petitioned area would have a disproportionate impact. He reiterated that the E-1 Estate District is in hindsight not a suitable zoning classification. He finished his presentation by stating that if the petitioned area was rezoned to A-2 Agricultural District, all of the uses allowed by that district would be available to the petitioned area, including campground uses. He asserted that such a use would constitute a logical expansion of the existing Bali Hi Campground and would truly be smart growth.

III. PLANNING COMMISSION'S FINDINGS AND CONCLUSIONS

- A. Regarding the definition of the neighborhood: The neighborhood was defined by the applicant as being bound on the north by St. Martins Neck Road and extending along a creek in an easterly direction to the Assawoman Bay, on the east by the Assawoman Bay, on the south by St. Martins River but not including the Isle of Wight, and on the west by Harry Creek. The Planning Commission concurred that this is an appropriate definition of the neighborhood because the neighborhood is largely agrarian and rural in nature, including agricultural uses and scattered, low density residential uses, as well as the Bali Hi Campground across Salt Grass Point Road from the petitioned area. The Planning Commission concluded that the boundaries proffered by the applicant are easily identifiable features that make natural boundaries. The Planning Commission thus accepted that applicant's definition of the neighborhood.

- B. Regarding population change: The Planning Commission concluded that there has not been a significant increase in the population of the neighborhood since the comprehensive rezoning of 2009. Any increase has been due to infill development of existing lots of record but has been minimal.**
- C. Regarding availability of public facilities: The Planning Commission found that according to the response memo from Robert J. Mitchell, Director of the Department of Environmental Programs (copy attached), the petitioned area is located within the boundaries of the Lighthouse Sound sewer planning area. He stated in his memo that a sewer planning area designation of S-1 for the property to be included in the Lighthouse Sound sewer planning area was approved under County Commissioners' Resolution 06-27 and is a part of the *Master Water and Sewerage Plan*. He noted that this was done as a part of the Salt Grass Road Farms planning amendment relative to connection of that proposed subdivision that was to be built on the subject property. Mr. Mitchell stated that there have been examinations of varying degrees on the potential to expand the capacity of the Lighthouse Sound Wastewater Treatment plant and that while the amendment he referenced did provide capacity for the proposed residential subdivision on the subject property, it would not provide near enough capacity to service the rental campground use mentioned by Mr. Cropper in his attachment in support of the Rezoning Application. He continued by stating that he expects that there will be future investigations and findings on just what that capacity will be and decisions on what can be approved by local and state agencies and that the capacity potentially exists to expand but that is a complicated question as the answer lies in providing solutions to both treatment and land application concerns. Mr. Mitchell furthermore stated that providing sufficient answers to regulatory concerns with capacity evaluations and site investigations will fall on the shoulders of the owners of the subject property and their development partners if it is their intent to proceed with a rental campground should this rezoning be approved. No comments were received from John H. Tustin, P. E., Director of Public Works. The Planning Commission noted that Mr. Hand had testified that the soils on the petitioned area were unlikely to support on-site septic systems and, in acknowledgment of Mr. Mitchell's comments, had stated that this is an opportunity for a public/private partnership to upgrade the Lighthouse Sound facilities. He maintained that the developer providing funds to upgrade the facility would be better environmentally than having on-site septic for residences. Based upon the comments of Mr. Mitchell and the testimony of the applicant's representatives, the Planning Commission found that disposal of wastewater may be available through the Lighthouse Sound system once adequate examination and improvements are made in conjunction with the developer of any use on the petitioned area if rezoned. The Planning Commission determined that fire and ambulance service will be available from the Bishopville Volunteer Fire Company, located approximately ten minutes from the petitioned area. No**

comments were received from the BVFC with regard to this particular review. Police protection will be available from the Maryland State Police Barracks in Berlin, approximately ten minutes away, and the Worcester County Sheriff's Department in Snow Hill, approximately thirty minutes away. No comments were received from the Maryland State Police Barracks. Chief Deputy J. Dale Smack 3rd of the Worcester County Sheriff's Office by phone stated that he had reviewed the application and spoken with Sheriff Mason relative to the rezoning case and they saw no issues with the propose rezoning and concluded that it will not interfere with law enforcement activities. The petitioned area is within the area served by the following schools: Showell Elementary School, Berlin Intermediate School, Stephen Decatur Middle School, and Stephen Decatur High School. No comments were received from the Worcester County Board of Education. In consideration of its review and in light of the fact that the A-2 Agricultural District is a less intense district than is the existing E-1 Estate District, the Planning Commission found that there will be no negative impacts to public facilities and services resulting from the proposed rezoning of the petitioned area and that the applicant will most likely need to address the adequacy of public wastewater facilities.

- D. Regarding present and future transportation patterns: The Planning Commission found that the petitioned area fronts on and currently has access to both St. Martins Neck Road and Salt Grass Point Road. Both of these roadways are County-owned and -maintained. St. Martins Neck Road provides access to MD Route 90 and to MD Route 367 (Bishopville Road). The Comprehensive Plan identifies St. Martins Neck Road as a two lane County Road/Minor Collector Highway. It states that this minor collector links MD Route 90 at its south end to MD Route 367 (Bishopville Road) and provides a secondary link from Ocean City to US Route 113, northeastern Worcester County and the Delaware beaches and that this roadway's current configuration should be adequate for the planning period. Salt Grass Point Road terminates in a dead end and is not specifically mentioned by the Comprehensive Plan. It is considered to be a minor local road. Donnie L. Drewer, District Engineer, for State Highway Administration District 1, stated in his response memo (copy attached) that rezoning is a land use issue, which is not under the jurisdiction of the State Highway Administration, and that St. Martins Neck Road in the area of Salt Grass Point Road is not a state highway and therefore the SHA had no comment regarding the case. Frank J. Adkins, Worcester County Roads Superintendent, responded by memo (copy attached) that he had no comments relative to this rezoning application. The applicant's representatives testified that traffic impacts would be less under the proposed A-2 Agricultural District than they could potentially be if the petitioned area were to be developed in accordance with its existing E-1 Estate District zoning classification. Based upon its review, the Planning Commission found that there will be no negative impact to the transportation patterns arising from the proposed

rezoning of the petitioned area.

- E. Regarding compatibility with existing and proposed development and existing environmental conditions in the area, including having no adverse impact to waters included on the State's impaired waters list or having an established total maximum daily load requirement: The Planning Commission concluded that the neighborhood displays a largely agricultural/rural character, with agricultural and scattered single-family dwellings being the predominant features along with the Bali Hi Campground. The Planning Commission noted that Mr. Hand testified that sensitive areas, including a creek and wooded nontidal wetlands, are located on the westerly portion of the petitioned area. Additionally, Mr. Hand testified that the soils on the petitioned area are poorly drained and not conducive to on-site septic disposal. Based upon its review the Planning Commission found that the proposed rezoning of the petitioned area from C-2 General Commercial District to A-2 Agricultural District is compatible with existing and proposed development and existing environmental conditions in the area and will lessen the potential for adverse impacts on environmental conditions.
- F. Regarding compatibility with the Comprehensive Plan: The Planning Commission found that according to the Comprehensive Plan and associated land use map, the petitioned area lies within the Agricultural Land Use Category. With regard to this Land Use Category, the Comprehensive Plan states that the importance of agriculture to the County cannot be overstated, that its significance is economic, cultural, environmental, and aesthetic, and that agriculture is simply the bedrock of the County's way of life. The Plan goes on to say that the County must do all it can do to preserve farming as a viable industry, that this category is reserved for farming, forestry and related industries with minimal residential and other incompatible uses permitted, that large contiguous areas of productive farms and forest shall be maintained for agricultural uses, and that residential and other conflicting land uses, although permitted, are discouraged. Furthermore, the Planning Commission noted that certain pertinent objectives were also cited in the Land Use chapter of the Comprehensive Plan and state that the dominance of agriculture and forestry uses should be continued through the County's less developed regions, that the character of the County's existing population centers should be maintained, that new development should be located in or near existing population centers and within planned growth centers, and that existing population centers should be infilled without overwhelming their existing character. Other objectives state that development should be regulated to minimize consumption of land and that rural development should be limited to uses compatible with agriculture and forestry. Based upon its review the Planning Commission found that the proposed rezoning of the petitioned area from E-1 Estate District to A-2 Agricultural District is compatible with the Comprehensive Plan and in keeping with its goals and objectives.

IV. PLANNING COMMISSION RECOMMENDATION

- A. In consideration of its findings and testimony provided to the Commission, the Planning Commission concluded that there is a mistake in the existing zoning of the petitioned area. The Planning Commission found that the petitioned area is shown by the Comprehensive Plan as being within the Agricultural Land Use Category, as is most of the St. Martins Neck Road corridor. Additionally, sensitive areas, poorly drained soils and a roadside location make residential development of the petitioned area difficult and inappropriate. Thus the petitioned area should not be zoned E-1 Estate District. However, the Planning Commission concurred with the applicant's argument that of even more importance is the fact that the E-1 Estate District does not function as intended. Originally meant to beneficially lower density and thus crowding, the E-1 Estate District has now been shown to ineffectively and inefficiently consume large amounts of land and therefore actually results in undesirable sprawl. The Planning Commission found that the zoning district is consequently diametrically opposed to the smart growth called for in the Comprehensive Plan. The Planning Commission agreed with the applicant's assertion that the existing E-1 Estate District on the petitioned area is therefore a mistake. The Planning Commission recognized that, if rezoned, the petitioned area could be put to any use permitted by the proposed A-2 Agricultural District but concluded that the proposed rezoning would permit what is essentially a logical expansion of an existing campground and that this would be an appropriate form of smart growth for the area. Based upon its review, the Planning Commission concluded that a change in zoning would be more desirable in terms of the objectives of the Comprehensive Plan and gave a favorable recommendation to Rezoning Case No. 398, seeking a rezoning of the petitioned area from E-1 Estate District to A-2 Agricultural District.**

V. RELATED MATERIALS AND ATTACHMENTS

STAFF REPORT

REZONING CASE NO. 398

PROPERTY OWNER: Salt Grass Bali Hi LLC
616 Williams Street
Berlin, Maryland 21811

ATTORNEY: Hugh Cropper, IV
9923 Stephen Decatur Highway, D-2
Ocean City, Maryland 21842

TAX MAP/PARCEL INFO: Tax Map 10 - Part of Parcel 314 - Outparcel 1 - Tax District 5

SIZE: The petitioned area is 24.031 acres in size.

LOCATION: The petitioned area is located on the westerly side of Salt Grass Point Road and southerly side of St. Martins Neck Road.

CURRENT USE OF PETITIONED AREA: The petitioned area is tilled cropland and forested.

CURRENT ZONING CLASSIFICATION: E-1 Estate District

REQUESTED ZONING CLASSIFICATION: A-2 Agricultural District

APPLICANT'S BASIS FOR REZONING: According to the application, the request for rezoning is based on a mistake in the existing zoning classification and a substantial change in the character of the neighborhood since the last comprehensive rezoning (November 3, 2009).

ZONING HISTORY: The petitioned area was given an E-1 Estate District zoning classification by the 2009 comprehensive rezoning. It was initially given that designation in the 1992 comprehensive rezoning. Its original zoning classification, given at the time zoning was first established in Worcester County in the 1960s, was A-1 Agricultural District.

SURROUNDING ZONING: The property immediately to the south and west of the petitioned area are zoned E-1 Estate District while the more sensitive areas along the St. Martins River are zoned RP Resource Protection District. The properties on the easterly side of Salt Grass Point Road, immediately opposite the petitioned area, are zoned A-2 Agricultural District and are developed as the Bali Hi Campground. There is also a small area of C-1 Neighborhood Commercial District zoning on the southerly side of St. Martins Neck Road at the entrance to this campground. Properties to the east of Bali Hi are zoned R-1 Rural Residential District. Properties on the northerly side of St. Martins Neck Road to the west of Back Creek Road are zoned A-1 Agricultural District while those to the east of that roadway are zoned A-2 Agricultural District and RP Resource Protection District. The Todd Industrial Park is located on

the northerly side of St. Martins Neck Road to the west of the petitioned area and is zoned I-1 Light Industrial District.

COMPREHENSIVE PLAN:

According to Chapter 2 - Land Use of the Comprehensive Plan and associated land use plan map, the petitioned area lies within the Agricultural Land Use Category. With regard to the Agricultural Land Use Category, the Comprehensive Plan states the following:

"The importance of agriculture to the county cannot be overstated. Its significance is economic, cultural, environmental, and aesthetic. Agriculture is simply the bedrock of the county's way of life. The county must do all it can do to preserve farming as a viable industry. This category is reserved for farming, forestry and related industries with minimal residential and other incompatible uses permitted. Large contiguous areas of productive farms and forest shall be maintained for agricultural uses and residential and other conflicting land uses, although permitted, are discouraged. " (Page 18)

Pertinent objectives cited in Chapter 2 - Land Use state the following:

-
 - 2. Continue the dominance of agriculture and forestry uses through the county's less developed regions.
 - 3. Maintain the character of the county's existing population centers.
 - 4. Locate new development in or near existing population centers and within planned growth centers.
 -
 - 6. Infill existing population centers without overwhelming their existing character.
 -
 - 8. Regulate development to minimize consumption of land, while continuing the county's rural and coastal character.
 -
 - 19. Limit rural development to uses compatible with agriculture and forestry.
 -
- (Pages 12, 13)

In Chapter 4 - Economy, the Comprehensive Plan provides a number of objectives related to Tourism. Certain of these state the following:

- "1. Support the traditional resort industry while diversifying this offering with a broader range of high caliber recreational/cultural facilities.
- 2. Encourage the development of sports, cultural or other large attractions to reinforce the county's traditional attractions.
-
- 4. Work with the towns to support their tourism efforts.

5. Expand eco-tourism opportunities through environmental, heritage and cultural attractions.
6. Accommodate the location of year-round recreational and resort oriented land uses.
7. Develop facilities and attractions that continue full operation in the non-peak seasons.
8. Recognize and provide for the needs of the hunting, fishing, and boating sectors.” (Pages 58, 59)

This chapter also includes objectives related to Agriculture and Forestry. Included among these are the following:

- “1. Work to preserve farming and increase its economic viability.
2. Provide for sufficient agricultural support services.
3. Reduce farm area fragmentation through agricultural zoning permitting only minor subdivisions, the state’s agricultural preservation program, the Rural Legacy program and explore the use of a transfer of development rights and other preservation mechanisms.
- (Page 60)

In Chapter Five - Housing, the Comprehensive Plan addresses campgrounds. The Plan states the following:

“Campgrounds provide temporary recreational housing and they have been part of the county’s resort tradition. The county has enacted a variety of site, design, and occupancy standards for campgrounds and should continue to monitor their development, operation, and use for compliance. While suitable for temporary accommodations, these uses should not be permitted to evolve into permanent housing due to health and safety issues.” (Page 69)

In Chapter Six - Public Infrastructure, the Comprehensive Plan includes several objectives, including the following:

- “1. Meet existing public facility and service needs as a first priority. Health and safety shall take precedence.
2. Permit development to occur only as rapidly as services can be provided.
3. Ensure adequate public facilities are available to new development.
4. Require new development to “pay its way” by providing adequate public facilities to meet the infrastructure demand it creates.
-” (Page70)

Chapter Seven - Transportation of the Comprehensive Plan states that “Worcester’s roadways experience morning and evening commuter peaks; however, they are dwarfed by summer resort traffic.Resort traffic causes the most noticeable congestion on US 50, US 113, US 13,

MD 528, MD 589, MD 611, and MD 90. " (Page 79)

In this chapter St. Martins Neck Road is identified as a two lane County Road/Minor Collector Highway. It states that this minor collector links MD Route 90 at its south end to MD Route 367 (Bishopville Road) and provides a secondary link from Ocean City to US Route 113, northeastern Worcester County and the Delaware beaches and that this roadway's current configuration should be adequate for the planning period. (Page 86)

In this same chapter, under the heading General Recommendations - Roadways, it states the following:

1. **Acceptable Levels of Service** -- It is this plan's policy that the minimal acceptable level of service for all roadways be LOS C. Developers shall be responsible for maintaining this standard.
 2. **Rural roadways** - Institute access controls for rural roads if their LOS drops below B for daily peak traffic.
 3. **Traffic studies** -- Developers should provide traffic studies to assess the effect of each major development on the LOS of nearby roadways.
 4. **Impacted Roads** -- Roads that regularly have LOS D or below during weekly peaks are considered "impacted." Areas surrounding impacted roads should be planned for minimal development (infill existing lots). Plans and funding for improving such roads should be developed.
 5. **Impacted Intersections** -- Upgrade intersections that have fallen below a LOS C.
- (Page 87)

WATER AND WASTEWATER: According to the response memo from Robert J. Mitchell, Director of the Department of Environmental Programs (copy attached), the petitioned area is located within the boundaries of the Lighthouse Sound sewer planning area. He states that a sewer planning area designation of S-1 for the property to be included in the Lighthouse Sound sewer planning area was approved under County Commissioners' Resolution 06-27 and is a part of the *Master Water and Sewerage Plan*. He notes that this was done as a part of the Salt Grass Road Farms planning amendment, that the original amendment was to connect a proposed subdivision that was to be built on the subject property, and that he attached a map of that amendment to his memo. Mr. Mitchell states that there have been examinations of varying degrees on the potential to expand the capacity of the Lighthouse Sound Wastewater Treatment plant and that while the amendment he references did provide capacity for a proposed residential subdivision on the subject property, it would not provide near enough capacity to service the rental campground use mentioned by Mr. Cropper in his attachment in support of the Rezoning Application. He states that he expects that there will be future investigations and findings on just what that capacity will be and decisions on what can be approved by local and state agencies, and that the capacity potentially exists to expand but that is a complicated question as the answer lies in providing solutions to both treatment and land application concerns. Mr. Mitchell furthermore states that providing sufficient answers to regulatory concerns with capacity evaluations and site investigations will fall on the shoulders

of the owners of the subject property and their development partners if it is their intent to proceed with a rental campground should this rezoning be approved. No comments were received from John H. Tustin, P. E., Director of Public Works.

The primary soil types on the petitioned area according to the Worcester County Soil Survey are as follows:

Fa - Fallsington Sandy Loam - severe limitations to on-site wastewater disposal

MpA - Mattapex Fine Sandy Loam - severe limitations to on-site wastewater disposal

EMERGENCY SERVICES: Fire and ambulance service will be available from the Bishopville Volunteer Fire Department. The BVFD facilities are located approximately ten minutes away. No comments were received from the fire company with regard to this particular review. Police protection will be available from the Maryland State Police Barracks in Berlin, approximately ten minutes away, and the Worcester County Sheriff's Department in Snow Hill, approximately thirty minutes away. No comments were received from the Maryland State Police Barracks or the Worcester County Sheriff's Office.

ROADWAYS AND TRANSPORTATION: The petitioned area fronts on both St. Martins Neck Road and Salt Grass Point Road. Both of these roadways are County-owned and -maintained. St. Martins Neck Road provides access to MD Route 90 and to MD Route 367 (Bishopville Road). The Comprehensive Plan identifies St. Martins Neck Road as a two lane County Road/Minor Collector Highway. It states that this minor collector links MD Route 90 at its south end to MD Route 367 (Bishopville Road) and provides a secondary link from Ocean City to US Route 113, northeastern Worcester County and the Delaware beaches and that this roadway's current configuration should be adequate for the planning period. Salt Grass Point Road terminates in a dead end and is not specifically mentioned by the Comprehensive Plan. It is considered to be a minor local road. Donnie L. Drewer, District Engineer, for State Highway Administration District 1, states in his response memo (copy attached) that that rezoning is a land use issue, which is not under the jurisdiction of the State Highway Administration, and that St. Martins Neck Road in the area of Salt Grass Point Road is not a state highway and therefore the SHA has no comment regarding the case. Frank J. Adkins, Worcester County Roads Superintendent, responded by memo (copy attached) that he had no comments relative to this rezoning application.

SCHOOLS: No comments were received from the Worcester County Board of Education.

CHESAPEAKE/ATLANTIC COASTAL BAYS CRITICAL AREAS: According to the response memo of Robert J. Mitchell, the petitioned area lies outside of the Atlantic Coastal Bays Critical Area. He states that if the subject property is enjoined with adjacent lands to the south (which apparently do lay within the Atlantic Coastal Bays Critical Area) in development of a rental campground, all proposed development activities conducted inside the Critical Area boundaries must meet the requirements of Title 3 (Land and Water Resources), Subtitle 1 (Atlantic Coastal Bays Critical Area) of the Worcester County Code of Public Local Laws, as from

time to time amended, in effect at the time of the proposed development activities.

FLOOD ZONE: The FIRM map indicates that a small part of the petitioned area is within Zone X (area of minimal flooding) while part is within Zone X (0.2% Annual Chance Flood) and part is within Zone AE (100 Year Flood with Base Flood Elevation).

PRIORITY FUNDING AREA: The petitioned area is not within a designated Priority Funding Area.

INCORPORATED TOWNS: The site is not within one mile of the corporate limits of any town.

ADDITIONAL COMMENTS RECEIVED: Comments received from various agencies, etc. are attached and are summarized as follows:

No additional comments received.

!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!! **IMPORTANT**!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!

THE PLANNING COMMISSION MUST MAKE FINDINGS OF FACT IN EACH SPECIFIC CASE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING MATTERS:

- 1) What is the applicant's definition of the neighborhood in which the subject property is located? (Not applicable if request is based solely on a claim of mistake in existing zoning.)
- 2) Does the Planning Commission concur with the applicant's definition of the neighborhood? If not, how does the Planning Commission define the neighborhood?
- 3) Relating to population change.
- 4) Relating to availability of public facilities.
- 5) Relating to present and future transportation patterns.
- 6) Relating to compatibility with existing and proposed development and existing environmental conditions in the area, including having no adverse impact on waters included on the State's impaired waters list or having an established total maximum daily load requirement.
- 7) Relating to compatibility with the Comprehensive Plan.
- 8) Has there been a substantial change in the character of the neighborhood where the

property is located since the last zoning of the property (November 3, 2009) or is there a mistake in the existing zoning of the property?

- 9) Would a change in zoning be more desirable in terms of the objectives of the Comprehensive Plan?**

Worcester County Commissioners
Worcester County Government Center
One W. Market Street, Room 1103
Snow Hill, Maryland 21863

PLEASE TYPE
OR PRINT IN
INK

AMENDED

APPLICATION FOR AMENDMENT OF OFFICIAL ZONING MAP

(Office Use One - Please Do Not Write In This Space)

Rezoning Case No. 398

Date Received by Office of County Commissioners: _____

Date Received by Development, Review and Permitting: 9/30/15 / Amended 11/20/15

Date Reviewed by Planning Commission: 1/7/16

I. Application

Proposals for amendment of the Official Zoning Maps may be made only by a governmental agency or by the property owner, contract purchaser, option holder, leasee, or their attorney or agent of the property to be directly affected by the proposed amendment. Check applicable status below:

- A. _____ Governmental Agency
- B. _____ Property Owner
- C. _____ Contract Purchaser
- D. _____ Option Holder
- E. _____ Leasee
- F. XXX Attorney for B (Insert A, B, C, D, or E)
- G. _____ Agent of _____ (Insert A, B, C, D, or E)

II. Legal Description of Property

- A. Tax Map/Zoning Map Number(s): 10
- B. Parcel Number(s): P/O 314
- C. Lot Number(s), if applicable: Outparcel 1
- D. Tax District Number: 05

III. Physical Description of Property

- A. Located on the West side of Salt Grass Point Road approximately _____ to the _____ of _____.
- B. Consisting of a total of 24.031 acres of land.

- C. Other descriptive physical features or characteristics necessary to accurately locate the petitioned area:

Outparcel 1, reserved lands of developer, 24.031 acres, as shown on the subdivision plat recorded in Plat Book SVH 234, Folios 8-17.

- D. Petitions for map amendments shall be accompanied by a plat drawn to scale showing property lines, the existing and proposed district boundaries and such other information as the Planning Commission may need in order to locate and plot the amendment on the Official Zoning Maps.

IV. **Requested Change to Zoning Classification(s)**

- A. Existing zoning classification(s): **E-1, Estate District**
(Name and Zoning District)
- B. Acreage of zoning classification(s) in "A" above: **24.031 acres**
- C. Requested zoning classification(s): **A-2, Agricultural**
(Name and Zoning District)
- D. Acreage of zoning classification(s) in "C" above: **24.031 acres**

V. **Reasons for Requested Change**

The County Commissioners may grant a map amendment based upon a finding that there: (a) has been a substantial change in the character of the neighborhood where the property is located since the last zoning of the property, or (b) is a mistake in the existing zoning classification and that a change in zoning would be more desirable in terms of the objectives of the Comprehensive Plan.

- A. Please list reasons or other information as to why the rezoning change is requested, including whether the request is based upon a claim of change in the character of the neighborhood or a mistake in existing zoning:

Please see attached

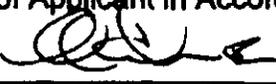
IV. **Filing Information and Required Signatures**

- A. Every application shall contain the following information:
1. If the application is made by a person other than the property

owner, the application shall be co-signed by the property owner or the property owner's attorney.

2. If the applicant is a corporation, the names and mailing addresses of the officers, directors and all stockholders owning more than 20 percent of the capital stock of the corporation.
3. If the applicant is a partnership, whether a general or limited partnership, the names and mailing addresses of all partners who own more than 20 percent of the interest of the partnership.
4. If the applicant is an individual, his/her name and mailing address.
5. If the applicant is a joint venture, unincorporated association, real estate investment trust or other business trust, the names and mailing addresses of all persons holding an interest of more than 20 percent in the joint venture, unincorporated association, real estate investment trust or other business trust.

B. Signature of Applicant in Accordance with VI.A. above.

Signature: 

Printed Name of Applicant:

Hugh Cropper, IV, Attorney for Salt Grass Ball HI, LLC

Mailing Address: 9923 Stephen Decatur Hwy., D-2, Ocean City, MD 21842 Phone Number: 410-213-2681

E-Mail: hcropper@bbcmlaw.com

Date: _____

C. Signature of Property Owner in Accordance with VI.A. above

Mailing Address: _____

Phone Number: _____

E-Mail: _____

Date: _____

(Please use additional pages and attach to application if more space is required.)

VII. General Information Relating to the Rezoning Process

A. Applications shall only be accepted from January 1st to January

31st, May 1st to May 31st, and September 1st to September 30th of any calendar year.

- B. Applications for map amendments shall be addressed to and filed with the Office of the County Commissioners. The required filing fee must accompany the application.
- C. Any officially filed amendment or other change shall first be referred by the County Commissioners to the Planning Commission for an investigation and recommendation. The Planning Commission may make such investigations as it deems appropriate or necessary and for the purpose may require the submission of pertinent information by any person concerned and may hold such public hearings as are appropriate in its judgment.

The Planning Commission shall formulate its recommendation on said amendment or change and shall submit its recommendation and pertinent supporting information to the County Commissioners within 90 days after the Planning Commission's decision of recommendation, unless an extension of time is granted by the County Commissioners.

After receiving the recommendation of the Planning Commission concerning any such amendment, and before adopting or denying same, the County Commissioners shall hold a public hearing in reference thereto in order that parties of interest and citizens shall have an opportunity to be heard. The County Commissioners shall give public notice of such hearing.

- D. Where the purpose and effect of the proposed amendment is to change the zoning classification of property, the County Commissioners shall make findings of fact in each specific case including but not limited to the following matters:

population change, availability of public facilities, present and future transportation patterns, compatibility with existing and proposed development and existing environmental conditions for the area, including no adverse impact on waters included on the State's Impaired Waters List or having an established total maximum daily load requirement, the recommendation of the Planning Commission, and compatibility with the County's Comprehensive Plan. The County Commissioners may grant the map amendment based upon a finding that (a) there a substantial change in the character of the neighborhood where the property is located since the last zoning of the property, or (b) there is a mistake in the existing zoning classification and that a change in zoning would be

more desirable in terms of the objectives of the Comprehensive Plan.

The fact that an application for a map amendment complies with all of the specific requirements and purposes set forth above shall not be deemed to create a presumption that the proposed reclassification and resulting development would in fact be compatible with the surrounding land uses and is not, in itself, sufficient to require the granting of the application.

- E. No application for map amendment shall be accepted for filing by the office of the County Commissioners if the application is for the reclassification of the whole or any part of the land for which the County Commissioners have denied reclassification within the previous 12 months as measured from the date of the County Commissioners' vote of denial. However, the County Commissioners may grant reasonable continuance for good cause or may allow the applicant to withdraw an application for map amendment at any time, provided that if the request for withdrawal is made after publication of the notice of public hearing, no application for reclassification of all or any part of the land which is the subject of the application shall be allowed within 12 months following the date of such withdrawal, unless the County Commissioners specify by formal resolution that the time limitation shall not apply.

ATTACHMENT IN SUPPORT OF REZONING APPLICATION,
SALT GRASS BALI-HI, LLC

INTRODUCTION

Salt Grass Bali-Hi, LLC, a Maryland Limited Liability Company, by its attorney, Hugh Cropper, IV, respectfully submits the following in support of its rezoning application:

This is an application for a Map Amendment to rezone approximately 24.031 acres of land, located on the south side of St. Martins Neck Road, and the west side of Salt Grass Point Road, from E-1, Estate District, to A-2, Agricultural District.

DEFINITION OF THE NEIGHBORHOOD

The proposed neighborhood is set forth on the exhibit attached hereto, and incorporated herein by reference.

MISTAKE

The applicant contends there was a mistake, albeit a good faith mistake, in the March 3, 2009 Comprehensive Rezoning process.

Outparcel 1 is a separate subdivided parcel, by virtue of the plat recorded in Plat Book SVH 234, Folios 8-17. The majority of Outparcel 1 is located **outside the Atlantic Coastal Bays Critical Area.** There is a small remnant of Outparcel 1 located in the Critical Area.

As a condition of the rezoning application, the applicant would be willing to submit a Boundary Line Adjustment Plat, so that the southerly boundary line of Parcel 1 aligned with the Critical Area Boundary. This would become the new zoning boundary.

In hindsight, the property should have been zoned Agricultural District.

The property is designated Agricultural by virtue of the Worcester County Land Use Map dated March 7, 2006. The easterly portion of the property is currently under cultivation as agricultural fields.

The westerly portion of Outparcel 1 is primarily wooded non-tidal wetlands, and is not suitable for any type of use or development.

The property is not currently allocated any EDU's, and the soils are such

that on-site septic systems would be difficult, if not impossible, to permit. Also, the desirability of such systems would be limited.

It is neither desirable, nor is the property adequately suited, for an estate type development, with two acre residential lots.

There is absolutely no market for such lots, and the cost of infrastructure would outweigh the value of such a development.

By contrast, the subject property is the suitable for agriculture; the majority of the property is currently under cultivation for corn and soybeans. The remainder of the property is wooded non-tidal wetlands, which is also in accord with the proposed agricultural zoning district.

If the property is rezoned to agricultural district, the property owner could apply for a special exception to operate a rental campground. This would be the highest and best utilization of the property. Also, a rental campground would justify a connection to the Lighthouse Sound Sanitary Service Area, so the property could be served by a municipal septic facility. This is far more desirable than on-site septic systems, which would have to be installed in an estate type development.

There are other agricultural and campground uses in the area, so the agricultural zoning district would be more consistent with the character of the neighborhood.

**SUBSTANTIAL CHANGE IN THE CHARACTER OF THE NEIGHBORHOOD
SINCE THE LAST COMPREHENSIVE REZONING**

The primary basis for this rezoning is a mistake; however, there have been substantial changes in the character of the neighborhood.

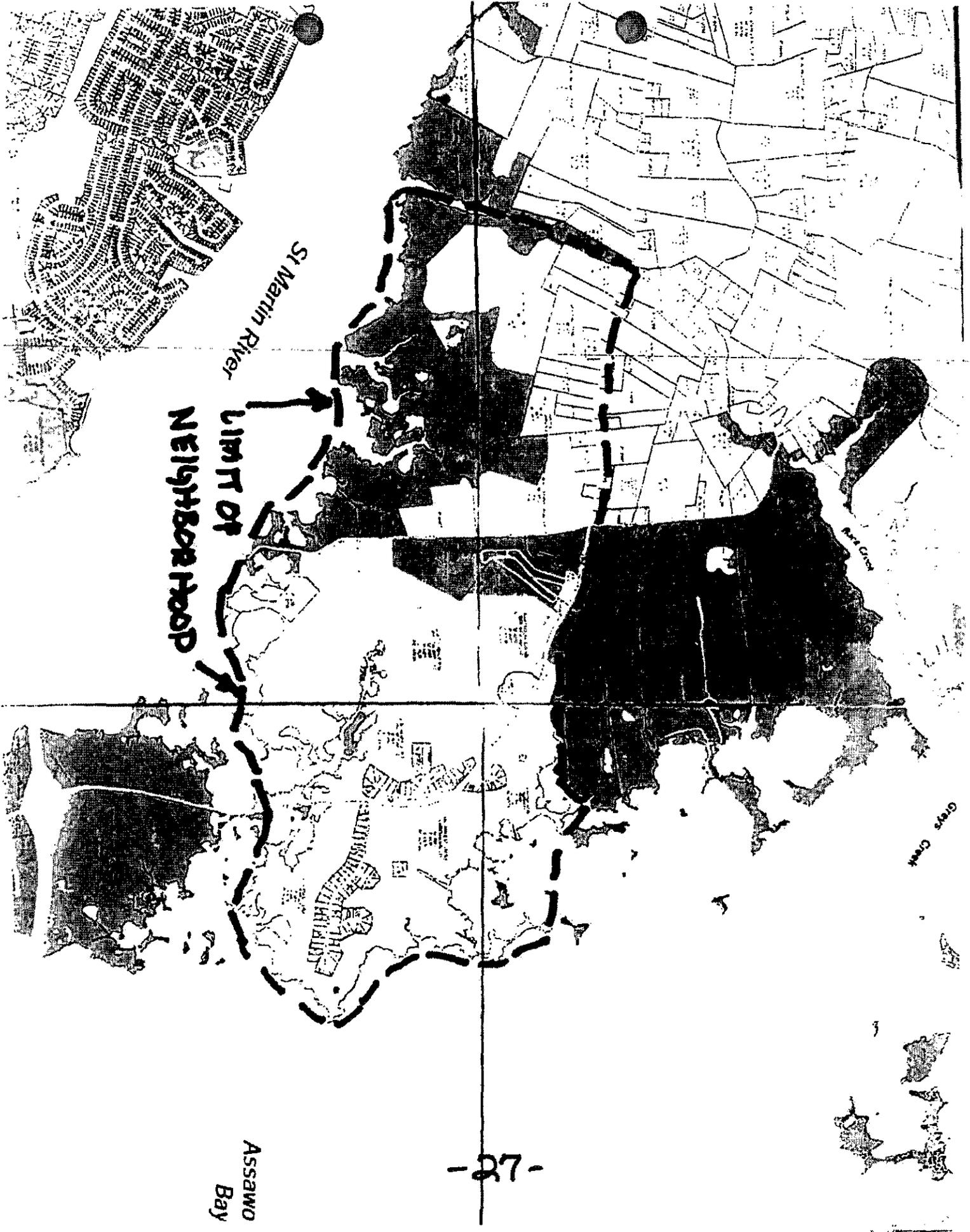
Specifically, there have been upgrades to the Lighthouse Sound Wastewater Treatment Facility, and proposed upgrades, which could possibly permit the subject property to connect to that Facility. This opportunity was not available on November 3, 2009. If this is the case, it will allow the property owner to utilize this property as its highest and best use, which is probably a special exception for a rental campground. The Bali-Hi Campground, which has existed for many, many years, is located just east of this property.

The opportunity to connect this property to a public sewer system is truly a substantial change to the character of the neighborhood, and should justify the requested rezoning.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Hugh Cropper IV", written over a horizontal line.

**Hugh Cropper IV, Attorney for
Applicant**



LIMIT OF
NEIGHBORHOOD

St Martin River

ASSAWO
Bay

Greys Creek

LAW OFFICES

**BOOTH BOOTH
CROPPER & MARRINER P.C.**

CURTIS H. BOOTH
BRYNJA MCDIVITT BOOTH
HUGH CROPPER IV
THOMAS C. MARRINER*
ELIZABETH ANN EVINS
ROY B. COWDREY, JR. **

* ADMITTED IN MD & DC
** OF COUNSEL

9923 STEPHEN DECATUR HIGHWAY, #D-2
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(410) 213-2681

EMAIL: hcropper@bbcmlaw.com

EASTON OFFICE

130 NORTH WASHINGTON ST.
EASTON, MD 21601
(410) 822-2929
FAX (410) 820-6586

WEBSITE

www.bbcmlaw.com

October 29, 2015

Phyllis H. Wimbrow, Deputy Director
Worcester County Department of
Development, Review & Permitting
One West Market Street
Snow Hill, Maryland 21863

RE: **Salt Grass Bali-Hi, LLC Rezoning**

Dear Phyllis:

Regarding the above referenced rezoning application, I am requesting to rezone that portion of Worcester County Tax Map 10, Parcel 31, located on the west side of Salt Grass Point Road, and outside the Atlantic Coastal Bays Critical Area geographical boundary, which is estimated to be 31.67 acres of land, more or less. In other words, it is all those properties located west of Salt Grass Point Road, and south of St. Martins Neck Road, owned by my client, outside the 1,000 foot Critical Area line.

If the rezoning is granted, the Critical Area line will become the Zoning District Boundary.

If you will let me know the fee based upon this amount of acreage, I am happy to get you a check right away.

Bob Hand is working on a plat for the hearing, but as soon as it is done, I will have him send it to you directly.

Mrs. Phyllis H. Wimbrow
October 29, 2015
Page Two

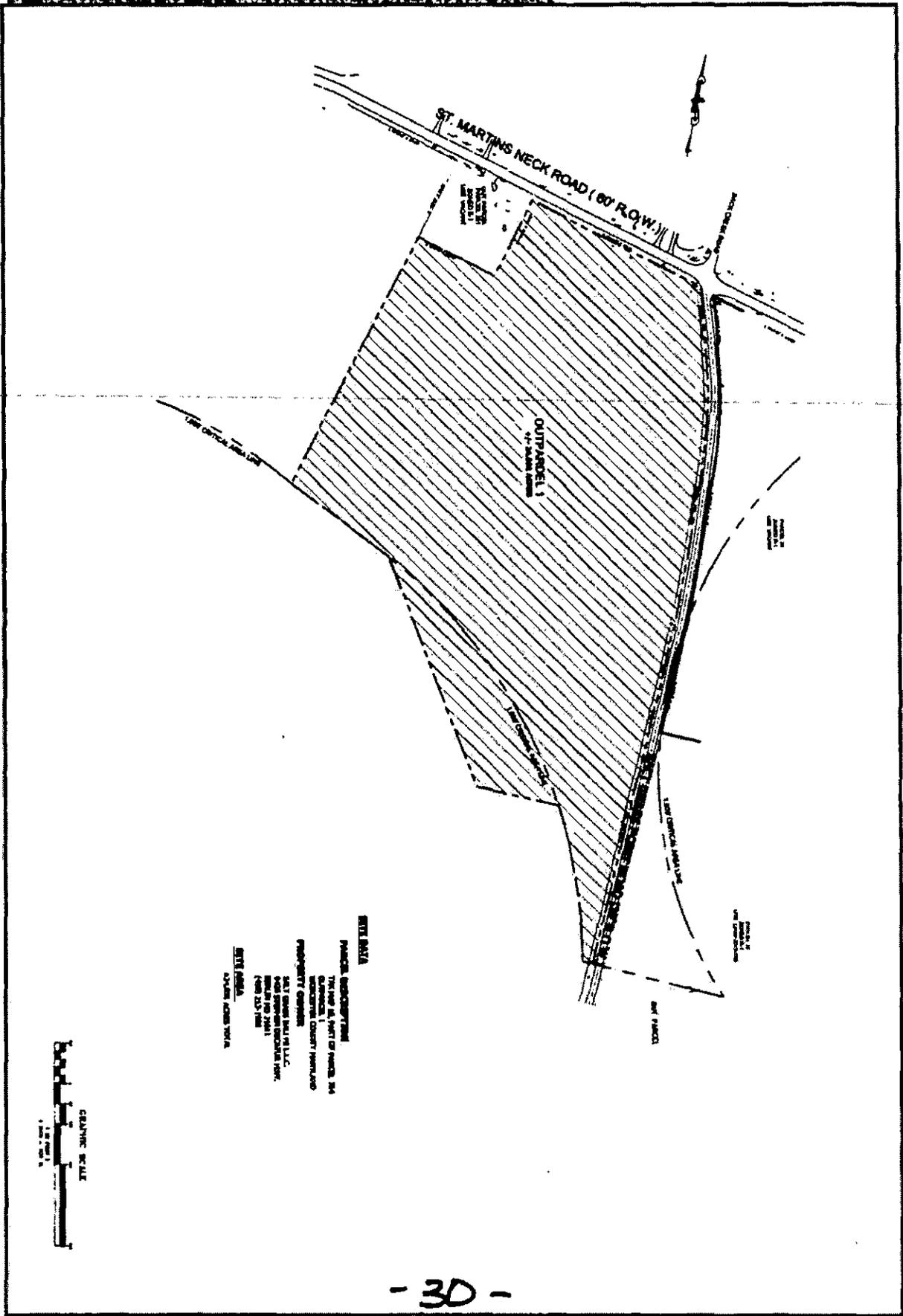
Thank you, and have a great day.

Very truly yours,



Hugh Cropper IV

HC/tgb
CC: Robert Hand
James R. Bergey, CPA



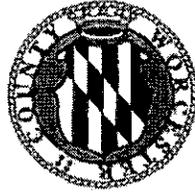
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1-7
SHEET

RD. HAND AND ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE, SITE PLANNING AND FEASIBILITY
 18202 Collins Road, Bethesda, MD. 20812 410-352-6800

ZONING EXHIBIT
 TAX MAP 10, P/O PARCEL 314
 OUTPARCEL 1
 WORCESTER COUNTY MARYLAND

SITE DATA
PARCEL DESCRIPTION
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Worcester County
Department of Environmental Programs

Memorandum

To: Phyllis Wimbrow, Deputy Director, DDRP

From: Robert J. Mitchell, LEHS, REHS
Director, Environmental Programs

Subject: Comments on Rezoning Case No. 398

Date: 12/16/15

This response to your request for comments is prepared for the map amendment application associated with the above referenced property. The Worcester County *Zoning and Subdivision Control Article*, Section ZS1-113(c)(3), states that the applicant must affirmatively demonstrate that there has been a substantial change in the character of the neighborhood since the last zoning of the property or that a mistake has been made in the existing zoning classification. The application argues that there was an honest mistake in the Comprehensive Rezoning that was approved by the County Commissioners on November 3, 2009. The Code requires that the Commissioners find that the proposed "change in zoning" would be more desirable in terms of the objectives of the *Comprehensive Plan*.

Referring to the *Comprehensive Plan*, there is only one land use designation for the area of the subject property included in this rezoning request. The area is designated Agriculture in the *Plan*. This district is reserved for farming, forestry and related industries with *minimal* residential and other incompatible uses permitted. It is expected that residential and other conflicting land uses although permitted, are discouraged within this district. The areas adjacent to this property are all in either the Agricultural or Existing Developed land use districts, with the exception of the shoreline portions of the adjacent properties to the west of the subject property that border the St. Martins River and are designated Green Infrastructure in the *Plan*.

The property is similarly surrounded by different zoning designations of estate, agricultural and resource protection. The surrounding zoning and uses are compatible with their corresponding land use designations in the *Comprehensive Plan*.

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Citizens and Government Working Together

The Department of Environmental Programs has the following specific comments:

1. The subject property is located within the boundaries of the Lighthouse Sound sewer planning area. A sewer planning area designation of S-1 for the property to be included in the Lighthouse Sound sewer planning area was approved under County Commissioner Resolution 06-27 and is a part of the *Master Water and Sewerage Plan*. This was done as a part of the Salt Grass Road Farms planning amendment. The original amendment was to connect a proposed subdivision that was to be built on the subject property. I have enclosed a map of that amendment to this memo.
2. There have been examinations of varying degrees on the potential to expand the capacity of the Lighthouse Sound Wastewater Treatment plant. While the amendment referenced above did provide capacity for a proposed residential subdivision on the subject property, it would not provide near enough capacity to service the rental campground use mentioned by Mr. Cropper in his attachment in Support of the Rezoning Application. We expect that there will be future investigations and findings on just what that capacity will be and decisions on what can be approved by local and state agencies. The capacity potentially exists to expand, but that is a complicated questions as the answer lies in in providing solutions to both treatment and land application concerns. Providing sufficient answers to regulatory concerns with capacity evaluations and site investigations will fall on the shoulders of the owners of the subject property and their development partners if it is their intent to proceed with a rental campground should this rezoning be approved.
3. The subject property lies outside the Worcester County Atlantic Coastal Bays Critical Area. If the subject property is enjoined with adjacent lands to the south in development of a rental campground, all proposed development activities conducted inside critical area boundaries must meet the requirements of Title 3 (Land and Water Resources), Subtitle I (Atlantic Coastal Bays Bay Critical Area) of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.

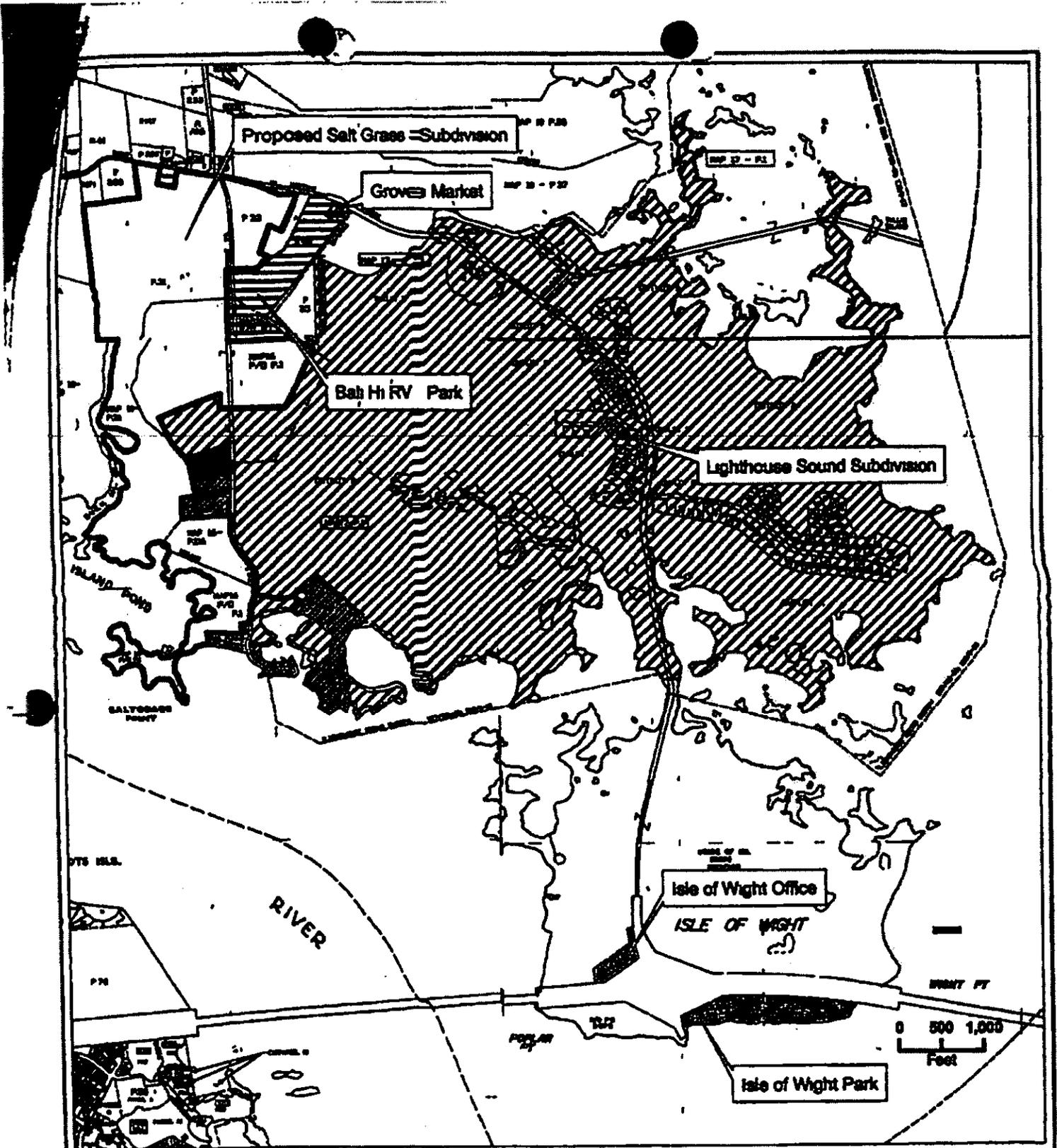
If you have any questions on these comments, please do not hesitate to contact me.

Attachment

-32-

Citizens and Government Working Together

WORCESTER COUNTY GOVERNMENT CENTER 1 WEST MARKET STREET, ROOM 1306 SNOW HILL, MARYLAND 21863-1249
TEL: 410-832-1220 FAX: 410-832-2012



-  Proposed S-1 -- Salt Grass Sub-division
-  Proposed S-1-- Septic Connections
-  S1- Present-2 years
-  Private System

Water and Sewer Plan Amendment
Lighthouse Sound
S-1 Proposed
Case 2006-1



State Highway Administration

Maryland Department of Transportation

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor

Pete K. Rahn, Secretary
Gregory C. Johnson, P.E., Administrator

November 30, 2015

Ms. Phyllis H. Wimbrow, Deputy Director
Department of Development Review and Permitting
Worcester County Government Center
One West Market Street, Room 1201
Snow Hill, MD 21863

RE: Worcester County
Rezoning Application Case No: 398
GCR Development, LLC
Tax Map 10; Parcel P/O 314; Lot Outparcel 1

Dear Ms. Wimbrow:

Thank you for the opportunity to review the Rezoning Application for Case No: 398 in Worcester County. The State Highway Administration (SHA) has reviewed the application and associated documents. We are pleased to respond.

Rezoning is a land use issue, which is not under the jurisdiction of the SHA. Saint Martians Neck Road in the area of Salt Grass Point Road is identified as County Road 220 and not a state highway. Therefore the SHA has no comment regarding the case.

Thank you again for the opportunity to provide a response. If you have any questions regarding our response, please feel free to contact Ms. Rochelle Outten, District 1 Regional Engineer for Access Management via email routten@sha.state.md.us or by calling her directly 410-677-4098.

Very truly yours,

Donnie L. Drewer,
District Engineer

Cc:
Ms. Rochelle Outten, Regional Engineer- D-1 SHA

My telephone number/toll-free number is 1-800-825-4742
Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 660 West Road, P. O. Box 2679 • Salisbury, Maryland 21802 • Phone: 410-677-4000 • FAX: 410-543-6598
www.roads.maryland.gov



Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MARYLAND 21863

MEMORANDUM

JOHN H. TUSTIN, P.E.
DIRECTOR

JOHN S. ROSS, P.E.
DEPUTY DIRECTOR

TEL: 410-632-5623
FAX: 410-632-1753

TO: Phyllis H. Wimbrow, Deputy Director
FROM: Frank J. Adkins, Roads Superintendent (FA)
DATE: November 24, 2015
RE: Rezoning Case No. 398

DIVISIONS

MAINTENANCE
TEL: 410-632-3766
FAX: 410-632-1753

ROADS
TEL: 410-632-2244
FAX: 410-632-0020

SOLID WASTE
TEL: 410-632-3177
FAX: 410-632-3000

FLEET
MANAGEMENT
TEL: 410-632-5675
FAX: 410-632-1753

WATER AND
WASTEWATER
TEL: 410-641-5251
FAX: 410-641-5185

.....
Upon review of the above referenced rezoning case, I offer the following comments:

Rezoning Case 398: No comments at this time.

Should you have any questions, please do not hesitate to contact me.

cc: John H. Tustin, P.E., Director

FJA/lj
H:\Rezoning\Rezoning Case 398.doc



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410-632-1200 / FAX 410-632-3008
www.co.worcester.md.us/drp/drpindex.htm

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICE DIVISION

MEMO

TO: Robert Mitchell, Director, Worcester County Environmental Programs
 Fred Webster, Director, Worcester County Emergency Services
 Reggie Mason, Sheriff, Worcester County Sheriff's Office
 John H. Tustin, P. E., Director, Worcester County Public Works Department
 John Ross, P. E., Deputy Director, Worcester County Public Works Department
 Frank Adkins, Roads Superintendent, Worcester County Public Works
 Department
 Jeff McMahon, Fire Marshal, Worcester County Fire Marshal's Office
 Dr. Jerry Wilson, Superintendent, Worcester County Board of Education
 Donnie L. Drewer, District Engineer, Maryland State Highway Administration
 Lt. Earl W. Starner, Commander, Barracks V, Maryland State Police
 Debbie Goeller, Health Officer, Worcester County Health Department
 Rob Clarke, State Forester, Maryland Forest Services
 Nelson D. Brice, District Conservationist, Worcester County Natural Resources
 Conservation Service
 David Collins, Fire Chief, Bishopville Volunteer Fire Company

FROM: Phyllis H. Wimbrow, Deputy Director *PHW*

DATE: November 20, 2015

RE: Rezoning Case No. 398

The Worcester County Planning Commission is tentatively scheduled to review the above referenced rezoning application at its meeting on January 7, 2016. This application seeks to rezone approximately 24.031 acres of land from E-1 Estate District to A-2 Agricultural District. Uses allowed in the proposed zoning district include, but are not limited to, agriculture, single-family dwellings, rural cluster subdivisions, telecommunication towers, small and medium wind

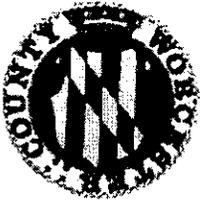
energy conversion systems, spray irrigation fields and storage lagoons, large solar energy systems, agricultural processing plants, agritainment facilities, wineries, golf courses, and campgrounds. With regard to residential uses, only minor subdivisions consisting of a maximum of five lots out of what was one parcel in 1967 are permitted. An additional lot may be feasible if clustering is utilized. In campgrounds, the density ranges from one tent site per 2,000 square feet of lot area to one recreational vehicle site per 3,000 square feet of lot area. Please note that other considerations such as sewage disposal, placement of roads serving the development, and open space requirements affect maximum permitted density to some degree.

For your reference I have attached a copy of the rezoning application and associated documents and a series of maps showing the property petitioned for rezoning. These maps include an aerial photo as well as maps showing the floodplain, hydric soils, Comprehensive Plan Land Use Classifications, the location, soils, and zoning.

The Planning Commission would appreciate any comments you or your designee might offer with regard to the effect that this application and potential subsequent development of the site may have on the plans, facilities or services for which your agency is responsible. If no response is received by *December 16, 2015 at the latest*, the Planning Commission will have to assume that the proposed rezoning, in your opinion, will have no effect on your agency, that the application is compatible with your agency's plans, that your agency has or will have adequate facilities and resources to serve the proposed rezoning and its subsequent land uses and that you have no objection to the Planning Commission stating this information in its report to the Worcester County Commissioners.

If you have any questions or require further information, please do not hesitate to call this office or email me at pwimbrow@co.worcester.md.us. On behalf of the Planning Commission, thank you for your attention to this matter.

Attachments



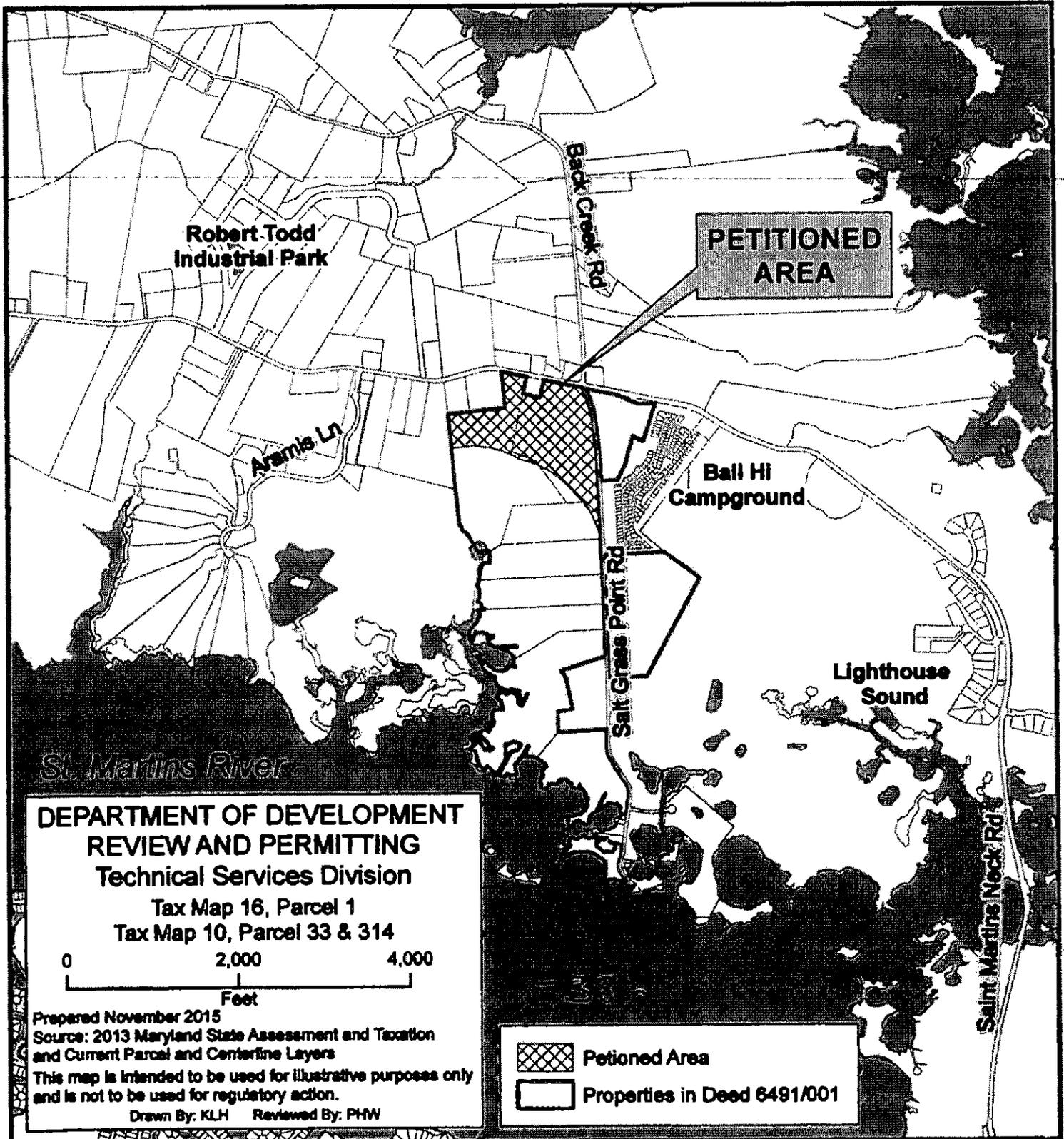
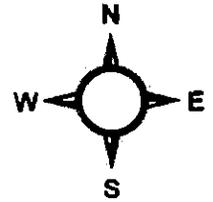
WORCESTER COUNTY, MARYLAND

REZONING CASE NO. 398

MAP AMENDMENT REQUEST

E-1 Estatel District to A-2 Agricultural District

LOCATION MAP



PETITIONED AREA

Robert Todd Industrial Park

Aramis Ln

Back Creek Rd

Ball Hi Campground

Salt Grass Point Rd

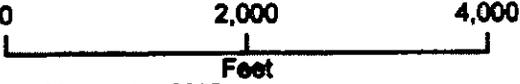
Lighthouse Sound

St. Martins River

Saint Martins Neck Rd

**DEPARTMENT OF DEVELOPMENT
REVIEW AND PERMITTING
Technical Services Division**

**Tax Map 16, Parcel 1
Tax Map 10, Parcel 33 & 314**



Prepared November 2015
Source: 2013 Maryland State Assessment and Taxation
and Current Parcel and Centerline Layers
This map is intended to be used for illustrative purposes only
and is not to be used for regulatory action.
Drawn By: KLH Reviewed By: PHW

- Petioned Area
- Properties in Deed 6491/001

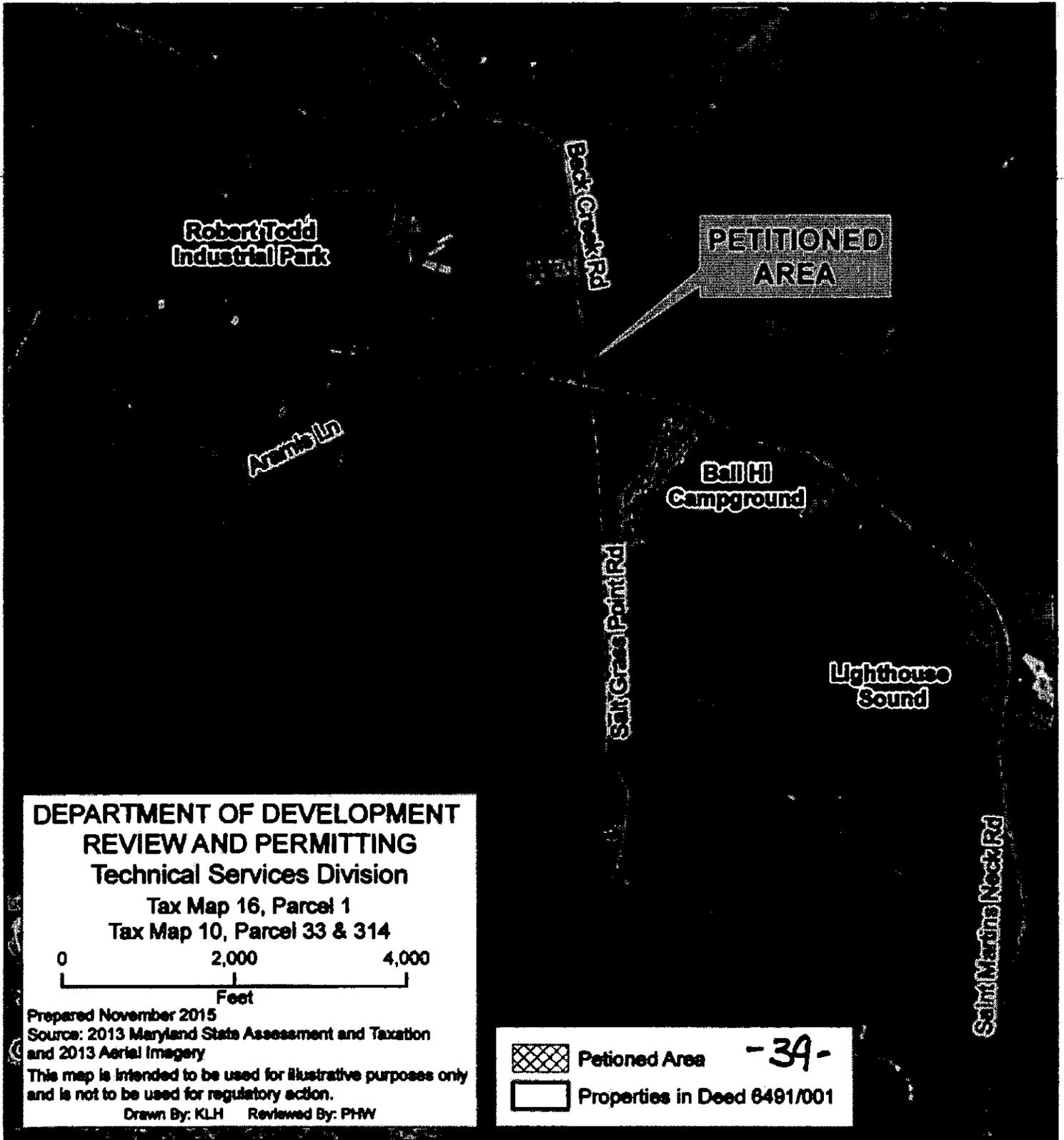
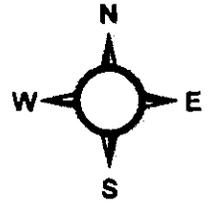


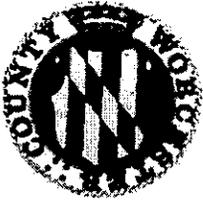
WORCESTER COUNTY, MARYLAND

REZONING CASE NO. 398

MAP AMENDMENT REQUEST E-1 Estatel District to A-2 Agricultural District

AERIAL MAP





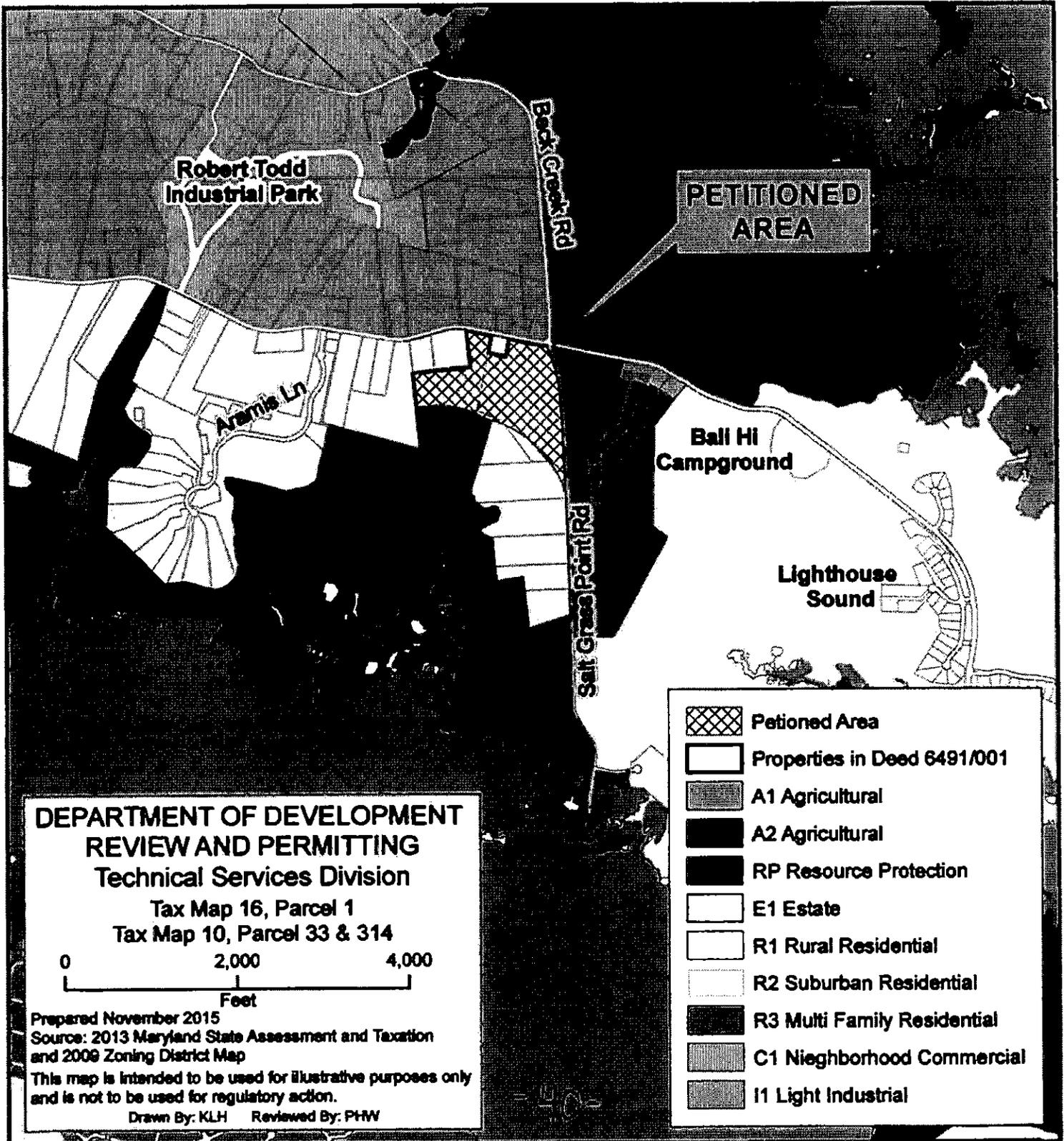
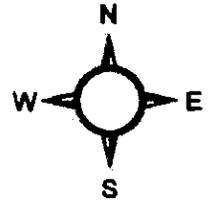
WORCESTER COUNTY, MARYLAND

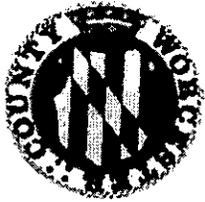
REZONING CASE NO. 398

MAP AMENDMENT REQUEST

E-1 Estatel District to A-2 Agricultural District

ZONING MAP





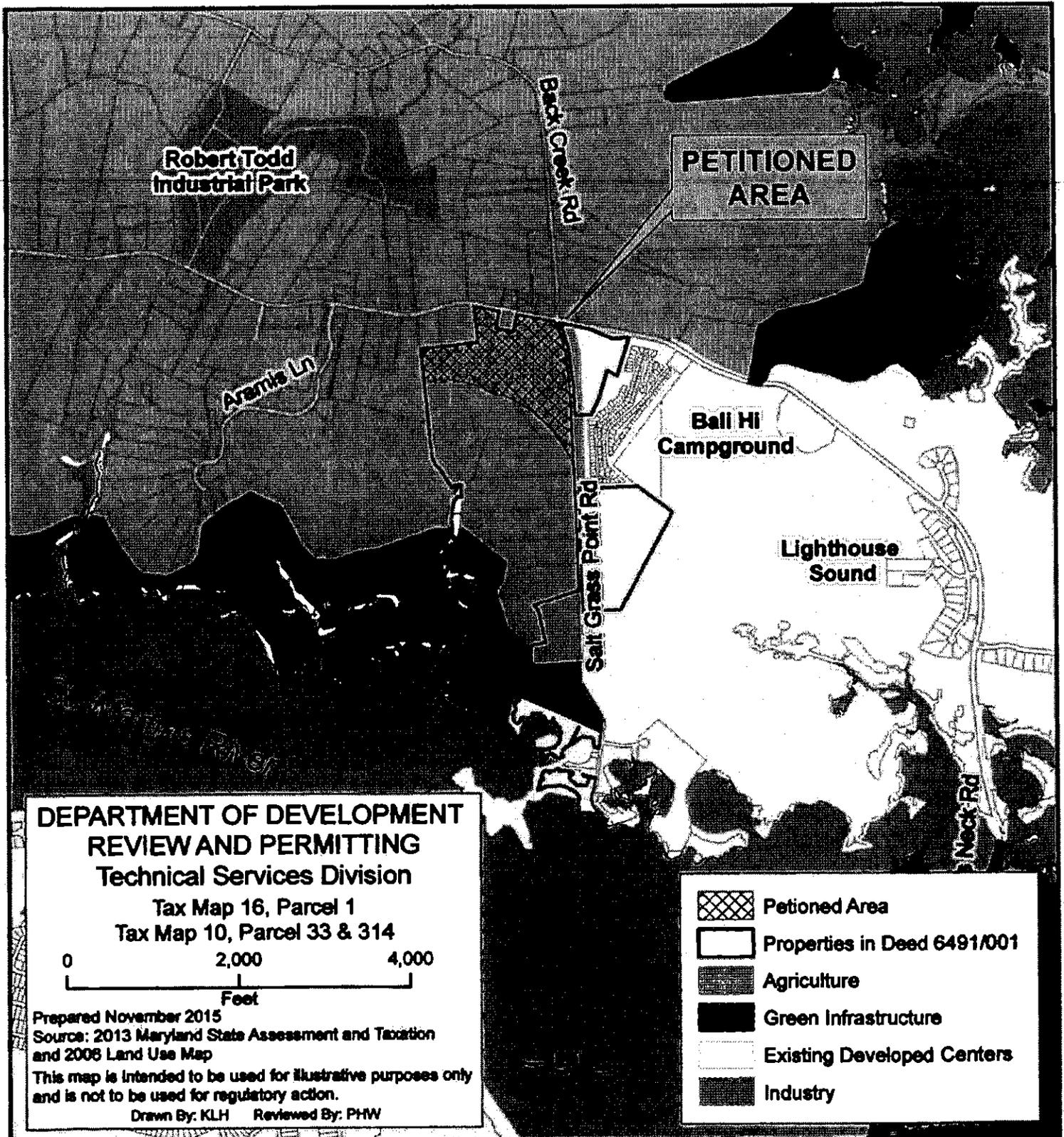
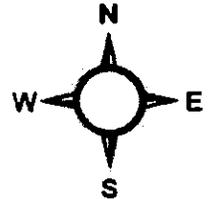
WORCESTER COUNTY, MARYLAND

REZONING CASE NO. 398

MAP AMENDMENT REQUEST

E-1 Estatel District to A-2 Agricultural District

LAND USE MAP



**PETITIONED
AREA**

**Robert Todd
Industrial Park**

Aramis Ln

Back Creek Rd

Salt Grass Point Rd

Neck Rd

**Bali Hi
Campground**

**Lighthouse
Sound**

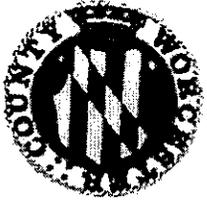
**DEPARTMENT OF DEVELOPMENT
REVIEW AND PERMITTING
Technical Services Division**

Tax Map 16, Parcel 1
Tax Map 10, Parcel 33 & 314

0 2,000 4,000
Feet

Prepared November 2015
Source: 2013 Maryland State Assessment and Taxation
and 2008 Land Use Map
This map is intended to be used for illustrative purposes only
and is not to be used for regulatory action.
Drawn By: KLH Reviewed By: PHW

-  Petioned Area
-  Properties in Deed 6491/001
-  Agriculture
-  Green Infrastructure
-  Existing Developed Centers
-  Industry



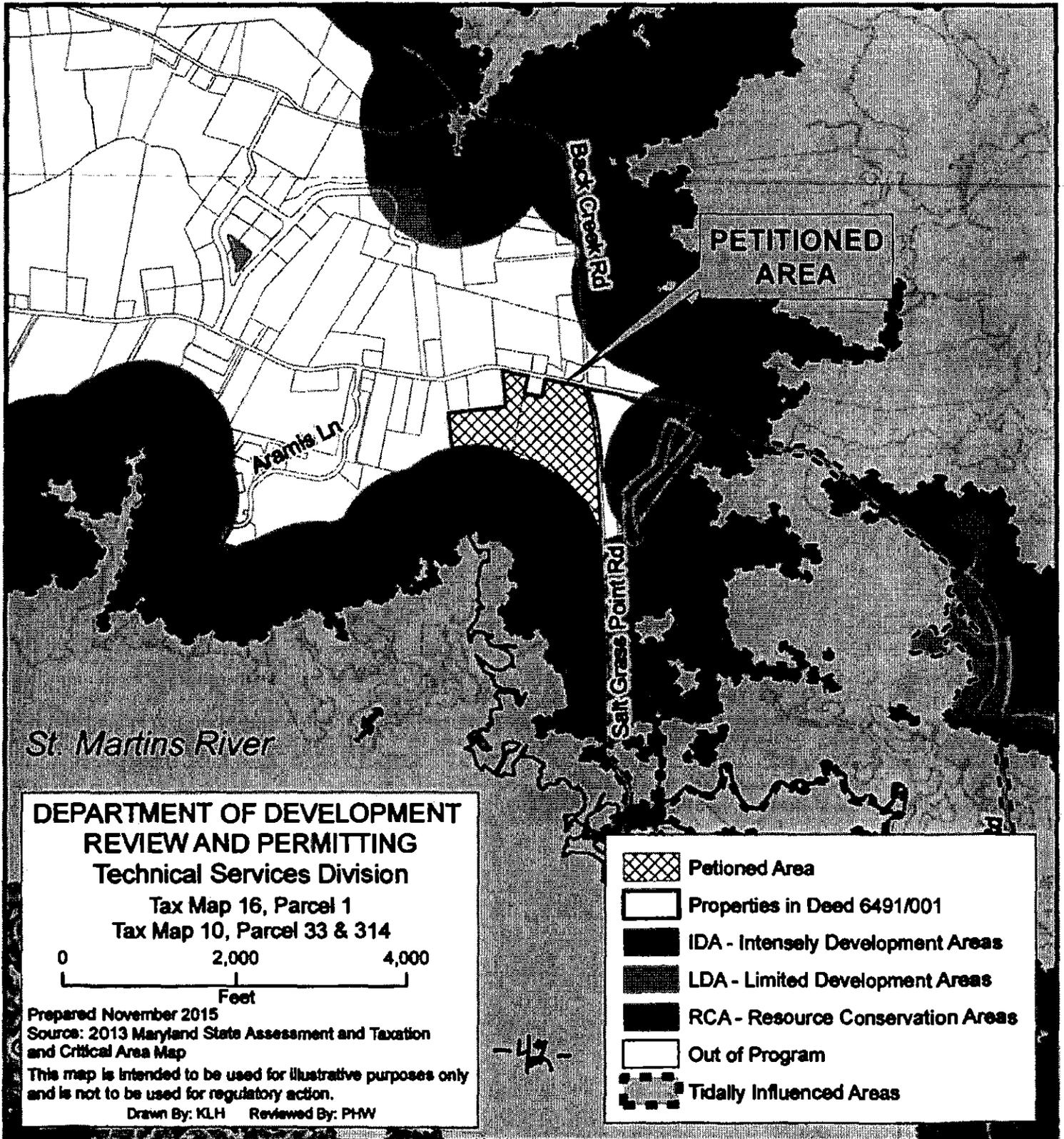
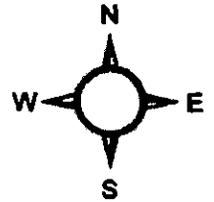
WORCESTER COUNTY, MARYLAND

REZONING CASE NO. 398

MAP AMENDMENT REQUEST

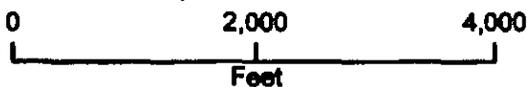
E-1 Estatel District to A-2 Agricultural District

CRITICAL AREA MAP



**DEPARTMENT OF DEVELOPMENT
REVIEW AND PERMITTING
Technical Services Division**

Tax Map 16, Parcel 1
Tax Map 10, Parcel 33 & 314



Prepared November 2015
Source: 2013 Maryland State Assessment and Taxation
and Critical Area Map

This map is intended to be used for illustrative purposes only
and is not to be used for regulatory action.

Drawn By: KLH Reviewed By: PHW

- Petitioned Area
- Properties in Deed 6491/001
- IDA - Intensely Development Areas
- LDA - Limited Development Areas
- RCA - Resource Conservation Areas
- Out of Program
- Tidally Influenced Areas

-47-



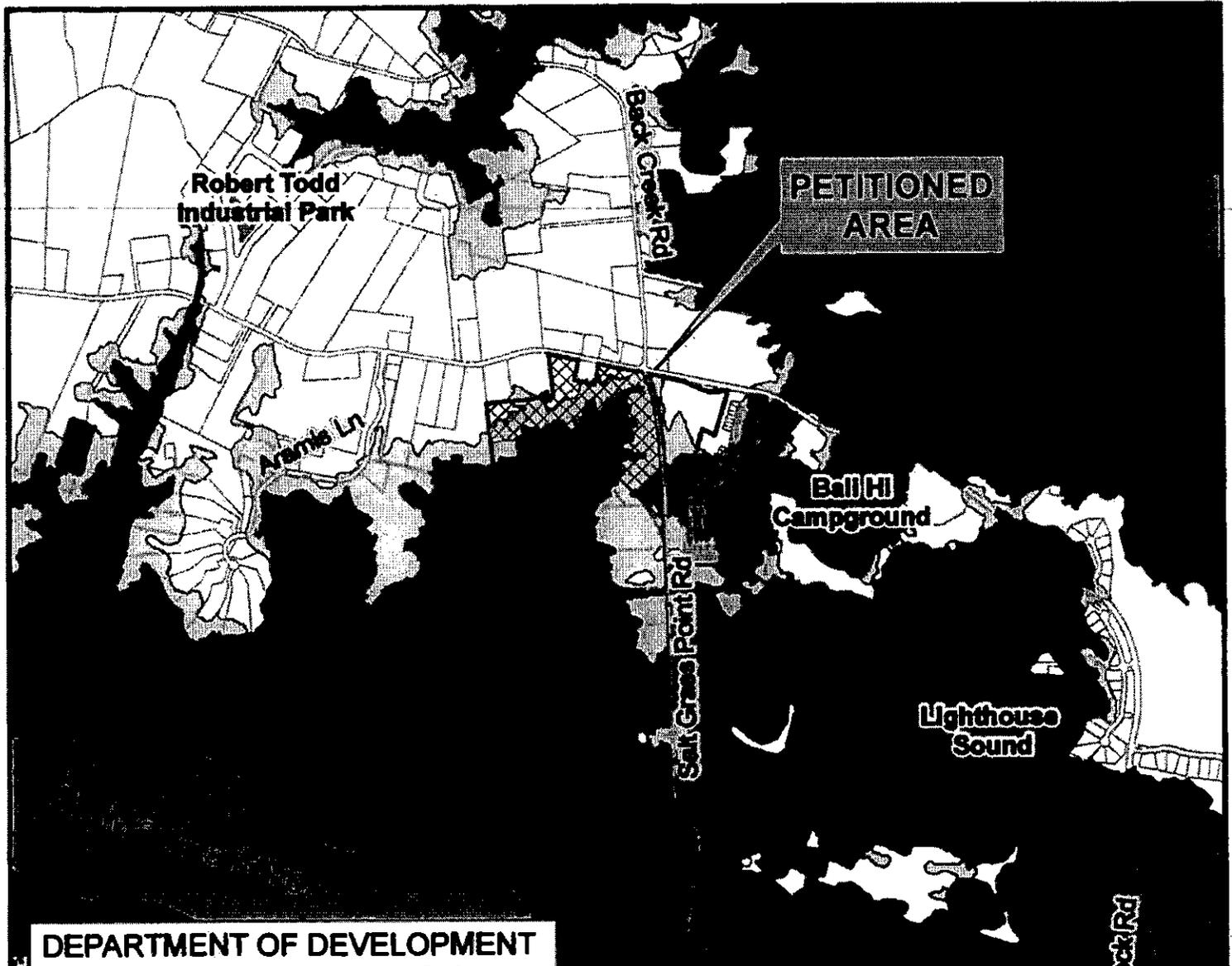
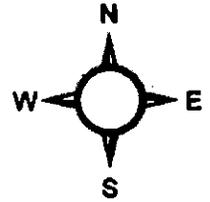
WORCESTER COUNTY, MARYLAND

REZONING CASE NO. 398

MAP AMENDMENT REQUEST

E-1 Estatel District to A-2 Agricultural District

FLOOD MAP



**PETITIONED
AREA**

**Robert Todd
Industrial Park**

Annis Ln

Back Creek Rd

Salt Grass Point Rd

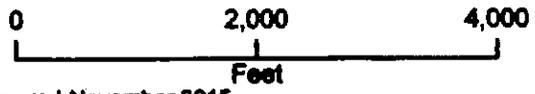
**Ball HI
Campground**

**Lighthouse
Sound**

Stk Rd

**DEPARTMENT OF DEVELOPMENT
REVIEW AND PERMITTING
Technical Services Division**

Tax Map 16, Parcel 1
Tax Map 10, Parcel 33 & 314



Prepared November 2015
Source: 2013 Maryland State Assessment and Taxation
and 2015 FEMA FIRM Maps

This map is intended to be used for illustrative purposes only
and is not to be used for regulatory action.

Drawn By: KLH Reviewed By: PHW

-  Petitioned Area
-  Properties in Deed 6491/001
-  AE - 100 Year w/ Base Flood Elevation
-  A - 100 Year w/o Base Flood Elevation
-  VE - 100 Year w/ Coastal Wave Velocity
-  X - 0.2% Annual Chance Flood
-  X - Area of Minimal Flooding



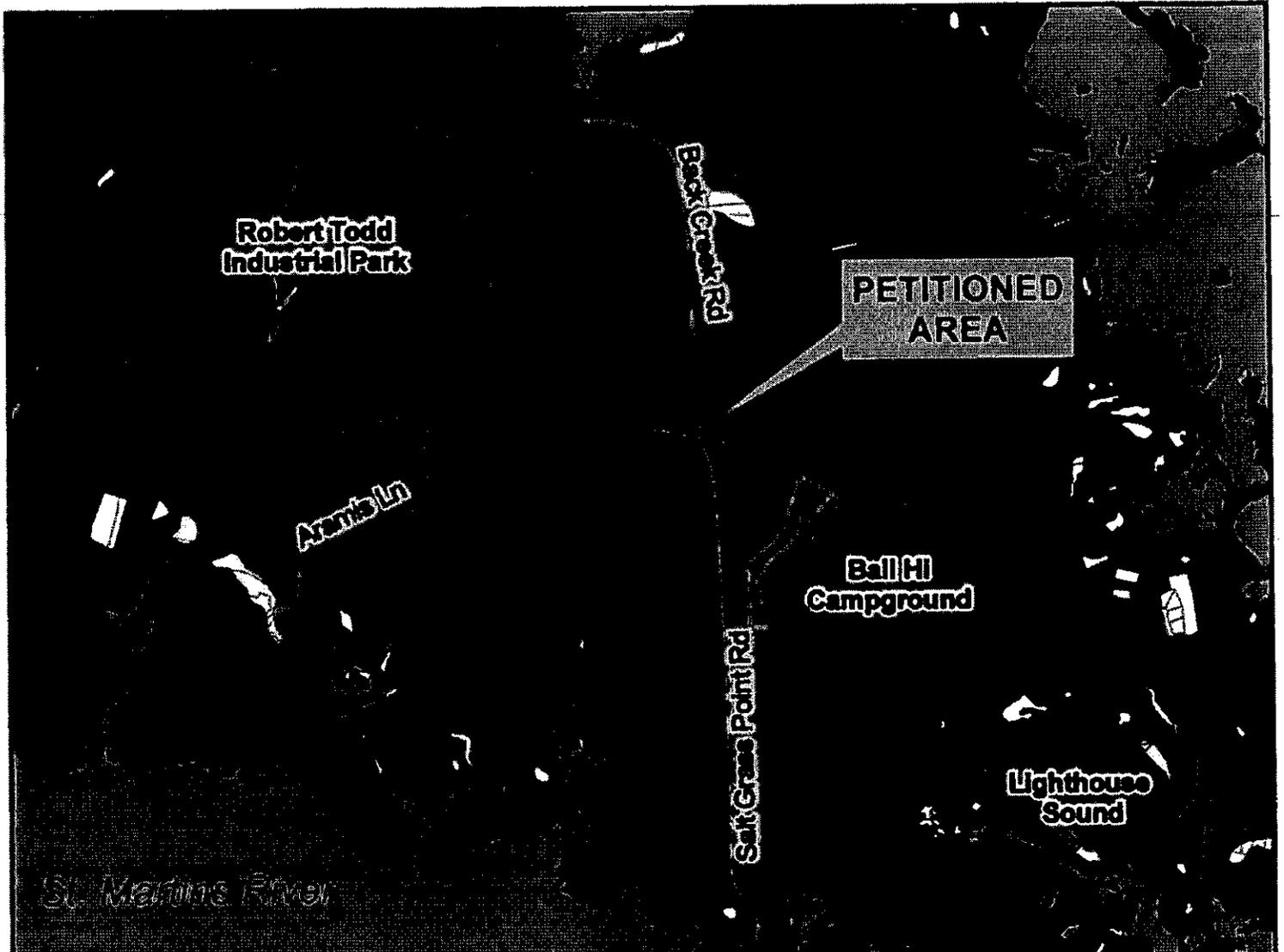
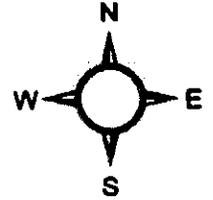
WORCESTER COUNTY, MARYLAND

REZONING CASE NO. 398

MAP AMENDMENT REQUEST

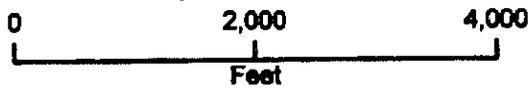
E-1 Estatel District to A-2 Agricultural District

SOILS MAP



**DEPARTMENT OF DEVELOPMENT
REVIEW AND PERMITTING
Technical Services Division**

Tax Map 16, Parcel 1
Tax Map 10, Parcel 33 & 314



Prepared November 2015
Source: 2013 Maryland State Assessment and Taxation
and 2007 Soil Survey

This map is intended to be used for illustrative purposes only
and is not to be used for regulatory action.

Drawn By: KLH Reviewed By: PHW

-  Petitioned Area
-  Properties in Deed 6491/001
-  Excessively Drained
-  Somewhat Excessively Drained
-  Moderately Well Drained
-  Well Drained
-  Poorly Drained
-  Very Poorly Drained



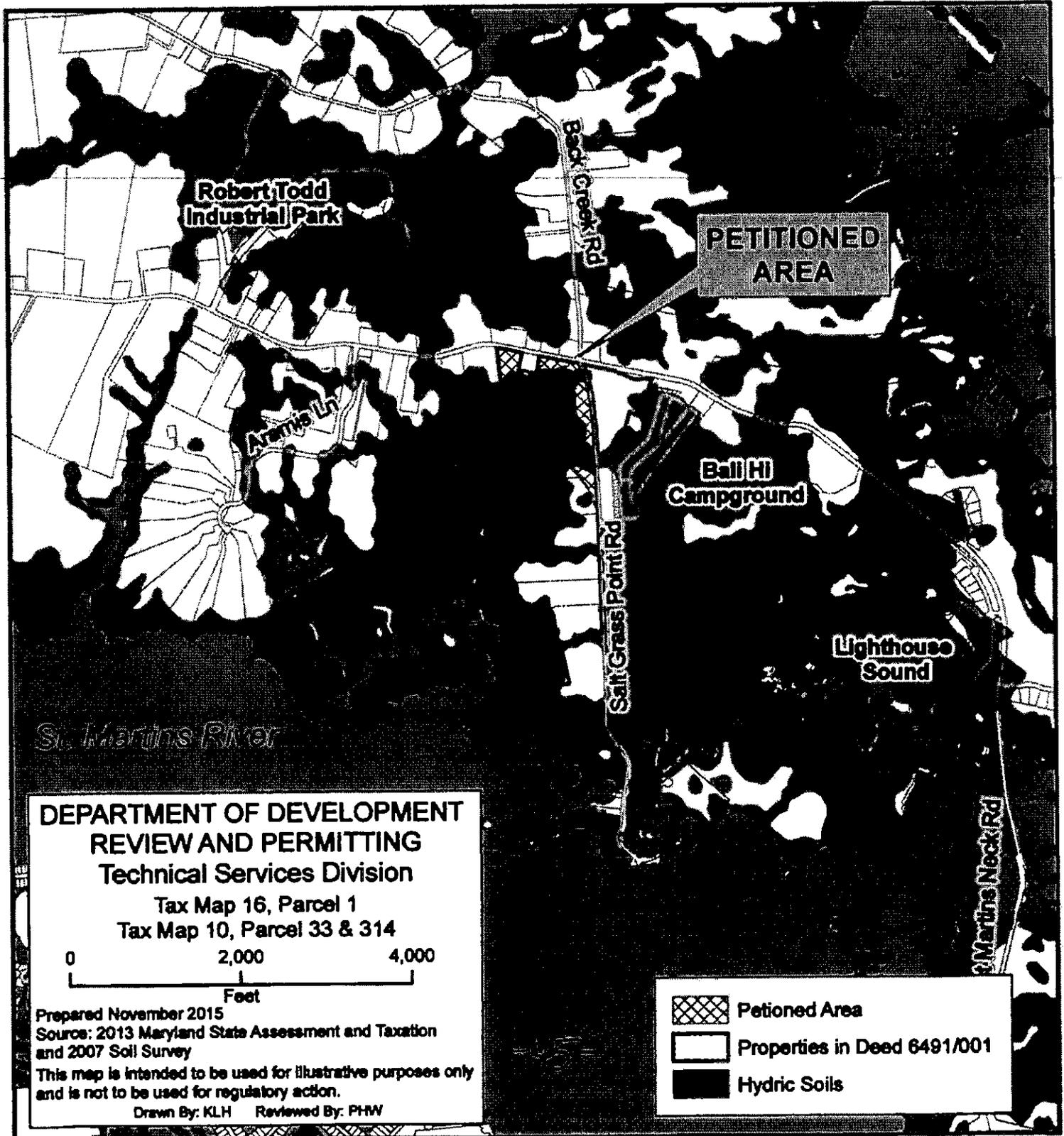
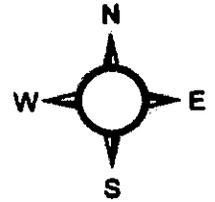
WORCESTER COUNTY, MARYLAND

REZONING CASE NO. 398

MAP AMENDMENT REQUEST

E-1 Estatel District to A-2 Agricultural District

HYDRIC SOILS MAP





20

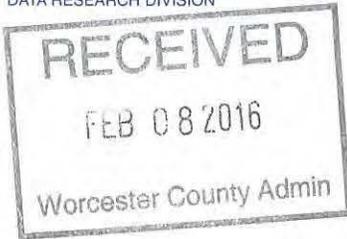
DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410-632-1200 / FAX: 410-632-3008
www.co.worcester.md.us/drpd/index.htm

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICE DIVISION

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION



MEMORANDUM

TO: Harold L. Higgins, Chief Administrative Officer
FROM: Edward A. Tudor, Director *EAT*
DATE: February 8, 2016
RE: Text Amendment Application - Commercial Marine
Yards in the CA Commercial Airport District



The Department is in receipt of a text amendment application submitted by Mr. Mark Cropper seeking to amend various sections of the CA Commercial Airport District regulations to permit commercial marine yards and associated uses and to modify the district height regulations.

A detailed memorandum prepared by Phyllis H. Wimbrow, Deputy Director, outlining the proposed amendment and the Planning Commission's favorable recommendation is attached herewith. Also included are copies of the original application package and a draft copy of the amendment in Bill form. An electronic copy of the draft Bill has been forwarded to your office for your convenience should the County Commissioners wish to introduce the amendment at their upcoming legislative session.

As always, I will be available to discuss the matter with you and the County Commissioners at your convenience.

Attachments

cc: Phyllis H. Wimbrow, Deputy Director
Jennifer Keener, Zoning Administrator

COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND

BILL 16-

BY:

INTRODUCED:

A BILL ENTITLED

AN ACT Concerning

Zoning - Commercial Marine Yards in the CA Commercial Airport District

For the purpose of amending the Zoning and Subdivision Control Article to allow marine yards and associated uses in the CA Commercial Airport District.

Section 1. BE IT ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that Subsection § ZS 1-303(a) of the Zoning and Subdivision Control Article of the Code of Public Local Laws of Worcester County, Maryland be repealed and reenacted to read as follows:

- (a) Purpose and intent. This district is intended to provide for areas of adequate size in appropriate locations for the development of municipal or County airports, and other permitted uses, by or with the approval of the County or municipal governing body. It is the purpose of this district to recognize the municipal or County airports as commercial operations and land uses, to protect the users of the airports and to prevent any unreasonable limitation or impairment of the use and expansion of the airports and the public investment therein.

Section 2. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that Subsection § ZS 1-303(c)(7) of the Zoning and Subdivision Control Article of the Code of Public Local Laws of Worcester County, Maryland be repealed and reenacted and renumbered as Subsection § ZS 1-303(c)(8) to read as follows:

- (8) Governmental and other public buildings, structures and uses of a public-service type but not including recreational facilities such as tennis courts, swimming pools, parks, playgrounds, golf courses, including driving ranges, and other similar activities.

Section 3. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that a new Subsection § ZS 1-303(c)(7) of the Zoning and Subdivision Control Article of the Code of Public Local Laws of Worcester County, Maryland be enacted to read as follows:

- (7) Commercial marine yards, including fueling, boat launching and recovery, interior and exterior dry storage of seaworthy boats in operable condition, maintenance facilities for all types of hull, deck, interior and exterior repairs, painting, and boat construction.

DRAFT

Section 4. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that Subsection § ZS 1-305(n)(2) of the Zoning and Subdivision Control Article of the Code of Public Local Laws of Worcester County, Maryland be amended by the addition of a new Subsection § ZS 1-305(n)(2)E to read as follows:

E. Any building or structure allowed by Subsection § ZS 1-303(c).

Section 5. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that this Bill shall take effect forty-five (45) days from the date of its passage.

PASSED this _____ day of _____, 2016.

ATTEST:

WORCESTER COUNTY COMMISSIONERS

Harold L. Higgins
Chief Administrative Officer

Madison J. Bunting, Jr., President

Merrill W. Lockfaw, Jr., Vice President

Anthony W. Bertino, Jr.

James C. Church

Theodore J. Elder

Joseph M. Mitrecic

Diana Purnell



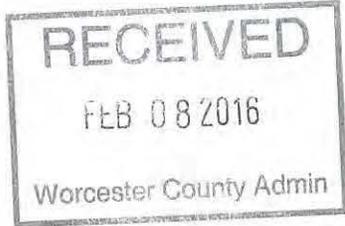
DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410-632-1200 / FAX: 410-632-3008
www.co.worcester.md.us/drp/drpindex.htm

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICE DIVISION

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION



MEMORANDUM

TO: Edward A. Tudor, Director
FROM: Phyllis H. Wimbrow, Deputy Director *PHW*
DATE: February 8, 2016
RE: Planning Commission Recommendation - Text Amendment
Application - Commercial Marine Yards in the CA Commercial Airport District



The purpose of this memo is to forward the Planning Commission's comments and recommendation regarding the above referenced text amendment application. The Planning Commission reviewed this application at its meeting on February 4, 2016. This application was submitted by Mark Cropper and seeks to amend various sections of the CA Commercial Airport District regulations of the Zoning and Subdivision Control Article to permit commercial marine yards and associated uses. Because the CA Airport District is not a district that is utilized very often and in fact is only applicable at present to the lands of the Ocean City Municipal Airport, a brief description of the district may be helpful. As stated in § ZS 1-303(a), this district is intended to provide for areas of adequate size in appropriate locations for the development of municipal or County airports by or with the approval of the county or municipal governing body. It is the purpose of this district to recognize the municipal or County airports as commercial operations and land uses, to protect the users of the airports and to prevent any unreasonable limitation or impairment of the use and expansion of the airports and the public investment therein. The CA Commercial Airport District is a floating zone and is permitted in the A-1 and A-2 Agricultural Districts and the I-1 and I-2 Industrial Districts. Land zoned RP Resource Protection District which is within the boundaries of the property subjected to a CA District may be included within the CA District boundaries. A copy of the CA Commercial Airport District regulations is attached as part of the staff report.

The text amendment application as submitted by Mr. Cropper seeks to amend several subsections of existing § ZS 1-303 to permit the proposed commercial marine yard use as well as a portion of existing § ZS 1-305(n)(2) to clarify height restrictions. Specifically, the requested amendments are as follows, showing proposed new language in SMALL CAPS font and language proposed to be deleted in ~~strikeout~~ font:

AMENDMENT TO EXISTING § ZS 1-303(a) to add reference to other permitted uses:

- (a) Purpose and intent. This district is intended to provide for areas of adequate size in appropriate locations for the development of municipal or County airports, AND OTHER PERMITTED USES, by or with the approval of the County or municipal governing body. It is the purpose of this district to recognize the municipal or County airports as commercial operations and land uses, to protect the users of the airports and to prevent any unreasonable limitation or impairment of the use and expansion of the airports and the public investment therein.

AMENDMENT TO EXISTING § ZS 1-303(c)(7) to remove reference to marinas and boat landings:

- (7) Governmental and other public buildings, structures and uses of a public-service type but not including recreational facilities such as tennis courts, swimming pools, ~~marinas and boat landings~~, parks, playgrounds, golf courses, including driving ranges, and other similar activities.

RENUMBER EXISTING § ZS 1-303(c)(7) as § ZS 1-303(c)(8) and CREATE NEW § ZS 1-303(c)(7) to add commercial marine yards, etc. to uses allowed in CA Commercial Airport District:

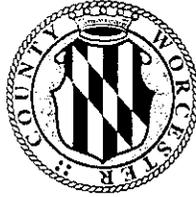
- (7) COMMERCIAL MARINE YARDS, INCLUDING FUELING, BOAT LAUNCHING AND RECOVERY, INTERIOR AND EXTERIOR DRY STORAGE OF SEAWORTHY BOATS IN OPERABLE CONDITION, MAINTENANCE FACILITIES FOR ALL TYPES OF HULL, DECK, INTERIOR AND EXTERIOR REPAIRS, PAINTING, AND BOAT CONSTRUCTION.

AMEND EXISTING § ZS 1-305(n)(2) to add a new Subsection § ZS 1-305(n)(2)E to include uses permitted within the CA Commercial Airport District to those structures which are not subject to the district height regulations, except for the AP District:

- E. ANY BUILDING OR STRUCTURE ALLOWED BY SUBSECTION § ZS 1-303(c).

As you know, the staff formulated this draft language in conjunction with Mr. Cropper after discussions about his client's proposed use and we worked with him to meet those needs. Please note that along with uses typically associated with an airport, the CA Commercial Airport District also permits general offices, general warehousing and storage, and governmental and other public buildings, structures and uses of a public-service type. Given the types of uses permitted by the CA Commercial Airport District and in light of the fact that industrial parks are often found either within or in close proximity to airports, the Planning Commission concluded that the proposed use is compatible with the existing uses at the airport and with those allowed by the CA Commercial Airport District. Following the discussion the Planning Commission gave a favorable recommendation to the text amendment application as submitted by the applicant.

A copy of a draft bill is attached, as is a copy of the staff report which includes the application. Should you have any questions or require additional information, please do not hesitate to contact me.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

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ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICE DIVISION

M E M O

TO: Worcester County Planning Commission
FROM: Edward A. Tudor, Director *EAT*
Phyllis H. Wimbrow, Deputy Director *PHW*
DATE: January 14, 2016
RE: Text Amendment Application - Commercial Marine
Yards in the CA Commercial Airport District

The attached text amendment application was submitted by Mark Cropper and seeks to amend various sections of the CA Commercial Airport District regulations of the Zoning and Subdivision Control Article to permit commercial marine yards and associated uses. Because the CA Airport District is not a district that is utilized very often and in fact is only applicable at present to the lands of the Ocean City Municipal Airport, a brief description of the district may be helpful. As stated in § ZS 1-303(a), this district is intended to provide for areas of adequate size in appropriate locations for the development of municipal or County airports by or with the approval of the county or municipal governing body. It is the purpose of this district to recognize the municipal or County airports as commercial operations and land uses, to protect the users of the airports and to prevent any unreasonable limitation or impairment of the use and expansion of the airports and the public investment therein. The CA Commercial Airport District is a floating zone and is permitted in the A-1 and A-2 Agricultural Districts and the I-1 and I-2 Industrial Districts. Land zoned RP Resource Protection District which is within the boundaries of the property subjected to a CA District may be included within the CA District boundaries. A copy of the CA Commercial Airport District regulations are attached for your reference.

The text amendment application as submitted by Mr. Cropper seeks to amend several subsections of existing § ZS 1-303 to permit the proposed commercial marine yard use as well as a portion of existing § ZS 1-305(n)(2) to clarify height restrictions. Specifically, the requested amendments are as follows, showing proposed new language in SMALL CAPS font and language proposed to be deleted in ~~strikeout~~ font:

AMENDMENT TO EXISTING § ZS 1-303(a) to add reference to other permitted uses:

- (a) Purpose and intent. This district is intended to provide for areas of adequate size in appropriate locations for the development of municipal or County airports, AND OTHER PERMITTED USES, by or with the approval of the County or municipal governing body. It is the purpose of this district to recognize the municipal or County airports as commercial operations and land uses, to protect the users of the airports and to prevent any unreasonable limitation or impairment of the use and expansion of the airports and the public investment therein.

AMENDMENT TO EXISTING § ZS 1-303(c)(7) to remove reference to marinas and boat landings:

- (7) Governmental and other public buildings, structures and uses of a public-service type but not including recreational facilities such as tennis courts, swimming pools, ~~marinas and boat landings~~, parks, playgrounds, golf courses, including driving ranges, and other similar activities.

RENUMBER EXISTING § ZS 1-303(c)(7) as § ZS 1-303(c)(8) and CREATE NEW § ZS 1-303(c)(7) to add commercial marine yards, etc. to uses allowed in CA Commercial Airport District:

- (7) COMMERCIAL MARINE YARDS, INCLUDING FUELING, BOAT LAUNCHING AND RECOVERY, INTERIOR AND EXTERIOR DRY STORAGE OF SEAWORTHY BOATS IN OPERABLE CONDITION, MAINTENANCE FACILITIES FOR ALL TYPES OF HULL, DECK, INTERIOR AND EXTERIOR REPAIRS, PAINTING, AND BOAT CONSTRUCTION.

AMEND EXISTING § ZS 1-305(n)(2) to add a new Subsection § ZS 1-305(n)(2)E to include uses permitted within the CA Commercial Airport District to those structures which are not subject to the district height regulations, except for the AP District:

- E. ANY BUILDING OR STRUCTURE ALLOWED BY SUBSECTION § ZS 1-303(C).

We formulated this draft language after discussions with Mr. Cropper about his client's proposed use and we worked with him to meet those needs. Although she typically reviews and comments on proposed text amendments, Jennifer Keener is on maternity leave and therefore did not participate in this particular application review. Mr. Cropper also met with representatives of the Mayor and Council of Ocean City relative to the matter and it appears that they concur with the proposed use. We note that along with uses typically associated with an airport, the CA Commercial Airport District also permits general offices, general warehousing and storage, and governmental and other public buildings, structures and uses of a public-service type. We conclude that the proposed use is compatible with the other uses permitted by the District.

Should you have any questions or require additional information, please do not hesitate to contact me.

cc: Jennifer Keener

C. Proposed revised text, addition or deletion:

See attached Exhibit "A"

III. Reasons for Requesting Text Change.

A. Please list reasons or other information as to why the proposed text change is necessary and therefore requested:

This text change is necessary in order to accommodate a custom boat building business in the CA Commercial Airport District

IV. Signature of Applicants

Signature:



Printed Name of Applicant:

Mark Spencer Cropper

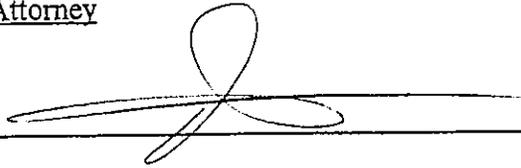
Mailing Address: 6200 Coastal Highway, Suite 200, Ocean City, MD 21842

Phone Number: 410-723-1400 E-Mail: mcropper@ajgalaw.com

Date: 1/7/06

IV. Signature of Attorney

Signature



Printed Name of Attorney:

Mark Spencer Cropper

Mailing Address: 6200 Coastal Highway, Suite 200, Ocean City, MD 21842

Phone Number: 410-723-1400

E-Mail: mcropper@ajgalaw.com

Date:

1/7/16

V. General Information Relating to the Text Change Process.

- A. Applications for text amendments shall be addressed to and filed with the Office of the County Commissioners. The required filing fee must accompany the application.
- B. Procedure for Text Amendments - Text amendments shall be passed by the County Commissioners of Worcester County as Public Local Laws according to legally required procedures, with the following additional requirements. Any proposed amendment shall first be referred to the Planning Commission for recommendation. The Planning Commission shall make a recommendation within a reasonable time after receipt of the proposed amendment. After receipt of the recommendation of the Planning Commission, the County Commissioners shall hold at least one public hearing in relation to the proposed amendment, at which parties and interested citizens shall have an opportunity to be heard. At least fifteen (15) days notice of the time and place of such hearing and the nature of the proposed amendment shall be published in an official paper or a paper of general circulation in Worcester County. In the event no County Commissioner is willing to introduce the proposed amendment as a bill, it will not be considered.

EXHIBIT "A"

AMENDMENT TO EXISTING § ZS 1-303(a) to add reference to other permitted uses:

- (a) **Purpose and intent.** This district is intended to provide for areas of adequate size in appropriate locations for the development of municipal or County airports, and other permitted uses, by or with the approval of the County or municipal governing body. It is the purpose of this district to recognize the municipal or County airports as commercial operations and land uses, to protect the users of the airports and to prevent any unreasonable limitation or impairment of the use and expansion of the airports and the public investment therein.

AMENDMENT TO EXISTING § ZS 1-303(c)(7) to remove reference to marinas and boat landings:

- (7) Governmental and other public buildings, structures and uses of a public-service type but not including recreational facilities such as tennis courts, swimming pools, parks, playgrounds, golf courses, including driving ranges, and other similar activities.

RENUMBER EXISTING § ZS 1-303(c)(7) as § ZS 1-303(c)(8) and CREATE NEW § ZS 1-303(c)(7) to add commercial marine yards, etc. to uses allowed in CA Commercial Airport District:

- (7) Commercial marine yards, including fueling, boat launching and recovery, interior and exterior dry storage of seaworthy boats in operable condition, maintenance facilities for all types of hull, deck, interior and exterior repairs, painting, and boat construction.

AMEND EXISTING § ZS 1-305(n)(2) to add a new Subsection § ZS 1-305(n)(2)E to include uses permitted within the CA Commercial Airport District to those structures which are not subject to the district height regulations, except for the AP District:

- E. Any building or structure allowed by Subsection § ZS 1-303(c).

SUPPLEMENTARY DISTRICTS AND DISTRICT
REGULATIONS

§ ZS 1-302

§ ZS 1-303

- (f) Height regulations. The following height regulations shall apply to the AP District: Notwithstanding any other provisions of this Title, no building, structure, tree or any object of natural growth shall be erected, altered, allowed to grow or maintained to a height which would penetrate the approach, horizontal, transitional or conical surfaces as referenced herein.

§ ZS 1-303. CA Commercial Airport District.

- (a) Purpose and intent. This district is intended to provide for areas of adequate size in appropriate locations for the development of municipal or County airports by or with the approval of the County or municipal governing body. It is the purpose of this district to recognize the municipal or County airports as commercial operations and land uses, to protect the users of the airports and to prevent any unreasonable limitation or impairment of the use and expansion of the airports and the public investment therein.
- (b) Location and area requirements. The CA Commercial Airport District is hereby established as a floating zone and may be permitted in accordance with the provisions hereof, upon review of the Planning Commission and approval by the County Commissioners, in the A-1, A-2, I-1 and I-2 Districts. Land zoned RP District which is within the boundaries of the property subjected to a CA District may be included within the CA District boundaries. The minimum required land area shall be fifty acres, exclusive of any lands zoned RP District. In siting new CA Districts, consideration shall be given to the surrounding land uses and conditions may be placed on the approval in order to better provide for the safety of the neighboring residents.
- (c) Permitted principal uses and structures. The following principal uses and structures shall be permitted in the CA Commercial Airport District:
- (1) Municipal or County airports, including runways, taxiways, aircraft parking areas, hangars, terminals and support buildings.
 - (2) Buildings and structures necessary for communications, navigation or the collection and dissemination of weather and other flight information.
 - (3) Restaurants, lounges and gift shops incidental and subordinate to the operation of the airport and intended primarily for the use and enjoyment of airport patrons.
 - (4) General offices.
 - (5) General warehousing and storage.
 - (6) Signs (except billboards), including all types and classifications of signs as defined and regulated in § ZS 1-324 hereof.
 - (7) Governmental and other public buildings, structures and uses of a public-service type but not including recreational facilities such as tennis courts, swimming pools, marinas and boat landings, parks, playgrounds, golf courses, including driving ranges, and other similar activities.

- (d) Special exceptions. The following principal uses and structures may be permitted by special exception in the CA Commercial Airport District in accordance with the provisions of § ZS 1-116(c) hereof:
- (1) Any use or structure which is determined by the Board of Zoning Appeals to be of the same general character as an above-permitted use and compatible with the general character and intent of the CA Commercial Airport District.
- (e) Accessory uses and structures. The following accessory uses and structures shall be permitted in the CA Commercial Airport District:
- (1) One accessory apartment for persons primarily engaged on the premises, subject to the provisions of § ZS 1-338 hereof.
 - (2) Temporary buildings and structures, subject to the provisions of § ZS 1-334 hereof.
 - (3) Generally, accessory structures and uses customarily associated with and directly incidental to the permitted principal uses and structures.
- (f) Additional provisions. The following additional provisions shall apply to all uses and structures in the CA Commercial Airport District:
- (1) All uses and structures shall be subject to the provisions of § ZS 1-302 hereof.
 - (2) All facilities and uses shall be subject to the provisions of § ZS 1-325 hereof.
- (g) Other regulations.
- (1) All airports and facilities shall be designed, constructed, maintained and utilized so that they shall comply with all federal and state regulations pertaining to such operations, and the same shall be utilized in accordance therewith.
 - (2) The uses and structures permitted in the CA Commercial Airport District shall be subject to the applicable regulations contained in Subtitle ZS1:I, General Provisions, and Subtitle ZS1:III, Supplementary Districts and District Regulations, of this Title.
- (h) Lot, road and parking requirements. For individual structures, there shall be no minimum lot area, setback, bulk, lot width, road frontage, landscaping or buffering requirements. Such standards shall be as approved by the Planning Commission in approving the site plan under the provisions of § ZS 1-325 hereof. No structure or group of structures shall be erected within ten feet of any other structure or group of structures. All roads, parking areas and access points shall meet County standards.
- (i) Review and approval procedure. Review and approval of the CA Commercial Airport District designation shall be as follows:
- (1) Step I: Concept plan and district designation. In this step the applicant shall submit adequate plans and other pertinent documents sufficiently addressing the required elements for review by the Technical Review Committee, Planning Commission and the County Commissioners. Review and approval shall take place in three sequential steps. Each step must be completed in its entirety, including the

obtaining of all necessary approvals, prior to initiating the next step. The County Commissioners shall have the authority to either approve or disapprove the concept development plan and the establishment of the CA Commercial Airport District.

A. The concept plan and application for district designation shall include the following:

1. A sketch plan at a readable scale. The submitted plan shall show contours at five-foot intervals, except where the average slope is less than three percent, in which case two-foot contours are required, all existing natural and man-made features, existing zoning, a vicinity map, and the Chesapeake or Atlantic Coastal Bays Critical Area boundary and designation, if applicable.
2. A preliminary determination of sensitive areas, including but not limited to a preliminary delineation of any tidal or nontidal wetlands, a delineation of the one-hundred-year floodplain, and a forest stand delineation.
3. A conceptual schematic plan generally identifying the type, location, acreage, and proposed phasing, if any, of all proposed land uses.
4. A schematic plan generally identifying the zoning, as well as the existing and any proposed land use for which approval has been granted, for all properties within one mile of the boundaries of the proposed CA District.
5. A schematic plan generally identifying the proposed drainage pattern and potential stormwater management and minimization of impervious surfaces.
6. A preliminary capacity and availability analysis of water and wastewater facilities for projects proposed to be served by existing public utilities or, where new facilities are proposed to serve the project, a preliminary feasibility analysis of wastewater disposal capabilities and potable water production.
7. Such other information as the Technical Review Committee, Planning Commission or County Commissioners may require.
8. A written statement covering the considerations listed under Subsection (i)(1)B hereof.

B. The following items shall be considered in the reviews by the Technical Review Committee, Planning Commission and County Commissioners:

1. The commercial airport's conformance with the goals, objectives and recommendations of the Comprehensive Plan, compliance with the zoning regulations and other established development policy guidelines.

2. The general location of the site, a description of existing and anticipated land use in the immediate vicinity and the commercial airport's compatibility with those land uses.
 3. The availability and adequacy of public facilities and services to meet the needs of the commercial airport and the long-term implications the project would have on subsequent local development patterns and demand for public facilities and services.
 4. The relationship of the commercial airport's proposed construction schedule, including any phasing, and the demand for and timely provision of public facilities and services necessary to serve the project.
 5. The relationship of the proposed method of wastewater disposal and provision of potable water service with the goals, objectives and recommendations of the Comprehensive Plan, Comprehensive Water and Sewer Plan, and other established policy guidelines.
 6. The availability and suitability of vehicular access.
- C. The applicant shall meet first with the Technical Review Committee, then with the Planning Commission and then with the County Commissioners.
1. The Technical Review Committee shall meet with the applicant and shall review the applicant's submission. The Technical Review Committee shall, subsequent to the meeting and review, identify areas of concern and issues to be addressed by the Planning Commission. It shall report its recommendations to the applicant and to the Planning Commission. Its findings and recommendations shall be reduced to writing in a report known as the "Technical Review Committee Report." The Technical Review Committee may solicit other agency comments prior to making its report and may require additional information, studies or reports. The Technical Review Committee shall review the submission and present its report within sixty days after receipt of the applicant's submission and complete application.
 2. The Planning Commission shall meet with the applicant to review the applicant's submission and review the Technical Review Committee Report. Such meeting shall be open to the public. The Planning Commission shall produce findings based on the items considered under Subsection (i)(1)B hereof. The Planning Commission shall also produce a recommendation to the County Commissioners as to approval or disapproval of the CA Commercial Airport Floating District application, which may address the areas identified in the Technical Review Committee Report and such other areas of concern and such requirements as the Planning Commission may deem necessary and appropriate to advise the County Commissioners. The Planning Commission shall meet with the applicant, review the Technical Review Committee Report and submit its recommendation within sixty days after receipt of the Technical Review Committee Report, unless it is

determined that additional time is needed to adequately review the submission.

3. The County Commissioners shall consider the application and recommendation and hold a public hearing. The hearing shall have the same procedural formalities and notice requirements as a rezoning (map amendment) hearing. The County Commissioners shall review the Technical Review Committee Report and Planning Commission's recommendation and shall, following the public hearing, approve or disapprove the application and, if approved, establish the CA Commercial Airport Floating Zone. Failure of the County Commissioners to reach a formal decision to approve or disapprove the application within six months of the public hearing shall constitute a denial of the application. In granting an approval, the County Commissioners may impose conditions which shall become a part of the approval regulating the CA Commercial Airport District. In addition, the Commissioners may require independent reports of consultants, at the expense of the applicant, prior to approval. The County Commissioners shall review the Technical Review Committee Report and Planning Commission's recommendation and hold a public hearing within ninety days of receipt of the Planning Commission's recommendation. Failure, however, to meet such time limits shall not constitute an approval.
 - D. The Department shall delineate and designate approved CA Commercial Airport Districts on the Official County Zoning Maps for informational and reference purposes.
 - E. Step I approval by the County Commissioners shall be considered a reclassification and subject to appeal as such.
- (2) Step II: Site plan review. Upon completion of Step I, an applicant shall develop and submit to the Technical Review Committee and the Planning Commission site plans for any or all portions of the proposed development, in accordance with the provisions of § ZS 1-325 hereof and subject to any conditions specified in conjunction with Step I approval. No grading permits, building permits or use of land permits shall be issued by the Department prior to site plan approval for such activity.

§ ZS 1-304. HCA Historical; Cultural; Agricultural Floating Zone.

- (a) Purpose. The purpose of this section is to provide for attractions and facilities which are re-creations of historic, cultural or agricultural periods that would be of interest to residents and tourists by utilizing the natural rural setting, crafts, culture and history of Worcester County and to provide for the establishment of such uses that will attract tourism to the County without impacting negatively on the rural character of the agricultural areas of the County.

- (8) Amendments or changes to the approved HCA development plan may not require an additional public hearing but shall require the review and approval of both the Planning Commission and the County Commissioners. Such plan amendments and additions will be signed and retained in the same manner as the original development plan.

§ ZS 1-305. Lot requirements generally.

- (a) Definitions. For the purposes of this Title, the following definitions shall apply:

DENSITY, MAXIMUM — The maximum number of dwelling units or manufactured homes permitted per given unit of lot area as prescribed for residential development in each zoning district. Maximum yield shall be computed as the total net lot area multiplied by the maximum density permitted.

DENSITY, PROPOSED — Computed as the total number of dwelling units or manufactured homes proposed for the entire project divided by the total net lot area of the project.

LOT AREA — Refers to "net lot area" unless specifically stated otherwise.

LOT AREA, BUILDABLE — That portion of the net lot area remaining for building purposes once adjusted to subtract out the area of all easements, required yard setbacks, septic disposal areas, private wetlands and nontidal wetlands and their buffers. Every lot must have a buildable area of not less than two thousand five hundred square feet of contiguous area with usable access.

LOT AREA, GROSS — The gross area of a lot, parcel or other piece of land shall be calculated as the area bounded by the property lines.

LOT AREA, NET — The net area of a lot, parcel or other piece of land shall be calculated as the area bounded by the property lines, except that the area of public and private rights-of-way and state wetlands and the area of the strip connecting to the road in the case of a flag lot shall not be included as part of the net lot area unless specifically permitted for the structure or use involved. Easements other than required road widening strips may be included in the lot area, and private wetlands and easements may be included as part of any yard setback unless otherwise prohibited.

LOT, CORNER — A lot abutting two or more public or approved private roads at their intersection or two parts of the same road and in either case forming an interior angle of less than one hundred thirty-five degrees. A corner lot shall provide a front yard along all property lines abutting a public or approved private road. A corner lot need not provide a rear yard but must provide side yards along all other lot lines.

LOT, FRONT OF — The side or sides of a lot which abut a public road, approved private road, or right-of-way or, in the case of a rural cluster subdivision or landlocked parcel, an access easement established to serve the subdivision or landlocked parcel.

the Environmental Programs Division and in compliance with the Worcester County Groundwater Protection Report.

(2) Lot width: one hundred feet.

(m) Extension of uses and structures to wetlands boundary line and beyond. In any district, the Board of Zoning Appeals may permit as a special exception principal or accessory uses and structures to be located up to the wetlands boundary line and over adjacent wetlands or water areas (including otherwise required yard setbacks) where it is demonstrated that such uses or structures are reasonably necessary to the function of the uses and structures on the abutting fastland. Such uses and structures shall be limited to permitted special exceptions and accessory uses and structures specified for the district in which the abutting fastland is located.

(n) Structures permitted above height limit.

(1) The Board of Zoning Appeals may, as a special exception in the case of a nonresidential structure, increase the permitted height or number of stories to the maximum prescribed in each district if, in the view of the Board, such increase is reasonably necessary for the proposed purpose and no neighborhood adverse effects or safety hazards will be created. In the case of structures other than buildings, such as radio towers, which, by the nature of the structures and their function, are required to be of great height, the Board may, by special exception, permit such structures to exceed the maximum permitted height.

(2) The following structures are not subject to the district height regulations, except for the AP District, and do not require Board approval, except as otherwise provided:

- A. Farm buildings and structures, except dwelling units.
- B. Fire walls, cupolas, steeples, flagpoles, silos, smokestacks, masts, water tanks or other nonhabitable roof superstructures.
- C. Roof structures for housing elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building, provided that all such structures above the height otherwise permitted in the district shall not occupy more than twenty-five percent of the ground area of the building.
- D. Any building or structure in an I District if more than two hundred feet distant from any A, E, V, R or RP District, provided that, for each three feet by which the height of such building or structure exceeds the maximum height otherwise permitted in the district, its front, side and rear yard setbacks shall be increased in width or depth by an additional one foot over the yard setbacks required for the highest building otherwise permitted in the district and provided that the height of such building or structure shall not exceed four hundred feet.

Add E.

(o) Distance between structures.

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21

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SNOW HILL, MARYLAND

21863-1195

February 10, 2016

TO: Harold L. Higgins, Chief Administrative Officer
FROM: Kelly Shannah, Assistant Chief Administrative Officer *KL*
SUBJECT: Emergency Bill Regarding Townhouse Fire Sprinkler Systems

At the request of Commissioner Church, the attached bill has been drafted to provide some level of relief from the current County requirements for the type of automatic fire sprinkler systems required in a group of three or more townhouse units in Worcester County where an automatic audible enunciator and exterior fire department connection is provided. The bill was drafted by Fire Marshal Jeff McMahon with assistance from Development Review & Permitting Director Ed Tudor. In effect, the amendment will allow such townhouse units to be equipped with automatic fire sprinkler systems compliant with a National Fire Protection Association (NFPA) 13D system (for one and two-family dwellings and manufactured homes), rather than a NFPA 13R system (for low-rise residential, multi-family occupancies). The bill has been drafted as emergency legislation in order to become effective upon the date of adoption. If introduced on February 16, the Commissioners could hold their public hearing and adopt the bill at the next scheduled legislative session on Tuesday, March 15, 2016.

I have asked Mr. McMahon and Mr. Tudor to attend the Commissioners' meeting on Tuesday, February 16 to answer any technical questions the Commissioners may have regarding this draft bill. If you should have any questions or concerns with regard to this matter, please feel free to contact me.

COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND

EMERGENCY BILL 16-

BY:
INTRODUCED:

AN EMERGENCY BILL ENTITLED

DRAFT

AN ACT Concerning

Public Safety - Townhouse Fire Sprinkler Systems

For the purpose of amending the Public Safety Article to modify the requirements with regard to automatic fire sprinklers in townhouse units.

Section 1. BE IT ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that Subsection § PS 1-410(e)(2) of the Public Safety Article of the Code of Public Local Laws of Worcester County, Maryland be repealed and reenacted to read as follows:

- (2) Notwithstanding the provisions of any other applicable code or regulation, any group of three or more townhouse units shall be considered as a multifamily structure for the purposes of determining the applicable automatic fire sprinkler requirements unless the structure is provided with an automatic audible flow enunciator and an approved exterior fire department connection.

New

Section 2. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that this Bill, having been declared an Emergency Bill, shall take effect immediately upon its passage.

PASSED this _____ day of _____, 2016.

ATTEST:

WORCESTER COUNTY COMMISSIONERS

Harold L. Higgins
Chief Administrative Officer

Madison J. Bunting, Jr., President

Merrill W. Lockfaw, Jr., Vice President

Anthony W. Bertino, Jr.

James C. Church

Theodore J. Elder

Joseph M. Mitrecic

Diana Purnell

DRAFT

Worcester County. Any act or actions which are contrary to any provision or requirement of and any and all failures to comply with any provisions or requirements of this Fire Prevention Code or any such notice, order or decision shall constitute a violation of this Fire Prevention Code.

- (b) Violations. Any person who violates the provisions of this Subtitle shall be guilty of a civil infraction. [Amended 11-10-1987 by Bill No. 87-5]
- (c) Violation types. The following categories of Fire Prevention Code violations shall be determined by resolution of the County Commissioners. [Added 6-16-2009 by Bill No. 09-2]
 - (1) Minor infractions.
 - (2) Intermediate infractions.
 - (3) Major infractions.

§ PS 1-408. State Fire Prevention Code adopted.

The State Fire Prevention Code, as adopted by the State Fire Prevention Commission, together with all rules, regulations and resolutions adopted thereunder, as the same may be from time to time amended, repealed, promulgated or supplanted, are hereby adopted as a part of the Fire Prevention Code of Worcester County and enforceable pursuant to this Subtitle in Worcester County.

§ PS 1-409. Authorization for additions and changes to State Code.

The Worcester County Commissioners and the Worcester County Fire Marshal shall have all rights, powers, duties and authorities prescribed by the Public General Laws of the State of Maryland and all Public Local Laws of Worcester County, Maryland. The County Commissioners shall have the power and authority to make changes in and additions to the State Fire Prevention Code for enforcement within Worcester County. Such changes shall be made by Public Local Law.

§ PS 1-410. Changes and additions to State Code.

- (a) Additional regulations regulating buildings for the use and occupancy of nurseries, convalescent homes and homes for the aged.

- (1) For the purpose of this Subtitle, the terms "nursery," "convalescent home" and "homes for the aged" shall be defined as follows:

CONVALESCENT HOME — A privately operated establishment devoted to the care of persons during the recuperative stage of an illness or in which persons may be cared for during an illness.

exposed composite walls and roof of either structure are without opening and constructed of materials which will provide a one-hour fire rating or the structures are separated by a one-hour fire-rated barrier.

- B. Provided that any mobile home legally located but in violation of such setbacks on the effective date hereof shall be allowed to remain so located for a period of one year from the effective date hereof, after which date all mobile homes shall fully comply with the provisions of this subsection.

(d) Additional regulations prohibiting certain fireworks. [Added 6-4-2002 by Bill No. 02-8]

- (1) In addition to fireworks prohibited by state law, the possession of ground-based sparkling devices, including without limitation, cylindrical or cone fountains, whether aerial or non-aerial and whether explosive or non-explosive, shall be prohibited in Worcester County, except and limited as follows:

A. It shall be legal to possess ground-based sparkling devices that are non-aerial and nonexplosive, provided they are labeled in accordance with the requirements of the U.S. Consumer Product Safety Commission and produce a visual effect of no more than twelve feet in height.

B. Such ground-based sparkling devices referenced in Subsection (d)(1)A hereof, may only be sold in fully enclosed retail establishments upon the approval of the Worcester County Fire Marshal upon the filing of the appropriate application and payment of application fees as from time to time established by resolution of the County Commissioners. No ground-based sparkling devices shall be sold from a roadside stand or other temporary sales outlet in the County.

(e) Additional regulations regulating automatic fire sprinkler systems in townhouse units. [Added 10-21-2014 by Bill No. 14-8]

- (1) For the purposes of this Subtitle the term "townhouse" shall be defined as follows:

TOWNHOUSE — A single-family dwelling unit that is constructed in a horizontal series of attached units with property lines separating the units.

- (2) Notwithstanding the provisions of any other applicable code or regulation, any group of three or more townhouse units shall be considered as a multifamily structure for the purposes of determining the applicable automatic fire sprinkler requirements.

§ PS 1-411. Nuisance alarms. [Added 6-16-2009 by Bill No. 09-3]

- (a) Definitions. For the purpose of this Subtitle, the following definitions shall apply:

ALARM — The use of any equipment, device, appliance and/or system that produces an alarm, either audible, visual, a combination of both, or via electronic equipment to a system or person who reports the alarm as an emergency. An alarm system includes systems that produce a similarity to smoke, or flame or combination thereof, such as, but



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What is NFPA 13D?

NFPA 13D is a residential sprinkler design standard focused on one- and two- family dwellings and manufactured homes. The intent is to provide an affordable sprinkler system in homes while maintaining a high level of life safety. [Official document scope](#)

What does NFPA 13D address?

Requirements address automatic sprinkler system design, installation, and maintenance including numerous issues such as component listing, hydrostatic tests, sprinkler temperature ratings, design documentation, and hydraulic calculations.

Additional Information

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- [Fire Sprinkler Initiative](#)

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What is NFPA 13R?
NFPA 13R is a residential sprinkler design standard focused on low-rise residential occupancies. The Standard's intent is to provide a sprinkler system that aids in the control of residential fires and provides improved protection against injury and life loss in multi-family dwellings. [Official document scope](#)

What does NFPA 13R address?
Requirements concern automatic sprinkler system design, installation, and maintenance including component listing, hydrostatic tests, sprinkler temperature ratings, design documentation, aboveground pipe and equipment, underground pipe, pre-engineered systems, water supply sources, multipurpose piping systems, and hydraulic calculations.

Additional Information

- [Safety Alert regarding Antifreeze in Residential Sprinklers](#)
- [Fire Sprinkler Initiative](#)

Articles and Reports

- [Disaster Resiliency and NFPA Codes and Standards](#)
- [Home Fire Sprinkler Cost Assessment](#)
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6

EMERGENCY BILL 16-

BY:
INTRODUCED:

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21

AN EMERGENCY BILL ENTITLED

AN ACT Concerning

Public Safety - Townhouse Fire Sprinkler Systems

For the purpose of amending the Public Safety Article to modify the requirements with regard to automatic fire sprinklers in townhouse units.

Section 1. BE IT ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that Subsection § PS 1-410(e)(2) of the Public Safety Article of the Code of Public Local Laws of Worcester County, Maryland be repealed and reenacted to read as follows:

- (2) Notwithstanding the provisions of any other applicable code or regulation, any group of three or more townhouse units shall be considered as a multifamily structure for the purposes of determining the applicable automatic fire sprinkler requirements unless the structure is provided with an automatic audible flow enunciator and an approved exterior fire department connection in which case the townhouse units shall be considered as a one- and two-family dwelling for the purpose of determining the applicable automatic fire sprinkler requirements.

New

Section 2. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that this Bill, having been declared an Emergency Bill, shall take effect immediately upon its passage.

PASSED this _____ day of _____, 2016.

ATTEST:

WORCESTER COUNTY COMMISSIONERS

Harold L. Higgins
Chief Administrative Officer

Madison J. Bunting, Jr., President

Merrill W. Lockfaw, Jr., Vice President

Anthony W. Bertino, Jr.

James C. Church

Theodore J. Elder

Joseph M. Mitrecic

Diana Purnell

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Minutes of the County Commissioners of Worcester County, Maryland

February 2, 2016

Madison J. Bunting, Jr., President
Merrill W. Lockfaw, Jr., Vice President
Anthony W. Bertino, Jr.
James C. Church
Theodore J. Elder
Joseph M. Mitrecic
Diana Purnell

Following a motion by Commissioner Mitrecic, seconded by Commissioner Purnell, the Commissioners unanimously voted to meet in closed session at 9:00 a.m. in the Commissioners' Conference Room to discuss legal and personnel matters permitted under the provisions of Section 3-305(b)(1) and (7) of the General Provisions Article of the Annotated Code of Maryland and to perform administrative functions. Also present at the closed session were Harold L. Higgins, Chief Administrative Officer; Kelly Shannahan, Assistant Chief Administrative Officer; Maureen Howarth, County Attorney; Kim Moses, Public Information Officer; and Stacey Norton, Human Resources Director. Topics discussed and actions taken included: promoting Lauren Waddell from Document Imager II to Accounting Clerk I and agreeing to advertise to fill the vacant Document Imager II position within the Treasurer's Office; agreeing to advertise to fill the position of Plumbing and Gas Inspector II within Environmental Programs; acknowledging the hiring of James Richard Eisenhower as a part-time School Security Officer within the Sheriff's Office; modifying meeting procedures to move discussions regarding filling vacancies on County boards and commissions from closed session to open session; receiving legal advice from counsel; and performing administrative functions.

After the closed session, the Commissioners reconvened in open session. Commissioner Bunting called the meeting to order and announced the topics discussed during the morning closed session.

The Commissioners reviewed and approved the minutes of their January 19, 2016 open and closed session meetings as presented.

The Commissioners presented a proclamation recognizing February as Black History Month to Bishop Isaac Jenkins and Miriam J. Cane of Save the Youth in Pocomoke City and invited the public to tour the Government Center where decorative panels highlight the contributions of African Americans who helped shape the Eastern Shore. Bishop Jenkins advised the Commissioners that since opening the program in 1980 more than 4,000 youth have participated in Save the Youth, and more than 300 individuals who had dropped out of high school have gone back to earn their diplomas with assistance from the Save the Youth program. Ms. Cane thanked the Commissioners for their annual grant to Save the Youth, which helps cover operating expenses. She advised that the program can accommodate 35 youth at a time,

and they are actively looking for a larger location to increase program enrollment to 50 participants. Commissioner Bunting thanked Bishop Jenkins and Ms. Cane for their efforts to help disadvantaged youth succeed.

The Commissioners met with Environmental Programs Director Bob Mitchell and Katherine Munson, Planner IV within Environmental Programs, to review two Rural Legacy Area (RLA) Expansion Grant Applications for the Dividing Creek RLA and the Coastal Bays RLA. Mr. Mitchell explained that, because the County has two RLAs, they are required to indicate which area is preferred for the funding applications. He further advised that in past years they have always alternated preference between the two areas, and this year's application process follows that same pattern, with the Coastal Bays RLA receiving priority.

Upon a motion by Commissioner Church, the Commissioners voted 6-1 with Commissioner Elder voting in opposition, to authorize Commission President Bunting to sign the Coastal Bays Rural Legacy Area (RLA) grant application for FY17, which includes a \$1 million grant request for the Coastal Bays RLA, and stating a preference for the Coastal Bays RLA. Somerset County will also apply jointly with Worcester County for a \$2.076 million grant request for the Dividing Creek RLA. Mr. Mitchell advised that any funds the County receives will be used to purchase voluntary conservation easements in these areas and to fund incidental and administrative costs.

Pursuant to the request of Recreation and Parks Director Paige Hurley and upon a motion by Commissioner Purnell, the Commissioners unanimously approved bid specifications to repair the Newtown Park Pavilion.

Pursuant to the request of Public Works Director John Tustin and upon a motion by Commissioner Mitrecic, the Commissioners unanimously approved bid specifications to replace the condenser coils in the HVAC rooftop units at the Health Department and the Worcester County Recreation Center in Snow Hill. In response to a question by Commissioner Elder, Mr. Tustin stated that bidders lists are updated on an ongoing basis to include any additional known qualified contractors.

Mr. Tustin advised that the newly renovated Cedar Hall Boat Ramp is once again open for use by recreational boaters. The boat ramp was closed for four months during which time the facility was enhanced to include an extended ramp, floating finger piers, and wheel stops on the ramp.

Atlantic General Hospital (AGH) President and Chief Executive Officer Michael Franklin met with the Commissioners to discuss the 2016 AGH Annual Report and AGH's Strategic Initiatives for Worcester County. Mr. Franklin presented a PowerPoint, which covered AGH's mission, 2020 Strategic Vision; 2016-2020 Strategic Plan; Health and Health Care in Maryland - the Driving Forces for Change; Reducing Potentially Avoidable Hospital Utilization (PAUs) Improves Care; Medicare Waiver & AGH Goals - "Triple Aim" (improving the health of the population, enhancing patient experience and outcomes, and reducing the population's healthcare costs) and the five Rights (care, people, place, partners, and hospital); Living Our Principles and

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Our Goals; Accountable Care Organization - Delmarva Health Network; AGH Telehealth Project; Telemedicine at Berlin Nursing and Rehabilitation Center (BNRC); Telemedicine Results/Outcomes - Goal of 13% Reduction in BNRC Patients Admitted to AGH, with Actual Reduction of 17%, and a Goal of 53% Re-Admissions to the Acute Care Hospital, with Actual Re-Admissions of only 15%; Access to Primary and Specialty Care through provision of additional providers in Ocean View, Ocean City, West Fenwick, and Snow Hill; Obesity - One of the Most Pressing Preventable Health Issues in Maryland for Adults and Children; Obesity-Related Health Issues in Maryland; Pioneers in Health Literacy Improvement 2nd graders pilot program at Ocean City Elementary School extended to grades 3-5 and serving more than 2,400 students, with a 2016-2017 goal of instituting pilot programs in grades 7 and 8; Patient Electronic Record Keeping Services - revolutionizing the way patients, physicians and other healthcare service providers interact for better delivery of healthcare services; Supportive Care Services; and FY16 Strategic Investments, which include Home Sleep Studies and Supportive Care Services Expansion. Mr. Franklin also reviewed the 2020 Master Facilities Plan - Regional Care Center, Women's Health, Patient Care Area Redesign, Surgical Services Renovation and Clinical Decision Unit, and the Emergency Department; AGH/Health System Financing the Future; Year over Year Comparison; Efficiency and Innovation; Cost Reduction/Saving through Telemedicine Partnership; Community Impact and its FY15 Benefits; and AGH & Health System Vision - to be the leader in caring for people and advancing health for Worcester County residents and visitors.

Commissioner Bunting asked whether people should visit an emergency room or urgent care provider when in need of medical attention, but they cannot be seen by their primary care provider. Dr. Franklin confirmed that visiting an immediate care facility is a better option for someone whose condition does not rise to the level of an emergency, but stated that individuals should follow up with their primary care physicians to assure continuity of care. He cautioned that individuals should not seek assistance from immediate care for ongoing issues for which treatment is already being provided by another physician due to the likelihood of medication problems or contradictory treatment issues. The Commissioners thanked Mr. Franklin for his presentation.

The Commissioners reviewed a letter from Bryan Hall, Vegetation Management Program Coordinator for Choptank Electric Cooperative (CEC), advising that CEC will be performing cyclical tree trimming in Berlin, West Ocean City, Snow Hill and Mt. Olive area during the next year.

Pursuant to the recommendation of Development Review and Permitting Director Ed Tudor and upon a motion by Commissioner Bertino, the Commissioners unanimously agreed to schedule a public hearing on Rezoning Case No. 396 for March 1, 2016. This application was submitted by Attorney Hugh Cropper, IV, on behalf of the estate of Mildred L. Parsons/Margaret P. Bunting, and seeks to rezone approximately 11.5 acres of land located on the east side of MD Rt. 589 north of Gum Point Road, and more specifically identified on Tax Map 21 as Parcel 72 in the Third Tax District of Worcester County, Maryland, from A-1 Agricultural District to C-2 General Commercial District. Mr. Tudor advised that the application received a favorable recommendation from the County Planning Commission.

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Pursuant to the recommendation of Mr. Tudor and upon a motion by Commissioner Church, the Commissioners unanimously agreed to schedule a public hearing on Rezoning Case No. 395 for March 1, 2016. This application was submitted by Mr. Cropper on behalf of Sun TRS Frontier, LLC and seeks to rezone approximately 36 acres of land located to the east of MD Rt. 611 north of MD Rt. 376, and more specifically identified on Tax Map 33 as part of Parcel 94 in the Tenth Tax District of Worcester County, Maryland, from C-2 General Commercial District to A-2 Agricultural District. Mr. Tudor advised that the application received a favorable recommendation from the County Planning Commission.

In a related matter, The Commissioners agreed to extend the deadline for the submission of exhibits for Rezoning Cases No. 395 and 396 to February 5, 2016.

The Commissioners reviewed a letter from Walid Saffouri, Program Administrator for the Engineering and Capital Projects Program Office of Budget and Infrastructure Financing for the Maryland Department of the Environment (MDE), announcing that the Ocean Pines Wastewater Treatment Plant is exempt from paying into the Bay Restoration Fund (BRF) during the calendar year 2016. This exempts residents in the Ocean Pines Sanitary Service Area (SSA) from paying the \$2.50 monthly charge into the BRF, commonly referred to as the Flush Fee. Ocean Pines Wastewater Treatment Plant (WWTP) meets the criteria for exemption, which requires a maximum effluent concentration of 3 milligrams per liter (mg/l) of total nitrogen and 0.3 mg/l total phosphorous.

Pursuant to the recommendation of County Attorney Maureen Howarth and upon a motion by Commissioner Mitrecic, the Commissioners unanimously authorized Commission President Bunting to sign a letter of support for Senate Bill 131/House Bill 126 Worcester County - Recycling at Special Events - Exemptions, with a clarifying amendment, which was submitted by the Eastern Shore Delegation to exempt Worcester County from the provisions of Section 9-1712 of the Environment Article requiring special event organizers to provide for recycling at special events that occur on publicly-owned sites, streets, or parks and serve food or drink and expect 200 or more people to attend; or as an alternative, that special events for non-profit organizations be exempt from these requirements, since these organizations rely on the proceeds from special events to fund their annual programs.

The Commissioners reviewed and discussed various board appointments. Board appointments were previously confirmed in closed session, but following a recommendation by County Attorney Maureen Howarth, the Commissioners unanimously agreed to discontinue this practice and confirm appointments in open session to provide greater transparency.

Upon nominations by Commissioner Church, the Commissioners unanimously agreed to appoint Mark Wittmyer as a business representative member of the Local Development Council for the Ocean Downs Casino for a four-year term expiring December 31, 2019 to fill the vacancy created by Linda Dearing whose term expired; and reappoint Michelle Bankert to the Commission for Women for a three-year term expiring December 31, 2018, and Deborah Maphis and Gail Fowler to the Water and Sewer Advisory Council for the West Ocean City Service Area for four-year terms each expiring December 31, 2019.

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Upon nominations by Commissioner Elder, the Commissioners unanimously agreed to appoint Shawn Johnson to the Recreation Advisory Board and Curt Lambertson to the Agricultural Preservation Advisory Board for four-year terms each expiring December 31, 2019 to fill the vacancies created by the expiration of the terms of Burton Anderson and Donnie Powell, respectively.

The Commissioners answered questions from the press, after which they adjourned to meet in closed session.

Following a motion by Commissioner Mitrecic, seconded by Commissioner Lockfaw, the Commissioners unanimously voted to meet in closed session at 11:17 a.m. in the Commissioners' Conference Room to discuss legal and personnel matters permitted under the provisions of Section 3-305(b)(7) of the General Provisions Article of the Annotated Code of Maryland and to perform administrative functions. Also present at the closed session were Harold L. Higgins, Chief Administrative Officer; Kelly Shannahan, Assistant Chief Administrative Officer; Maureen Howarth, County Attorney; and Kim Moses, Public Information Officer. Topics discussed and actions taken included: receiving legal advice from counsel; and performing administrative functions.

The Commissioners adjourned to meet again on February 16, 2016.