

DEPARTMENT OF
ENVIRONMENTAL PROGRAMS

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAM
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS/FORESTRY
COMMUNITY HYGIENE

March 6, 2023

This notification is to advise you that the Department has received and is presently reviewing the following request for a shoreline construction project:

Ocean Pines Association Inc – Request No. 2023-020 – Request to replace 7,168 lf of existing failing timber bulkhead with new vinyl sheet pile bulkhead and new piles spaced at max of 6.5' o.c. and backfill void between new and old bulkhead with clean sand. Max channelward ext of 18". This project is located at various locations, Berlin also known as Tax Maps 16 & 21, Parcels 41,47,260,273. Sections 4,11,14C & 14D. Third Tax District of Worcester County, Maryland.

The Department in considering this application will make specific findings of fact with regard to the environmental impact, navigational impact, recreational potential, commercial benefit to Worcester County, impact of the proposed construction upon the surrounding neighborhood and upon property values therein, and any other pertinent issues. Approval from the Department does not guarantee approval from any other applicable regulatory agencies.

If you have an interest which may be adversely affected by the issuance of this permit, you are requested to notify this Department in writing within fifteen (15) calendar days which will end on March 21, 2023.

Sincerely,

Brandy Whitlock
Environmental Inspector

cc: Interested Parties
David Bradford, Deputy Director
File



WORCESTER COUNTY
SHORELINE CONSTRUCTION
APPLICATION

Request No.: 2023-020
Submission Date: 3-6-23

X Major Construction (\$300.00) Minor Construction (\$150.00)

Written Description of Proposed Improvement (include channelward distance):

To replace 7,168 LF of existing failing timber bulkhead at various locations in Ocean Pines, see attached location map, with new vinyl sheet pile bulkhead and new piles spaced at a maximum 6.5' o.c. with a maximum channelward encroachment of 18" and backfill the void between the old and new bulkhead with clean sand.

Property Description:

Map: 16,21 Parcel: 41,47,260,273 Lot: Various Section: Multiple Block: Tax District:

Street Address: Ocean Parkway, Ocean Pines, MD 21811

Subdivision: Ocean Pines - Sections 4, 11, 14C & 14D

Dwelling on lot: Yes Dwelling under construction: No Vacant: Commercial:

(Bulkhead Owner) -

Owner: Ocean Pines Association, Inc. - Attention Nobie Violante Phone No. (410) 641-7425

Mailing Address: 239 Ocean Parkway, Ocean Pines, MD 21811

E-Mail Address: nvioalnte@oceanpines.org

Contractor: To be determined Phone No.:

Mailing Address:

E-Mail Address:

Recorded Adjacent Property Owner: See Affected and Adjacent Lot Owner Tables

Property Address: Various Streets, Ocean Pines, MD 21811

Tax Map: Parcel: Lot: Section: Block:

Recorded Adjacent Property Owner: See Affected and Adjacent Lot Owner Tables

Property Address: Various Streets, Ocean Pines, MD 21811

Tax Map: Parcel: Lot: Section: Block:

As the applicant, I attest that the information presented on this application, site plan and any written documentation attached hereto is known to be accurate. I understand that the proposed shoreline improvement will be constructed to meet or exceed minimum design standards adopted by the Department. Any deviation from these standards will require construction plans sealed by an engineer registered in the State of Maryland. I acknowledge that any falsification of information presented may result in revocation of this approval and of the subsequent Shoreline Construction Permit.

Handwritten signature: Nolie Violante
Owner/Applicant's Signature Date

DEPT. USE ONLY:

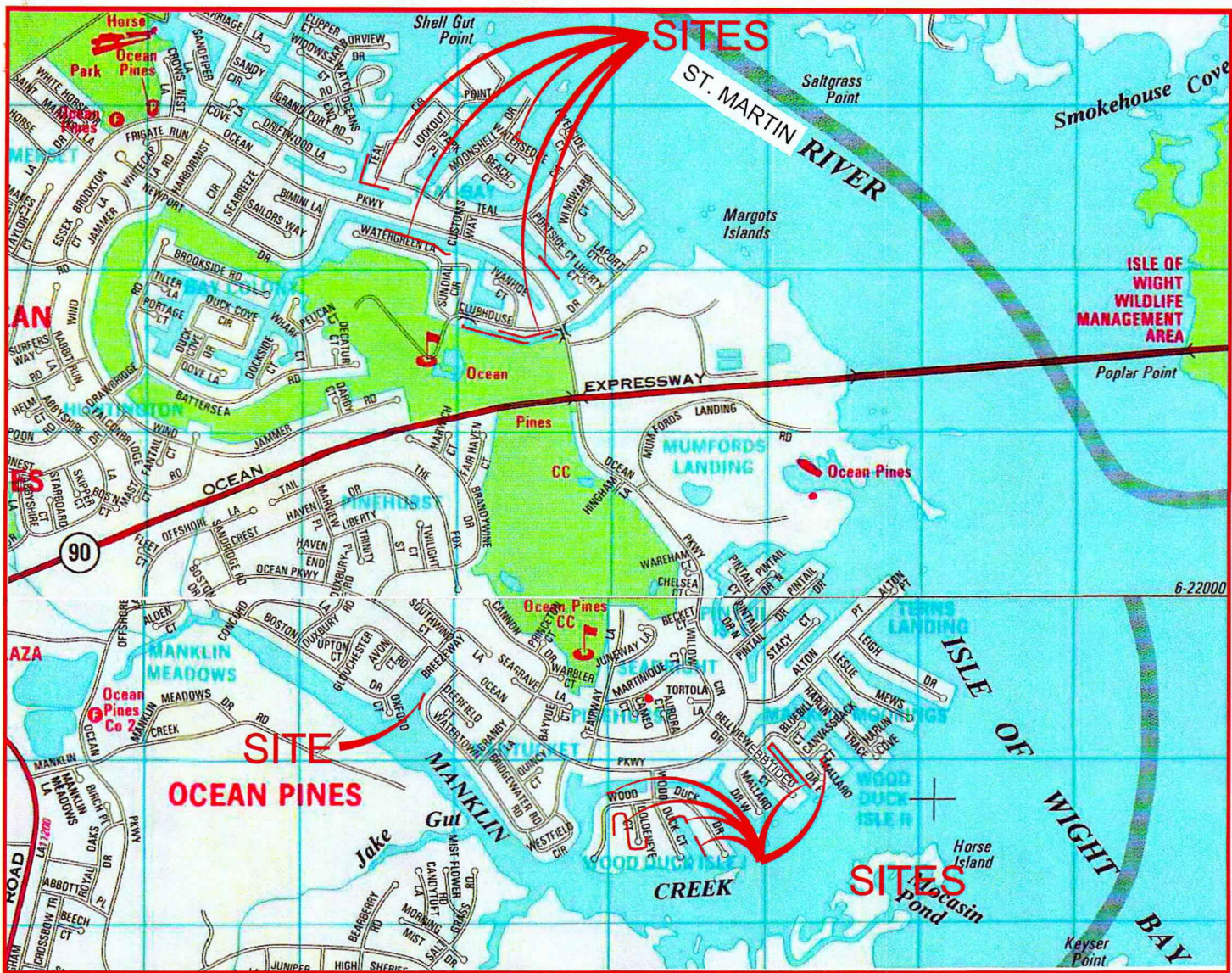
Notification Distribution Date: 3-6-23 Public Comment Deadline: 3-21-23 (15 calendar days)

Department Approval Date: Expiration:

INSTRUCTIONS:

1. If applicant is other than the property owner of record, a notarized Limited Authorization from the property owner of record must be filed with this application.
2. The application must be accompanied by the required fee and a copy of a site plan, with any supporting documentation, **(must utilize an existing surveyed site plan whenever possible)** that most accurately depicts property boundaries and existing conditions, not to exceed 11" x 17" in size, and drawn to scale addressing the following items. The proposed site plan prepared by a surveyor may be required based on staff's review per NR 2-102.
 - A. The perimeter property lines denoting the dimensions of the subject property **(including applicable setbacks)**;
 - B. The location, type and design of existing shoreline improvements on the contiguous properties (structures, revetment, bulkhead, etc.);
 - C. The location, type and design of existing shoreline improvements on the properties directly across the water body from the subject property;
 - D. The location, type and design of the existing and proposed shoreline improvements on the subject property;
 - E. The distance the proposed shoreline improvement extends channelward;
 - F. The distance the proposed shoreline improvement is to be built from respective property lines;
 - G. The distance the proposed shoreline improvement is located from the closest structure on the opposite shoreline;
 - H. The water depth soundings every five (5) feet from the mean high water line to the furthestmost end of the proposed shoreline improvement measured at mean low water;
 - I. The location of non-tidal and tidal wetlands;
 - J. The approximate location of sub-aquatic vegetation (SAV) beds; if none known, so state;
 - K. Photographs showing shoreline vegetation and conditions on subject property;
 - L. The amount of fill and/or other material used in the project (i.e., fill required for soft shoreline project, stone needed for rip rap or sill, etc.);
 - M. The location of any vegetation/trees located above MHW within the project scope and note if any removal is needed.
 - N. The location of staging, loading and unloading areas involved with dredging, shoreline protection and soft shoreline projects, including disturbed areas. Any disturbance greater than 5000 sq. ft. requires an SEC plan.
 - O. The cross sections of all soft shoreline/marsh creation projects, including MHW, MLW and all applicable elevations.
 - P. The type of vegetation to be planted for marsh creation/soft shoreline, including planting rates, species, etc.
 - Q. A construction detail sheet should accompany site plan for improved clarification of project.
 - R. **** The following may be required depending on scope of project:**
 - < 5000 Sq. Ft. of Disturbance - Simplified Buffer Management Plan
 - > 5000 Sq. Ft. of Disturbance - Minor Buffer Management Plan

***See Guidance Document or call staff listed.*



UNNAMED LAGOONS & CANALS TO MANKLIN CREEK 38°22'27" N 75°07'42" W &

ST. MARTIN RIVER 38°23'39" N 75°08'47" W

SHEET INDEX

- 1 VICINITY MAP, PERMIT REQUEST & OWNER
- 2-3 QUANTITY & SITE AREA TABLES
- 4-39 SITE AREA EXISTING/PROPOSED PLANS & PROPERTY OWNER TABLES
- 40-46 SECTION & ELEVATION DETAILS

QUANTITY

TOTAL LENGTH = 7,383 LF TOTAL AREA = 11,085 SQ. FT.
 TOTAL CLEAN SAND FILL = 2,873 CU. YD.

PERMIT REQUEST

TO REPLACE DETERIORATING TIMBER BULKHEAD WITH NEW VINYL SHEETING WITH MAXIMUM CHANNEL-WARD ENCROACHMENT OF 18". ALSO INCLUDED AS PART OF THIS PERMIT IS TO BACKFILL THE VOID BETWEEN THE OLD BULKHEAD AND NEW BULKHEAD WITH CLEAN SAND.

NOTES:

EXISTING BULKHEAD IS THE PROPERTY OF OCEAN PINES ASSOCIATION, INC. (OPA). EXISTING BOAT LIFTS, POWER WATER CRAFT LIFTS, PLATFORMS, PIERS ETC. ARE NOT INCLUDED AS PART OF THIS PERMIT. THESE ARE PRIVATELY OWNED BY LOT OWNERS AND WILL REQUIRE SEPARATE PERMITS TO ALTER OR MOVE CHANNEL-WARD.

LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE
- EXISTING BULKHEAD
- PROPOSED NEW BULKHEAD

BULKHEAD OWNER:

OCEAN PINES ASSOCIATION INC.
 239 OCEAN PARKWAY
 OCEAN PINES, MARYLAND 21811
 PHONE 410-641-5581

LOCATION:

VARIOUS CANALS/LAGOONS
 OCEAN PINES, MARYLAND 21811
 WORCESTER COUNTY



SCALE: 1" = 2000'

NOTE:
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NOTE:
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OCEAN PINES
 BULKHEAD
 REPLACEMENT

LOCATION
 MAP

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA
 Project: 18-014
 File: CE 010923.dwg
 Date: 2/7/2023
 Scale: 1" = 2000'
 Sheet: I of 46

BULKHEAD QUANTITIES

WATERTOWN ROAD BULKHEAD REPLACEMENT AREA	142 LF x 1.5'W = 213 SQ. FT.
CLEAN SAND FILL	142 LF x 1.5'W x 7'H = 1,491 CU. FT. / 55 CU.YD
WOOD DUCK DRIVE WEST & GOLDENEYE COURT BULKHEAD REPLACEMENT AREA	1,400 LF x 1.5'W = 2,100 SQ. FT.
CLEAN SAND FILL	1,400 LF x 1.5'W x 7'H = 14,700 CU. FT. / 544 CU.YD.
WOOD DUCK DRIVE EAST BULKHEAD REPLACEMENT AREA	700 LF x 1.5'W = 1,050 SQ. FT.
CLEAN SAND FILL	700 LF x 1.5'W x 7'H = 7,350 CU. FT. / 272 CU.YD.
EBBTIDE COURT & MALLARD DRIVE EAST BULKHEAD REPLACEMENT AREA	1,488 LF x 1.5'W = 2,232 SQ. FT.
CLEAN SAND FILL	1,488 LF x 1.5'W x 7'H = 15,624 CU. FT. / 579 CU.YD.
GOLF COURSE, CLUBHOUSE DRIVE & BORDERLINKS DRIVE BULKHEAD REPLACEMENT AREA	1,844 LF x 1.5'W = 2,766 SQ. FT.
CLEAN SAND FILL	1,844 LF x 1.5'W x 7'H = 19,362 CU. FT. / 717 CU.YD.
OCEAN PARKWAY BULKHEAD REPLACEMENT AREA	327 LF x 1.5'W = 491 SQ. FT.
CLEAN SAND FILL	327 LF x 1.5'W x 7'H = 3,434 CU. FT. / 127 CU.YD.
WATERGREEN LANE BULKHEAD REPLACEMENT AREA	601 LF x 1.5'W = 911 SQ. FT.
CLEAN SAND FILL	601 LF x 1.5'W x 7'H = 6,374 CU. FT. / 236 CU.YD.
TEAL CIRCLE BULKHEAD REPLACEMENT AREA	832 LF x 1.5'W = 1,248 SQ. FT.
CLEAN SAND FILL	832 LF x 1.5'W x 7'H = 8736 CU. FT. / 324 CU.YD.
MOONHELL DRIVE BULKHEAD REPLACEMENT AREA	49 LF x 1.5'W = 74 SQ. FT.
CLEAN SAND FILL	49 LF x 1.5'W x 7'H = 515 CU. FT. / 19 CU.YD.
<hr/>	
TOTAL LENGTH = 7,383 LF (ALL NINE PHASES)	
TOTAL AREA OF NEW BULKHEAD = 11,085 SQ. FT.	
TOTAL CLEAN SAND FILL REQUIRED 2,873 CU. YD.	
TOTAL DISTURBED AREA = 42,290 SQ. FT.	

NOTE:

THIS PERMIT IS BROKEN DOWN INTO NINE (9) INDIVIDUAL PHASES AS SHOWN ABOVE. EACH PHASE MAY BE CONSTRUCTED ALONE OR MULTIPLE PHASES MAY BE STARTED AT ONE TIME AS NECESSITATED BY EXISTING CONDITIONS.

LEGEND

AFFECTED PROPERTY ADDRESS	
ADJACENT PROPERTY ADDRESS	
BULKHEAD ELEVATION POINTS	X 3.9
SOUNDINGS ELEVATION POINTS	X (-4.1)
EXISTING PROPERTY LINE	
EXISTING BULKHEAD	
PROPOSED NEW BULKHEAD	

***BULKHEAD OWNER:**
 OCEAN PINES ASSOCIATION INC.
 239 OCEAN PARKWAY
 OCEAN PINES, MARYLAND 21811
 PHONE 410-641-5581

LOCATION:
 VARIOUS CANALS/LAGOONS
 OCEAN PINES, MARYLAND 21811
 WORCESTER COUNTY

NOSAV'S

PERMIT REQUEST

TO REPLACE DETERIORATING TIMBER BULKHEAD WITH NEW VINYL SHEETING WITH MAXIMUM CHANNEL-WARD ENCROACHMENT OF 18". ALSO INCLUDED AS PART OF THIS PERMIT IS TO BACKFILL THE VOID BETWEEN THE OLD BULKHEAD AND NEW BULKHEAD WITH CLEAN SAND.

NOTES:

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- THERE ARE NO OBSERVED AQUATIC VEGETATIVE BEDS WITHIN PERMIT AREA

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	<p>OCEAN PINES BULKHEAD REPLACEMENT</p>	<p>QUANTITY TABLE</p>	<p>VISTA DESIGN, INC. MDE AI # Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</p>	<p>PROJECT DATA</p>
				Project: 18-014
				File: CE 010923.dwg
				Date: 2/7/2023
				Scale: 1" = 2000'
Sheet: 2 of 46				

AFFECTED OWNERS & ADJACENT OWNERS ADDRESS

WATERTOWN

AFFECTED OWNERS

24 & 26 WATERTOWN RD.

ADJACENT OWNERS

*RESIDUE PARCEL
22 & 28 WATERTOWN RD.

WOOD DUCK (WEST) & GOLDENEYE

AFFECTED OWNERS

35 WOOD DUCK DR.
20-26 (EVEN), 34 & 42 WOOD DUCK DR.
2-24 (EVEN) & 21 & 23 GOLDENEYE CT.

ADJACENT OWNERS

18, 33 & 37 WOOD DUCK DR.
17 GOLDENEYE CT.
*PARCEL 'E' C.K.A. "WOOD DUCK PARK"

WOOD DUCK (EAST)

AFFECTED OWNERS

52, 56, 60, 66, 74-80 (EVEN) WOOD DUCK DR.

ADJACENT OWNERS

7 HERON ISLE CT.
68,72 & 82 WOOD DUCK DR.

EBB TIDE & MALLARD DRIVE EAST

AFFECTED OWNERS

3-17 (ODD) EBB TIDE CT.
4, 8-26 (EVEN) MALLARD DR. EAST
2 CANVASBACK CT.

ADJACENT OWNERS

19 EBB TIDE CT.
27 & 28 MALLARD DR. EAST
4 CANVASBACK CT.

GOLF COURSE (HOLE 10), CLUBHOUSE DRIVE
& BORDERLINKS DRIVE

AFFECTED OWNERS

*1 COMMON SPACE PARCEL
*PARCEL 56 C.K.A. "OCEAN PINES GOLF CLUB".
53-71 (ODD) CLUBHOUSE DR.

ADJACENT OWNERS

51, 73 & 91 CLUBHOUSE DR.
BORDERLINKS DOCK SPACES Bu & Cb

OCEAN PARKWAY

AFFECTED OWNERS

401-411 (ODD) OCEAN PARKWAY

ADJACENT OWNERS

399 & 413 OCEAN PARKWAY

WATERGREEN

AFFECTED OWNERS

2-20 (EVEN) WATERGREEN LN.

ADJACENT OWNERS

22 WATERGREEN LN.
23 SUNDIAL CIR.

TEAL

AFFECTED OWNERS

66-84 (EVEN) TEAL CIR.

ADJACENT OWNERS

64 & 86 TEAL CIR.

MOONSHELL & WATERSEEDGE

AFFECTED OWNERS

40 & 42 MOONSHELL DR.
1 & 3 WATERSEEDGE CT.

ADJACENT OWNERS

44 MOONSHELL DR.
5 WATERSEEDGE CT.

*BULKHEAD OWNER:
OCEAN PINES ASSOCIATION INC.
239 OCEAN PARKWAY
OCEAN PINES, MARYLAND 21811
PHONE 410-641-5581

LOCATION:

VARIOUS CANALS/LAGOONS
OCEAN PINES, MARYLAND 21811
WORCESTER COUNTY

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OCEAN PINES
BULKHEAD
REPLACEMENT

OWNER
SUMMARY
TABLE

VISTA
DESIGN, INC.

MDE AI #

Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA

Project:	18-014
File:	CE 010923.dwg
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Sheet:	3 of 46



LEGEND

AFFECTED PROPERTY ADDRESS	84
ADJACENT PROPERTY ADDRESS	82
BULKHEAD ELEVATION POINTS	X 3.9
SOUNDINGS ELEVATION POINTS	X (-4.1)
EXISTING PROPERTY LINE	— — — — —
EXISTING BULKHEAD	— — — — —
PROPOSED NEW BULKHEAD	— — — — —

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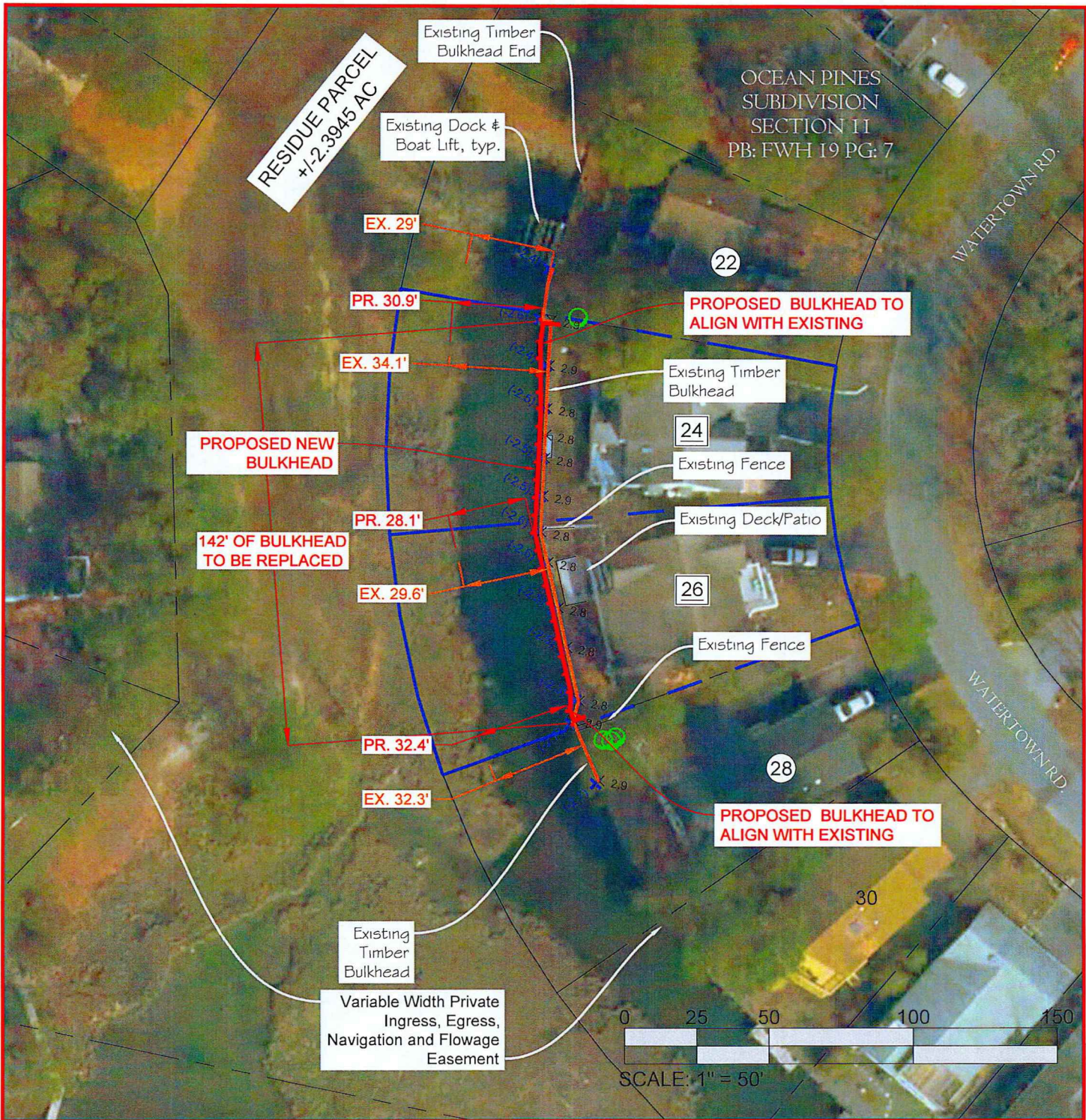


WATERTOWN RD.
OCEAN PINES
BULKHEAD

EXISTING
CONDITIONS
PLAN

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	18-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 150'
Sheet:	4 of 46



LEGEND

AFFECTED PROPERTY ADDRESS	84
ADJACENT PROPERTY ADDRESS	82
BULKHEAD ELEVATION POINTS	X 3.9
SOUNDINGS ELEVATION POINTS	X (-4.1)
EXISTING PROPERTY LINE	--- ---
EXISTING BULKHEAD	====
PROPOSED NEW BULKHEAD	====

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WATERTOWN RD.
OCEAN PINES
BULKHEAD

PROPOSED
SITE
PLAN

VISTA
DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Shovel, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	18-01+
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 50'
Sheet:	5 of 46

AFFECTED LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR CEL	LOT #	SUB. SECTI ON	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
24 WATERTOWN RD. OCEAN PINES 21811	2284 PINE VIEW CIRCLE, SARASOTA, FL 34231	ROBERT & JOYCE PARKER	16	0000	47	361	11	FWH 19-7	7488/387
26 WATERTOWN RD. OCEAN PINES 21811	SAME	MICHAEL B. & DEBORAH A. CLEMETS	16	0000	47	360	11	FWH 19-7	2380/590

ADJACENT LOT OWNER INFORMATION


PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR CEL	LOT #	SUB. SECTI ON	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
22 WATERTOWN RD. OCEAN PINES 21811	SAME	BRIAN W. BURGESS	16	0000	47	362	11	FWH 19-7	7489/153
28 WATERTOWN RD. OCEAN PINES 21811	SAME	JAMES WIEBOLT & CYNTHIA ROMAN	16	0000	47	359	11	FWH 19-7	6027/74

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	WATERTOWN RD. OCEAN PINES BULKHEAD	PROPERTY OWNERS TABLE	<h2 style="margin: 0;">VISTA</h2> DESIGN, INC. MDE AI # <small>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</small>	PROJECT DATA Project: 18-014 File: CE 010923.dwg Date: 2/7/2023 Scale: N/A Sheet: 6 of 46
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LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X 3.9
- SOUNDINGS ELEVATION POINTS X (-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ---
- PROPOSED NEW BULKHEAD ---

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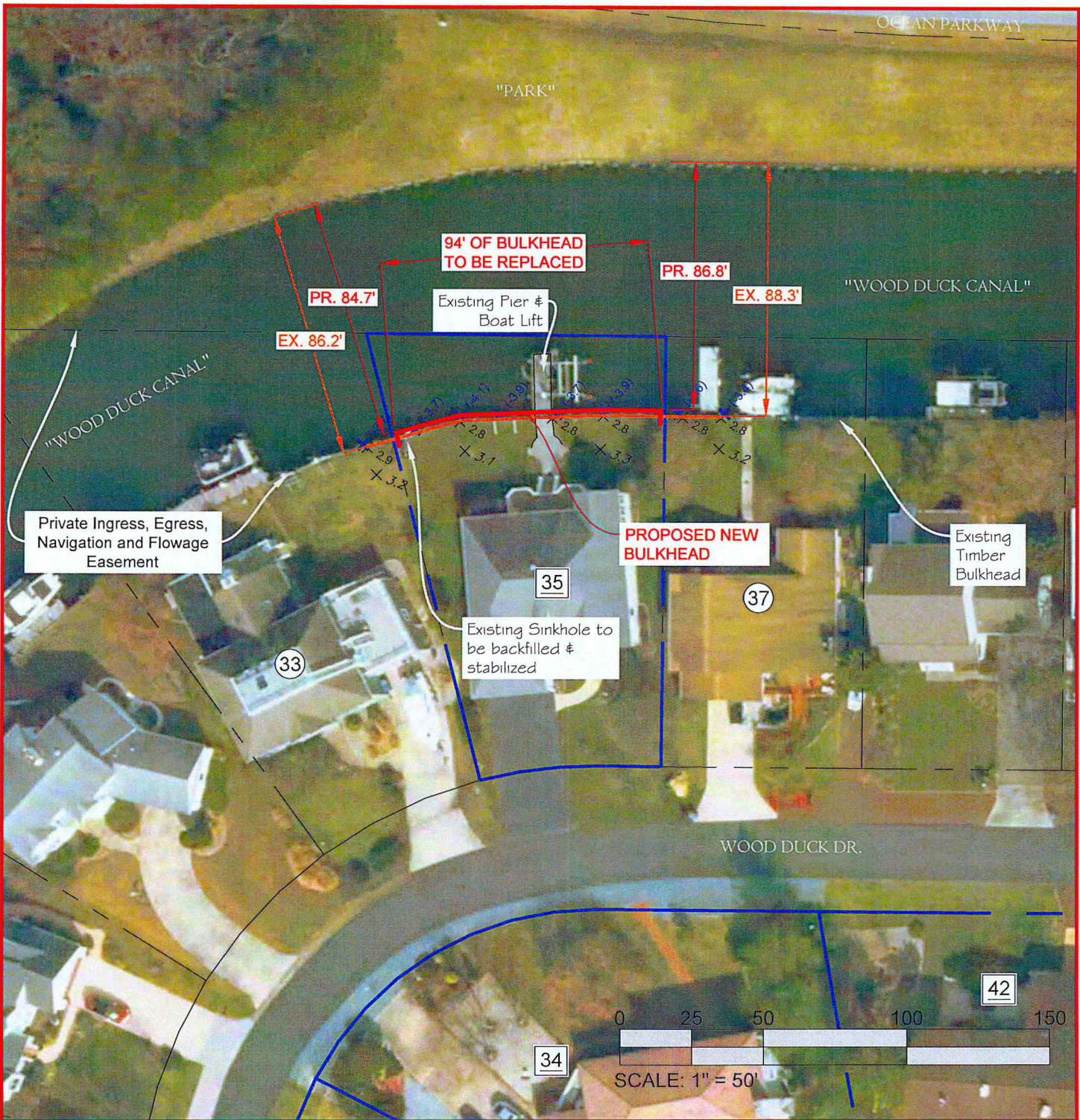


**WOOD DUCK DR.
 OCEAN PINES
 BULKHEAD**

**EXISTING
 CONDITIONS
 PLAN**

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

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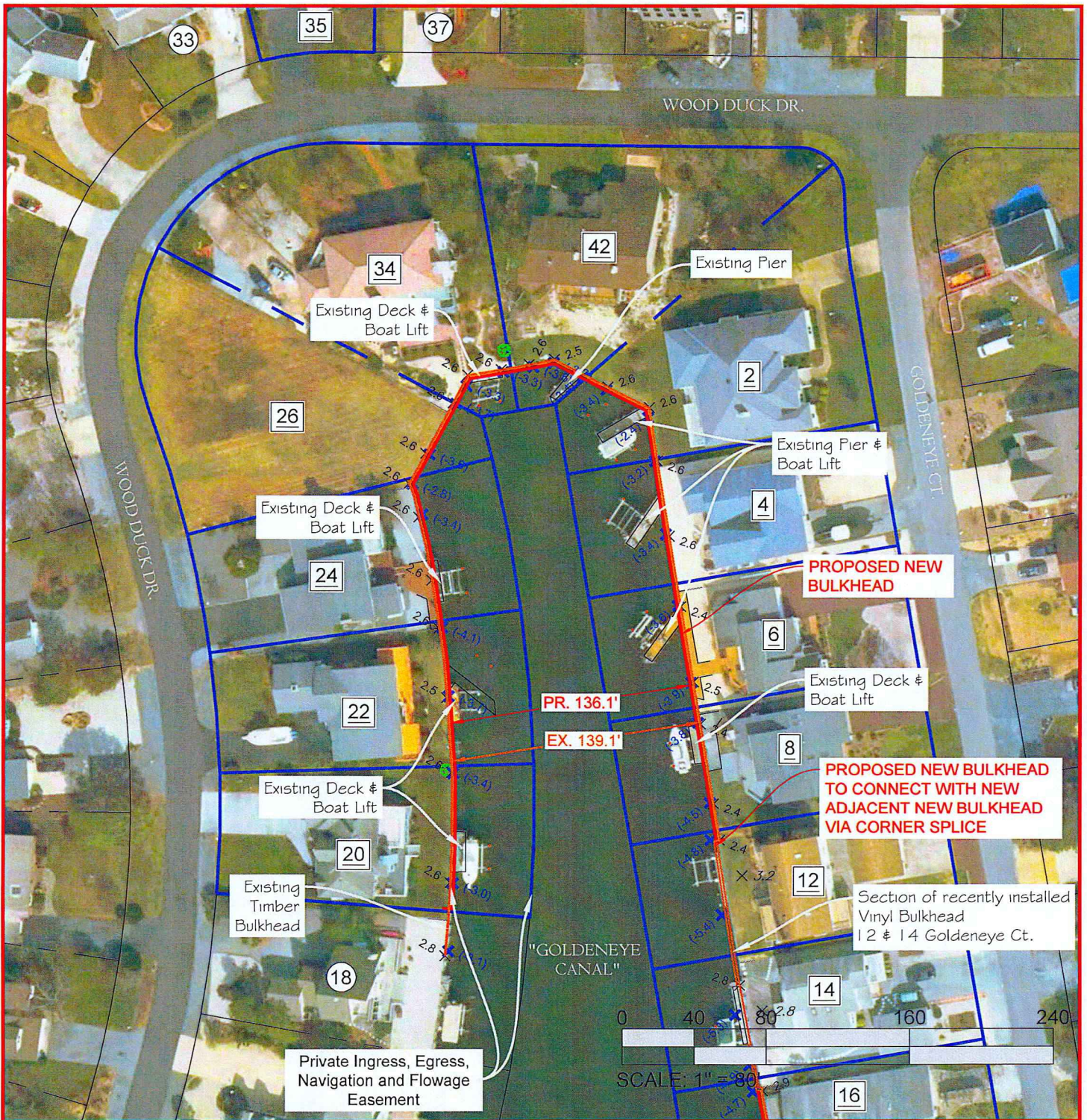
LEGEND

AFFECTED PROPERTY ADDRESS	84
ADJACENT PROPERTY ADDRESS	82
BULKHEAD ELEVATION POINTS	X 3.9
SOUNDINGS ELEVATION POINTS	X (-4.1)
EXISTING PROPERTY LINE	— — — — —
EXISTING BULKHEAD	—————
PROPOSED NEW BULKHEAD	—————

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	WOOD DUCK DR. OCEAN PINES BULKHEAD	PROPOSED SITE PLAN	VISTA DESIGN, INC. MDE AI # <small>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</small>	PROJECT DATA Project: 18-014 File: CE 010923.dwg Date: 2/7/2023 Scale: 1" = 50' 8 of 46
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LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ---
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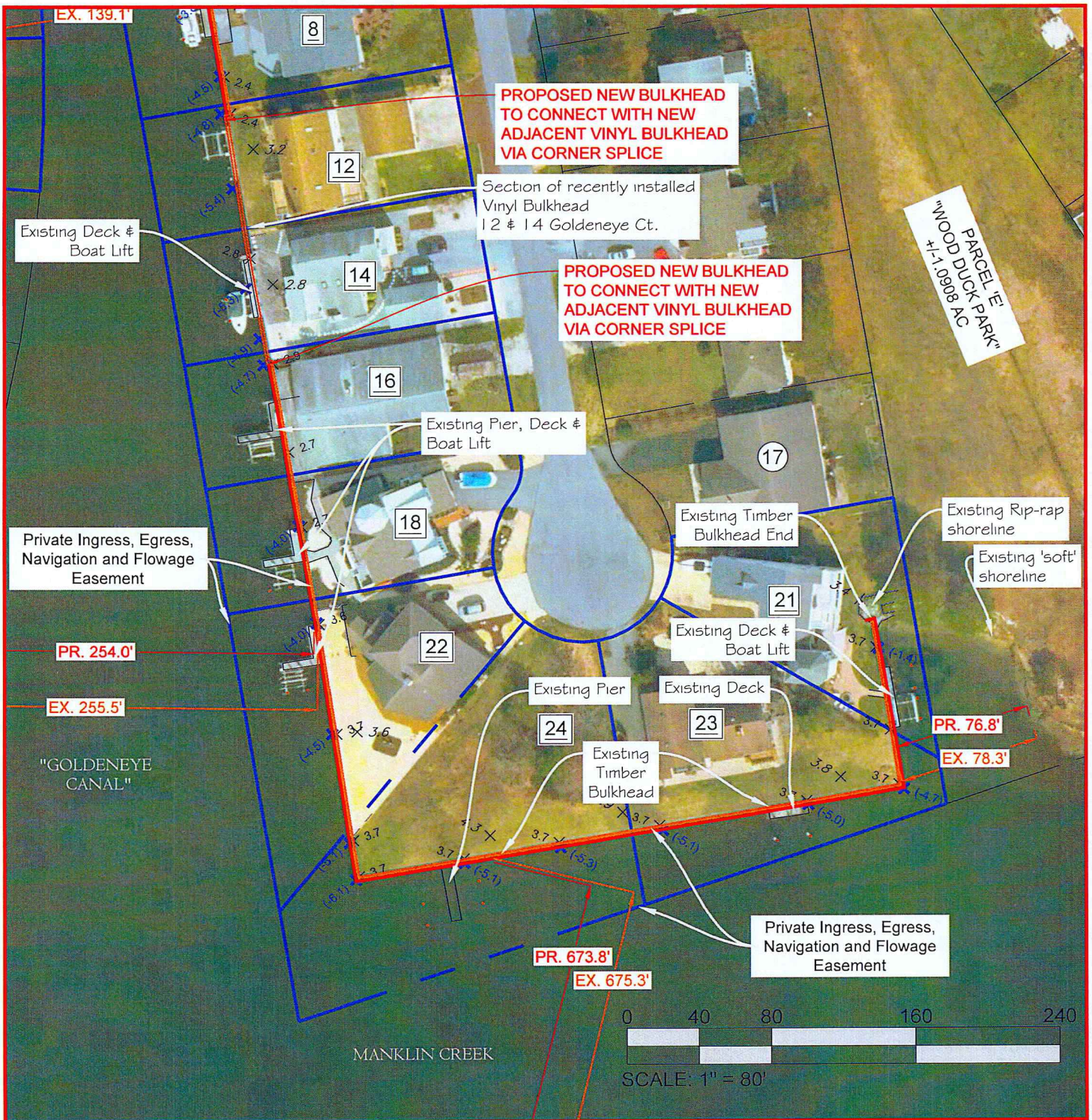


**WOOD DUCK DR.
 OCEAN PINES
 BULKHEAD**

**PROPOSED
 SITE
 PLAN**

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	18-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 80'
Sheet:	9 of 46



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE
- EXISTING BULKHEAD
- PROPOSED NEW BULKHEAD

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 SITE
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PROJECT DATA	
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Scale:	1" = 80'
Sheet:	10 of 46

AFFECTED LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR CEL	LOT #	SUB. SECT ION	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
20 WOOD DUCK DRIVE OCEAN PINES 21811	2410 FOREST HILL RD. MARRIOTSVILLE, MD 21104	SUZANNE M. RICHARDS	21	0	260	79	14D	FWH 42-1	6965/ 90
22 WOOD DUCK DRIVE OCEAN PINES 21811	230 N OLD STONE HOUSE RD CARLISLE PA 17015	GLENN M. & KATHLEEN TURLEY	21	0	260	78	14D	FWH 42-1	6128/51
24 WOOD DUCK DRIVE OCEAN PINES 21811	SAME	NOREEN P. & JACKIE PAGANO	21	0	260	77	14D	FWH 42-1	8274/ 275
26 WOOD DUCK DRIVE OCEAN PINES 21811	10417 INLET RD OCEAN CITY MD 21842	JOSEPH G. HARRISON JR. & ROBIN H. HARRISON	21	0	260	76	14D	FWH 42-1	5948/ 295
34 WOOD DUCK DRIVE OCEAN PINES 21811	SAME	ANTHONY & SANDRA PALMISANO	21	0	260	75	14D	FWH 42-1	4205/ 180
35 WOOD DUCK DRIVE OCEAN PINES 21811	SAME	MARGARET L. MEIXNER	21	0	260	102	14D	FWH 42-1	3105/ 134
42 WOOD DUCK DRIVE OCEAN PINES 21811	SAME	GARY S. & SHARON A. FIGALLO	21	0	260	74	14D	FWH 42-1	5717/ 278
2 GOLDENEYE COURT OCEAN PINES 21811	SAME	RALPH J. & ANNE M. O'CONNELL	21	0	260	73	14D	FWH 42-1	3026/ 197
4 GOLDENEYE COURT OCEAN PINES 21811	4700 3RD AVE, BENSLEM PA 19020	ANTONIO M. & MARGARET M. NEROSA	21	0	260	72	14D	FWH 42-1	6339/ 406
6 GOLDENEYE COURT OCEAN PINES 21811	13492 OPEN SPACE CT HIGHLAND MD 20777	DAVID R. & LUCIA O. DITCH	21	0	260	71	14D	FWH 42-1	6459/ 498
8 GOLDENEYE COURT OCEAN PINES 21811	SAME	CHARLES L. & JANICE O. SCHLEGEL	21	0	260	70	14D	FWH 42-1	3512/ 174
12 GOLDENEYE COURT OCEAN PINES 21811	519 W JARRETTSVILLE RD FOREST HILL MD 21050	MICHAEL J. & SANDRA L. BORNS	21	0	260	69	14D	FWH 42-1	7191/ 35
14 GOLDENEYE COURT OCEAN PINES 21811	17654 AZUL DR LAKEWOOD RANCH FL 34202	JAMES FITZGERALD RADER & DINA A WOLFF REVOCABLE TRUST	21	0	260	68	14D	FWH 42-1	8319/ 174
16 GOLDENEYE COURT OCEAN PINES 21811	SAME	RICHARD M. & LYNNE E. BAINBRIDGE	21	0	260	67	14D	FWH 42-1	7543/ 283
18 GOLDENEYE COURT OCEAN PINES 21811	16970 SAN CARLOS BLVD #160-189 FORT MYERS FL 33908	CLIFTON O. WALLACE JR. & NANCY E. WALLACE	21	0	260	66	14D	FWH 42-1	2893/ 220
21 GOLDENEYE COURT OCEAN PINES 21811	SAME	BRUCE W. & JILL R. BLACKWAY	21	0	260	62	14D	FWH 42-1	6174/ 396
22 GOLDENEYE COURT OCEAN PINES 21811	SAME	WARREN S. & DANA L. ROSENFELD	21	0	260	65	14D	FWH 42-1	4257/ 657

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**WOOD DUCK DR.
OCEAN PINES
BULKHEAD**

**PROPERTY
OWNERS
TABLE**

VISTA

DESIGN, INC. MDE AI #

Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA

Project:	I8-01+
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	N/A
Sheet:	II of 46

AFFECTED LOT OWNER INFORMATION CONT.

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR CEL	LOT #	SUB. SECTI ON	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
23 GOLDENEYE COURT OCEAN PINES 21811	2301 PAPER MILL RD PHOENIX MD 21131	DENNIS G. FOSTER JR. & CAROL R. FOSTER	21	0	260	63	14D	FWH 42-1	6739/ 270
24 GOLDENEYE COURT OCEAN PINES 21811	100 PARTRIDGE WAY LANDENBERG PA 19350	MARY K. & JOHN DEITZ	21	0	260	64	14D	FWH 42-1	6985/ 11

ADJACENT LOT OWNER INFORMATION


PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR CEL	LOT #	SUB. SECTI ON	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
18 WOOD DUCK DRIVE OCEAN PINES 21811	457 GINKGO DR BLUE BELL PA 19422	S. GERALD & PATRICIA FOX CORSO	21	0	260	80	14D	FWH 42-1	2738/ 466
17 GOLDENEYE COURT OCEAN PINES 21811	4402 KENTMORE DR WOODBIDGE VA 22193	ANTHONY F. PICCONI	21	0	260	61	14D	FWH 42-1	3159/ 489
33 WOOD DUCK DRIVE OCEAN PINES 21811	1368 ROMANSVILLE RD WEST BRADFORD PA 19320	TIMOTHY W. & ANDREA L. VOGEL	21	0	260	101	14D	FWH 42-1	7761/ 379
37 WOOD DUCK DRIVE OCEAN PINES 21811	125 WAGNER WAY FOREST HILL MD 21050	MARK W. NAMVARY	21	0	260	103	14D	FWH 42-1	7840/ 151

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	<p>WOOD DUCK DR. OCEAN PINES BULKHEAD</p>	<p>PROPERTY OWNERS TABLE</p>	<p>VISTA DESIGN, INC. MDE AI #</p> <p>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</p>	<p>PROJECT DATA</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>Project:</td><td>18-014</td></tr> <tr><td>File:</td><td>CE 010923.dwg</td></tr> <tr><td>Date:</td><td>2/7/2023</td></tr> <tr><td>Scale:</td><td>N/A</td></tr> <tr><td>Sheet:</td><td>12 of 46</td></tr> </table>	Project:	18-014	File:	CE 010923.dwg	Date:	2/7/2023	Scale:	N/A	Sheet:	12 of 46
Project:	18-014													
File:	CE 010923.dwg													
Date:	2/7/2023													
Scale:	N/A													
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LEGEND

AFFECTED PROPERTY ADDRESS	84
ADJACENT PROPERTY ADDRESS	82
BULKHEAD ELEVATION POINTS	X 3.9
SOUNDINGS ELEVATION POINTS	X (-4.1)
EXISTING PROPERTY LINE	— · — · — · — · — ·
EXISTING BULKHEAD	— — — — —
PROPOSED NEW BULKHEAD	— — — — —

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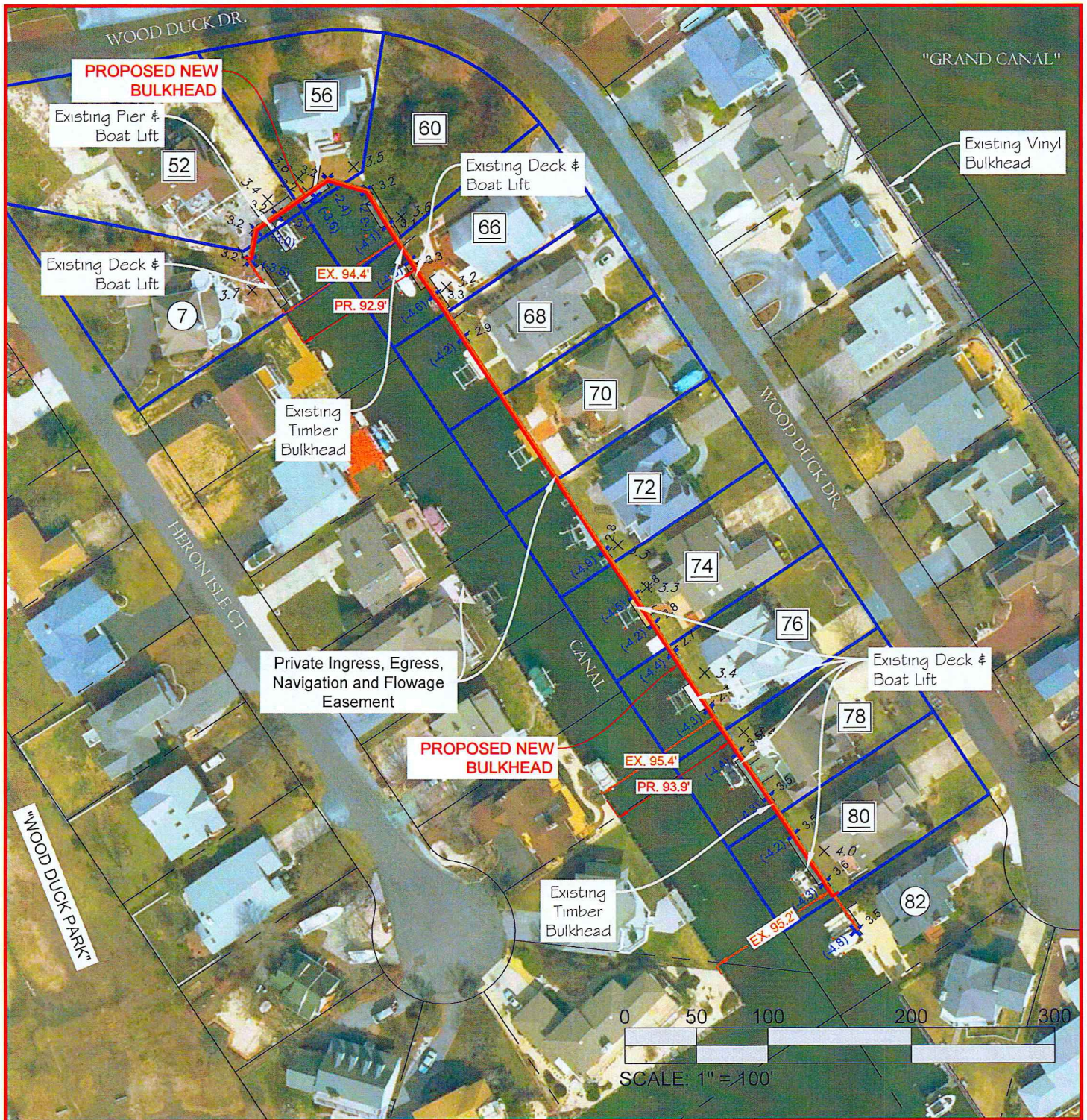


**WOOD DUCK DR.
 OCEAN PINES
 BULKHEAD**

**EXISTING
 CONDITIONS
 PLAN**

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	18-01+
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 150'
Sheet:	13 of 46



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X 3.9
- SOUNDINGS ELEVATION POINTS X (-4.1)
- EXISTING PROPERTY LINE
- EXISTING BULKHEAD
- PROPOSED NEW BULKHEAD

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WOOD DUCK DR.
OCEAN PINES
BULKHEAD

PROPOSED
SITE
PLAN

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 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
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PROJECT DATA	
Project:	18-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 100'
Sheet:	14 of 46

AFFECTED LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR CEL	LOT #	SUB. SECTI ON	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
7 HERON ISLE CT. OCEAN PINES 21811	5030 CHELSEA DR BETHLEHEM PA 18020	GEORGE S. & KATHLEEN E. MAZUR	21	0	260	33A	14D	RHO 152-17	6368/ 1
52 WOOD DUCK DR. OCEAN PINES 21811	SAME	JAMES P. & MARGARET J. MCCRISTAL	21	0	260	33A	14D	RHO 152-17	2723/ 342
56 WOOD DUCK DR. OCEAN PINES 21811	11 TREADWELL CT. LUTHERVILLE MD 21093	PETER C. CHRISTOFFERSON & TERESA C. GRICE-CHRISTOFFERSON	21	0	260	31	14D	FWH 42-1	6397/ 353
60 WOOD DUCK DR. OCEAN PINES 21811	SAME	STEPHEN A. & JOHNNA R. THOMPSON	21	0	260	30	14D	FWH 42-1	7429/ 204
66 WOOD DUCK DR. OCEAN PINES 21811	SAME	WILLIAM & LINDA J. TURC	21	0	260	29	14D	FWH 42-1	806/ 327
68 WOOD DUCK DR. OCEAN PINES 21811	SAME	ELSIE W. MACMULLIN LIVING TRUST ELSIE W. MACMULLIN TRUSTEE	21	0	260	28	14D	FWH 42-1	7284/ 286
70 WOOD DUCK DR. OCEAN PINES 21811	SAME	RYAN E. & KERRY E. SMITH	21	0	260	27	14D	FWH 42-1	7300/ 126
72 WOOD DUCK DR. OCEAN PINES 21811	11113 OLD FREDERICK RD THURMONT MD 21788	PAUL JOHN & MARIA ISABEL NICHOLSON	21	0	260	26	14D	FWH 42-1	7788/ 426
74 WOOD DUCK DR. OCEAN PINES 21811	SAME	STEVEN J. & JANICE L. WILSON	21	0	260	25	14D	FWH 42-1	6636/ 182
76 WOOD DUCK DR. OCEAN PINES 21811	SAME	EARLE J. & CATHERINE M. MOORE	21	0	260	24	14D	FWH 42-1	3104/ 394
78 WOOD DUCK DR. OCEAN PINES 21811	SAME	KATHRYN L. ELLIS	21	0	260	23	14D	FWH 42-1	6610/ 424
80 WOOD DUCK DR. OCEAN PINES 21811	13505 FORK RD. BALDWIN MD 21013	JOHN W & GERALDINE PETTERSON	21	0	260	22	14D	FWH 42-1	2231/ 62

ADJACENT LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR CEL	LOT #	SUB. SECTI ON	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
11 HERON ISLE CT. OCEAN PINES 21811	SAME	MATTHEW & AMY KNIGHT CAMPBELL	21	0	260	34	14D	FWH 42-1	7418/ 252
82 WOOD DUCK DR. OCEAN PINES 21811	SAME	MARY J. HUTZLER	21	0	260	21	14D	FWH 42-1	5676/ 163

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**WOOD DUCK DR.
OCEAN PINES
BULKHEAD**

**PROPERTY
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**VISTA
DESIGN, INC.**

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11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

MDE AI #

PROJECT DATA

Project:	I8-014
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Sheet:	15 of 46

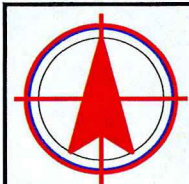


LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
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- EXISTING PROPERTY LINE - - - - -
- EXISTING BULKHEAD —————
- PROPOSED NEW BULKHEAD —————

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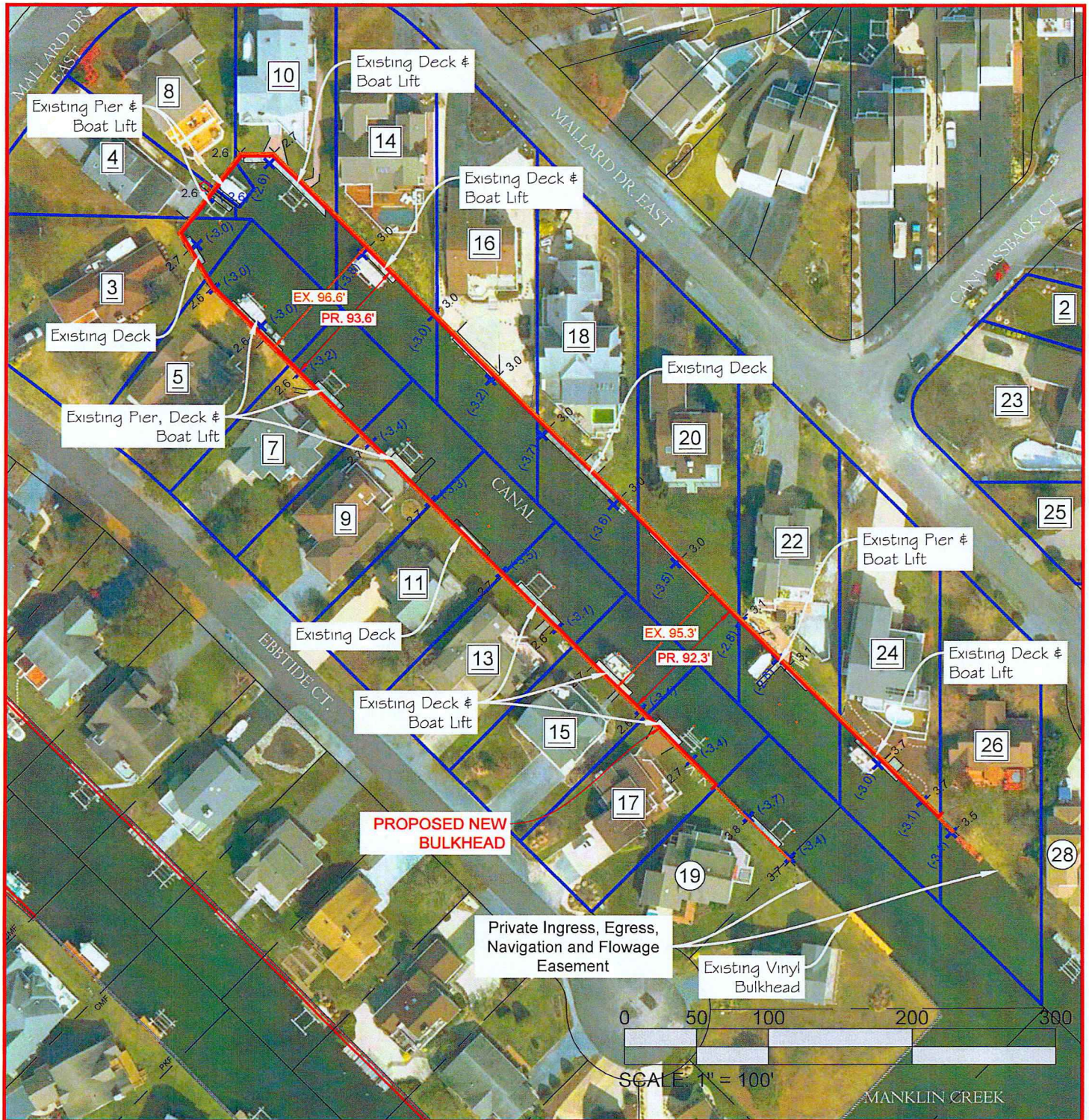


MALLARD DR. EAST
 OCEAN PINES
 BULKHEAD

EXISTING
 CONDITIONS
 PLAN

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
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Sheet:	16 of 46



LEGEND

- AFFECTED PROPERTY ADDRESS 84
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- BULKHEAD ELEVATION POINTS X3.9
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MALLARD DR. EAST
OCEAN PINES
BULKHEAD

PROPOSED
SITE
PLAN

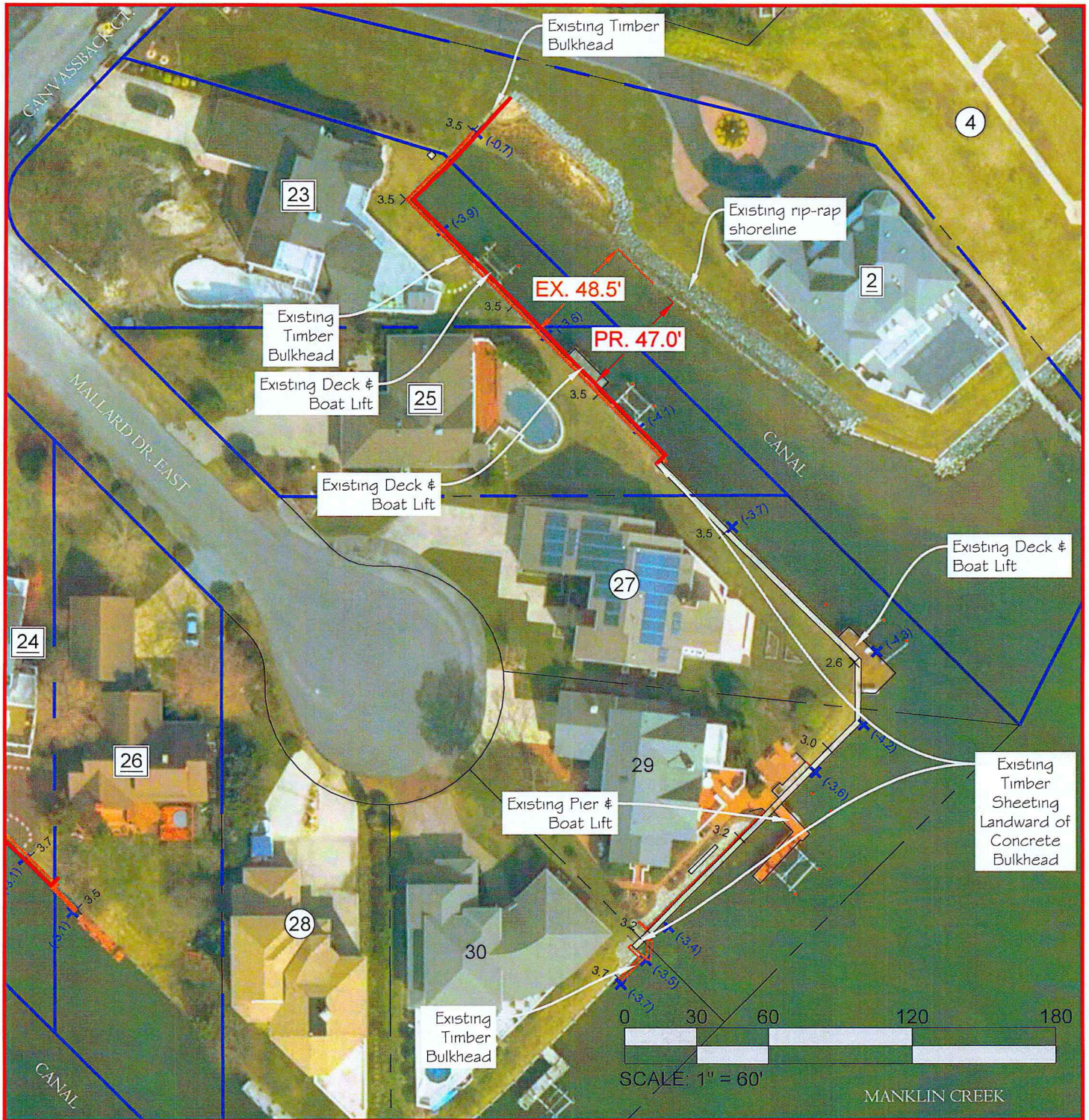
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LEGEND

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- BULKHEAD ELEVATION POINTS X 3.9
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- PROPOSED NEW BULKHEAD — — — — —

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MALLARD DR. EAST
OCEAN PINES
BULKHEAD

PROPOSED
SITE
PLAN

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PROJECT DATA
 Project: 18-014
 File: CE 010923.dwg
 Date: 2/7/2023
 Scale: 1" = 60'
 Sheet: **18 of 46**

AFFECTED LOT OWNER INFORMATION



PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
17 EBB TIDE CT OCEAN PINES 21811	43028 ADDLESTONE PLACE ASHBURN VA 20148	GREG LAROSA	21	0	273	145	14C	FWH 69-31	7002/ 6
15 EBB TIDE CT OCEAN PINES 21811	22852 ASHTON WOODS DR BRAMBLETON VA 20148	THE PAVLIK FAMILY TRUST AGREEMENT	21	0	273	146	14C	FWH 69-31	7586/ 465
13 EBB TIDE CT OCEAN PINES 21811	1601 CEDAR ST LEWES DE 19950	JOHN L BROSCARD JR REVOCABLE TRUST JOAN E BROSCARD RESIDUARY TRUST	21	0	273	147	14C	FWH 69-31	5635/ 256
11 EBB TIDE CT OCEAN PINES 21811	SAME	GREGORY ALLEN FOX	21	0	273	148	14C	FWH 69-31	8156/ 258
9 EBB TIDE CT OCEAN PINES 21811	SAME	FRANK C. & CAROL A. TORTELLA	21	0	273	149	14C	FWH 69-31	4190/ 409
7 EBB TIDE CT OCEAN PINES 21811	SAME	THE MONICA URQUHART BRADLEY & WAYNE WILLIAM BRADLEY SR REVOCABLE FAMILY TRUST	21	0	273	150	14C	FWH 69-31	8422/ 439
5 EBB TIDE CT OCEAN PINES 21811	SAME	JOSEPH H. BLAND FOR LIFE & SANDRA D. BLAND FOR LIFE	21	0	273	151	14C	FWH 69-31	5892/ 52
3 EBB TIDE CT OCEAN PINES 21811	SAME	JOHN J. WELLS JR. & MARION ALVER	21	0	273	152	14C	FWH 69-31	3355/ 536
4 MALLARD DR EAST OCEAN PINES 21811	24939 RIDGE ROAD DAMASCUS MD 20872	WILLIAM J. ARMSTRONG III & PAMELA W. ARMSTRONG	21	0	273	153	14C	FWH 70-11	1673/ 307
8 MALLARD DR EAST OCEAN PINES 21811	3910 PROSPERITY AVE FAIRFAX VA 22031	RICHARD D. & SANDRA S. ROUBIN	21	0	273	154 A	14C	FWH 70-11 & SVH 231-50	4149/ 271
10 MALLARD DR EAST OCEAN PINES 21811	8217 ACADEMY DR ELLCOTT CITY MD 21043	JOSEPH BALLO JR. & PAMELA S. BALLO	21	0	273	155 A	14C	FWH 70-11 & SVH 231-50	6283/ 85
14 MALLARD DR EAST OCEAN PINES 21811	SAME	RONALD E. ROBEY SR. & SUSAN FORESTER ROBEY	21	0	273	156	14C	FWH 70-11	5289/ 39
16 MALLARD DR EAST OCEAN PINES 21811	651 CHURCH LN YEADON PA 19050	CHARLES FINNEY & ARNELLE A. LLOYD	21	0	273	157	14C	FWH 70-11	8446/ 169
18 MALLARD DR EAST OCEAN PINES 21811	3827 BARCROFT LN ALEXANDRIA VA 22312	18 MALLARD LLC	21	0	273	158	14C	FWH 70-11	5416/ 474
20 MALLARD DR EAST OCEAN PINES 21811	SAME	CHARLES J. & KIMBERLY STEIGER	21	0	273	159	14C	FWH 70-11	8021/ 444
22 MALLARD DR EAST OCEAN PINES 21811	47 MAIN BEACH RD RINGWOOD NJ 07456	STUART & DAWN SUDOL	21	0	273	160	14C	FWH 70-11	4679/ 12
23 MALLARD DR EAST OCEAN PINES 21811	SAME	KIMBERLY S. ANDRASIC & PATRICK MILLER	21	0	273	167	14C	FWH 70-11	4982/ 395

NOTE:

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	MALLARD DR. EAST	PROPERTY OWNERS TABLE	 DESIGN, INC. MDE AI # Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com	PROJECT DATA
	OCEAN PINES			Project: 18-014
	BULKHEAD			File: CE 010923.dwg
				Date: 3/7/2023
				Scale: N/A
	Sheet: <b style="color: red;">19 of 46			

AFFECTED LOT OWNER INFORMATION CONT.

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
24 MALLARD DR EAST OCEAN PINES 21811	SAME	WARD W. & DANA H. BARNEY	21	0	273	161	14C	FWH 70-11	5638/ 91
25 MALLARD DR EAST OCEAN PINES 21811	SAME	THE JO ANN BEALL TRUST JO ANN BEALL TRUSTEE	21	0	273	166	14C	FWH 70-11	6614/ 223
26 MALLARD DR EAST OCEAN PINES 21811	533 FOWLERSVILLE RD BLOOMSBURG PA 17815	CHRIS M. & CATHERINE A. O'NEIL	21	0	273	162	14C	FWH 70-11	7788/ 121
2 CANVASSBACKK CT OCEAN PINES 21811	SAME	JOHN J. & LISA A. KRISTICK	21	5	273	168 C	14C	RHO 127-52	6059/ 450

ADJACENT LOT OWNER INFORMATION


PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
19 EBB TIDE CT OCEAN PINES 21811	SAME	MARY J. ROSEMAN FOR LIFE	21	0	273	144	14C	FWH 69-31	8476/ 301
27 MALLARD DR EAST OCEAN PINES 21811	SAME	W. THOMAS & ELIZABETH W. HERSHEY	21	0	273	165	14C	FWH 70-11	808/ 85
28 MALLARD DR EAST OCEAN PINES 21811	7506 JUMPING HORSE LN FAIRFAX STATION VA 22039	CARMELITA G. ACUNA & TIMOTHY J. ACUNA ETAL	21	0	273	163 B	14C	FWH 70-11	7788/ 426
4 CANVASSBACKK CT OCEAN PINES 21811	2 CANVASSBACK CT OCEAN PINES MD 21811	JOHN J. & LISA A. KRISTICK	21	0	273	168 B	14C	RHO 127-52 & SRB 247-75	7573/ 421

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	<p>MALLARD DR. EAST OCEAN PINES BULKHEAD</p>	<p>PROPERTY OWNERS TABLE</p>	<p>VISTA DESIGN, INC. MDE AI #</p> <p>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</p>	<p>PROJECT DATA</p> <p>Project: T8-014 File: CE 010923.dwg Date: 2/7/2023 Scale: N/A Sheet: 20 of 46</p>
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LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ---
- PROPOSED NEW BULKHEAD ---

NOTE:

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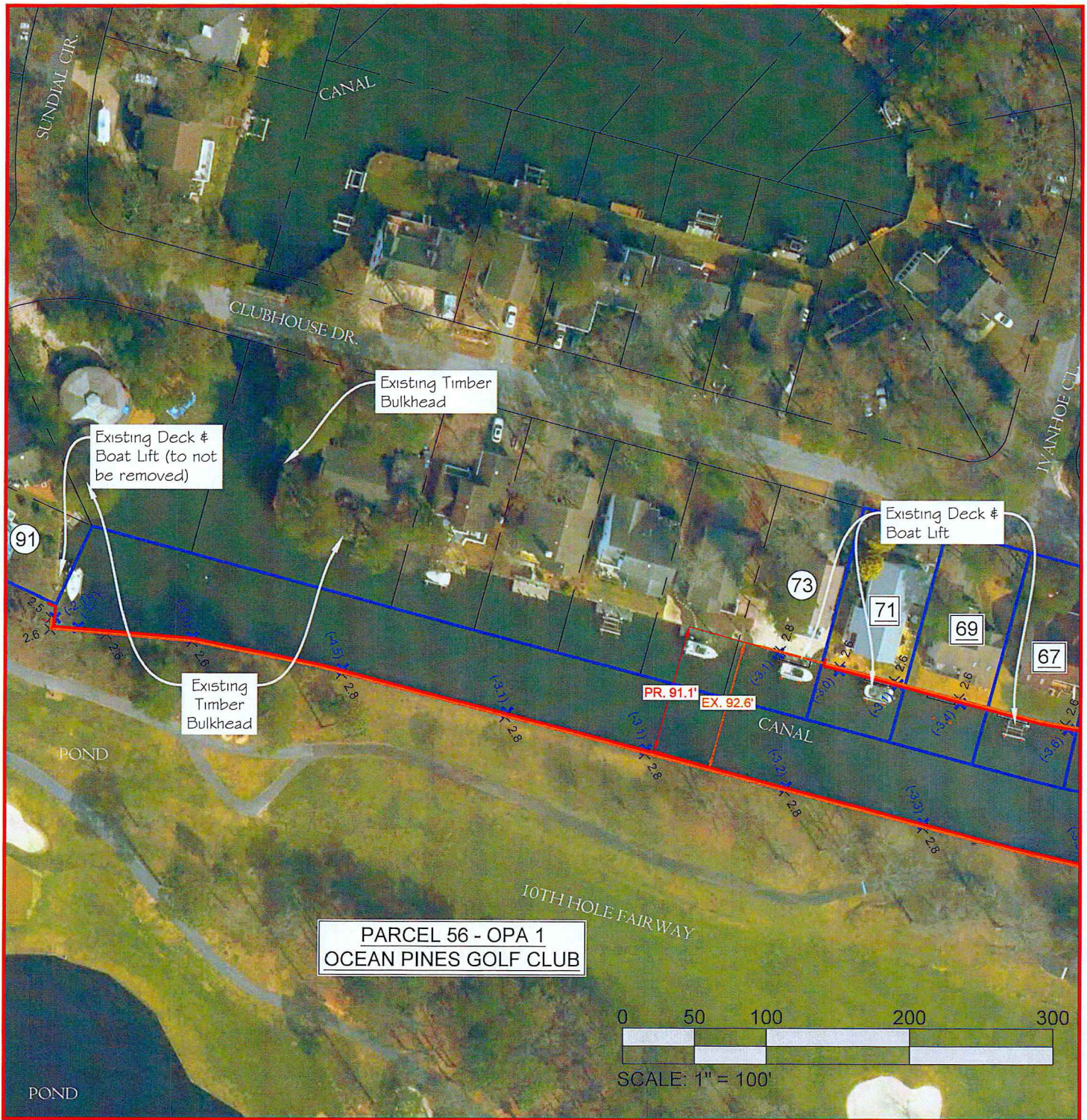


BORDERLINKS DR.
OCEAN PINES
BULKHEAD

EXISTING
CONDITIONS
PLAN

VISTA
DESIGN, INC. MDE AI #
Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	I8-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 200'
Sheet:	21 of 46



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X (-4.1)
- EXISTING PROPERTY LINE - - - - -
- EXISTING BULKHEAD = = = = =
- PROPOSED NEW BULKHEAD = = = = =

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BORDERLINKS DR.
OCEAN PINES
BULKHEAD

PROPOSED
SITE
PLAN

VISTA
DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA

Project: 18-014
 File: CE 010923.dwg
 Date: 2/7/2023
 Scale: 1" = 100'
 Sheet: **22 of 46**



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ----
- EXISTING BULKHEAD ———
- PROPOSED NEW BULKHEAD ———

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BORDERLINKS DR.
OCEAN PINES
BULKHEAD

PROPOSED
SITE
PLAN

VISTA
DESIGN, INC.

MDE AI #
Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA

Project:	18-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 100'
Sheet:	23 of 46

AFFECTED LOT OWNER INFORMATION



PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
CLUBHOUSE DR OCEAN PINES 21811	239 OCEAN PARKWAY OCEAN PINES MD 21811	OCEAN PINES ASSOCIATION, INC.	16	21	56	N/A	4	FWH 11-54	609/ 708
438 OCEAN PKWY OCEAN PINES 21811	PO BOX 1590 OCEAN PINES MD 21811	THE BORDERLINKS 1 CONDOMINIUMS, INC. C/O KATHRYN WHITEHEAD	16	0	A	OP SP	BORD	FWH 30-64	380/ 369
53 CLUBHOUSE DR OCEAN PINES 21811	SAME	GEORGE WAYNE HOLLMAN & PAULETTE HOLLMAN JOINT REVOCABLE TRUST	16	0	41	690	4	FWH 11-54	7483/ 487
55 CLUBHOUSE DR OCEAN PINES 21811	SAME	PATRICIA CURTIN LIVING TRUST PATRICIA CURTIN TRUSTEE	16	0	41	689	4	FWH 11-54	6708/ 222
57 CLUBHOUSE DR OCEAN PINES 21811	102 SPRING KNOLL CT COLORA MD 21917	BRYAN ADKINS & CHRISTY ADKINS	16	0	41	688	4	FWH 11-54	6261/ 82
59 CLUBHOUSE DR OCEAN PINES 21811	SAME	CONNIE B. & KENNETH M. CORBETT	16	0	41	687	4	FWH 11-54	8281/ 243
61 CLUBHOUSE DR OCEAN PINES 21811	207 PARK CIR ELKTON MD 21921	DAVID W. & CAROLE LEE GOODWIN	16	0	41	686	4	FWH 11-54	2563/ 219
63 CLUBHOUSE DR OCEAN PINES 21811	3020 SHENCK RD MANHEIM PA 17545	MELINDA Y. TRENT & SAMUEL J. FITZKEE	16	0	41	685	4	FWH 11-54	8068/ 179
65 CLUBHOUSE DR OCEAN PINES 21811	SAME	GEORGE AVERY & DEBRA LEA ROOKER	16	0	41	684	4	FWH 11-54	8085/ 255
67 CLUBHOUSE DR OCEAN PINES 21811	SAME	ALLEN R. & GLORIA M. BURNS	16	0	41	683	4	FWH 11-54	2658/ 303
69 CLUBHOUSE DR OCEAN PINES 21811	204 OAKDALE ROAD LINTHICUM MD 21090	JOHN L. SCHMIDT III & JANET K. SCHMIDT	16	0	41	682	4	FWH 11-54	1958/ 400
71 CLUBHOUSE DR OCEAN PINES 21811	12555 CLOVER HILL DR WEST FRIENDSHIP MD 21794	JOHN EDWARD PICKETT 2016 REVOCABLE TRUST & ANGELA MARY PICKETT 2016 REVOCABLE TRUST	16	0	41	681	4	FWH 11-54	6975/ 267

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	BORDERLINKS DR. OCEAN PINES BULKHEAD	PROPERTY OWNERS TABLE	 VISTA DESIGN, INC. MDE AI # Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com	PROJECT DATA
	Project: 18-014			
	File: CE 010923.dwg			
	Date: 2/7/2023			
	Scale: N/A			
Sheet: 24 of 46				

ADJACENT LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
51 CLUBHOUSE DR OCEAN PINES 21811	SAME	KATHRYN WHITEHEAD REVOCABLE TRUST KATHRYN M. WHITEHEAD TRUSTEE	16	0	41	691	4	FWH 11-51	6767/ 98
73 CLUBHOUSE DR OCEAN PINES 21811	SAME	JACK R. SPAHR FOR LIFE	16	0	41	680	4	FWH 11-51	7764/ 500
91 CLUBHOUSE DR OCEAN PINES 21811	SAME	ERIC ALEXANDER SWANSON	16	0	41	672	4	FWH 11-51	8476/ 102
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 47 BU	438 OCEAN PKWY UNIT 11 BERLIN MD 21811	JILL C. LAKE & BETH A. LAKE	16	0	16	BU	BORD	FWH 30-64	8434/ 407
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 48 BV	91 BUCKINGHAM DR WILLINGBORO NJ 08046	JAMES GLASS	16	0	16	BV	BORD	FWH 30-64	8387/ 9
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 49 BW	1850 GABLEHAMMER RD WESTMINSTER MD 21157	MICHEAL P. & SUZANNE E. STOUT	16	0	16	BW	BORD	FWH 30-64	8271/ 101
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 50 BX	502 NILE CT WESTMINSTER MD 21157	BRIAN C. & LAURIE L. BAKER	16	0	16	BX	BORD	FWH 30-64	8317/ 430
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 51 BY	10316 WOODEN BRIDGE LN CLINTON MD 20735	ANTHONY D. & JACQUELINE DOZIER	16	0	16	BY	BORD	FWH 30-64	7890/ 138
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 52 BZ	12630 QUAY LN OCEAN CITY MD 21842	TIM & LYNDA TALBOT	16	0	16	BZ	BORD	FWH 30-64	8385/ 8
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 53 CA	438 OCEAN PKWY UNIT 53 BERLIN MD 21811	JOHN ANTHONY KONCZAL JR FAMILY TRUST JOHN A. KONCZAL TRUSTEE	16	0	16	CA	BORD	FWH 30-64	8181/ 222
438 OCEAN PKY OCEAN PINES BERLIN 21811 UNIT: 54 CB	1441 WOODALL ST BALTIMORE MD 21230	NILS L. & MICHELE R. SCHRODER	16	0	16	CB	BORD	FWH 30-64	8154/ 318

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**BORDERLINKS DR.
OCEAN PINES
BULKHEAD**

**PROPERTY
OWNERS
TABLE**

VISTA

DESIGN, INC.

Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

MDE AI #

PROJECT DATA

Project:	I8-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	N/A
Sheet:	25 of 46



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ——
- PROPOSED NEW BULKHEAD ——

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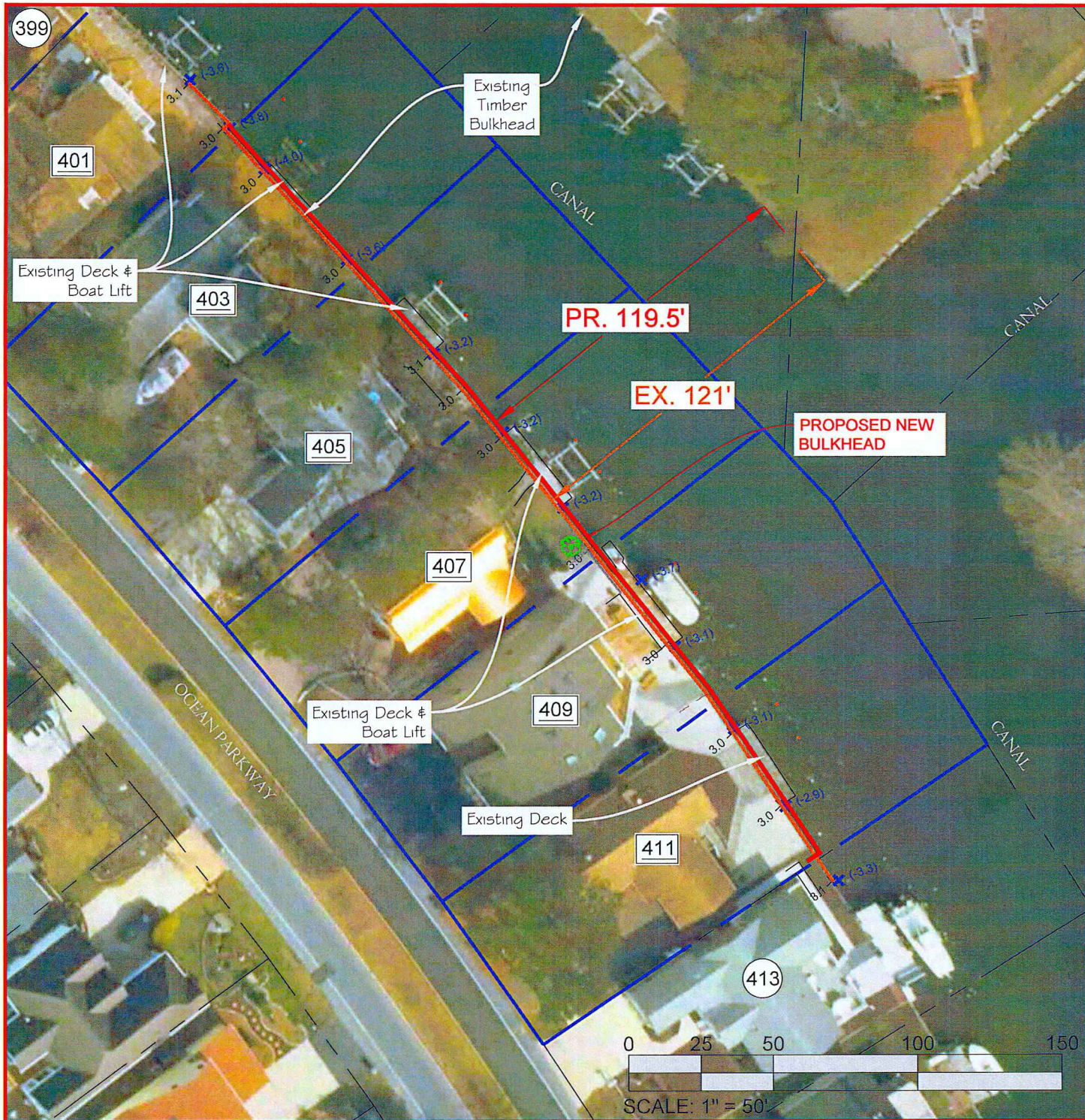
OCEAN PWKY
 OCEAN PINES
 BULKHEAD

EXISTING
 CONDITIONS
 PLAN

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA

Project:	I8-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 100'
Sheet:	26 of 46



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X 3.9
- SOUNDINGS ELEVATION POINTS X (-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ---
- PROPOSED NEW BULKHEAD ---

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OCEAN PWKY
OCEAN PINES
BULKHEAD

PROPOSED
SITE
PLAN

VISTA
DESIGN, INC. MDE AI #
Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	18-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 50'
Sheet:	27 of 46

AFFECTED LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
401 OCEAN PARKWAY OCEAN PINES 21811	4237 ROSE PETAL CT ELLCOTT CITY MD 21043	JOSEPH S. & DONNA SCALLION	16	0	41	388	4	FWH 11-54	4498/ 362
403 OCEAN PARKWAY OCEAN PINES 21811	278 E OREGON RD LITITZ PA 17543	ERIC A. & JAMIE E. PERRONE	16	0	41	389	4	FWH 11-54	7880/ 216
405 OCEAN PARKWAY OCEAN PINES 21811	SAME	RUSSELL J. & SANDRA W. COHN	16	0	41	390	4	FWH 11-54	6435/ 288
407 OCEAN PARKWAY OCEAN PINES 21811	2000 VALLEY RD SEVEN VALLEYS PA 17360	SCOTT A. & ELIZABETH A. DOLMETSCH	16	0	41	391	4	FWH 11-54	6630/ 450
409 OCEAN PARKWAY OCEAN PINES 21811	8340 TAURAS LN PORT TOBACCO MD 20677	STACIE SMITH SWANSTROM	16	0	41	392	4	FWH 11-54	7511/ 248
411 OCEAN PARKWAY OCEAN PINES 21811	13022 LIBERTY RD UNION BRIDGE MD 21791	MICHAEL D. & TIERNEY R. JONES	16	0	41	393	4	FWH 11-54	6848/ 34

ADJACENT LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
399 OCEAN PARKWAY OCEAN PINES 21811	2701 E KINGS HIGHWAY COATESVILLE PA 19320	GEORGE L. & JOAN H. CIARLONE	16	0	41	387	4	FWH 11-51	1879/ 127
413 OCEAN PARKWAY OCEAN PINES 21811	1410 SCULAC DR BETHLEHEM PA 18020	BRUCE S & GAIL SHANNON REVOCABLE LIVING TRUST BRUCE S & GAIL SHANNON TRUSTEES	16	0	41	394	4	FWH 11-51	5867/ 423

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	<p>OCEAN PWKY OCEAN PINES BULKHEAD</p>	<p>PROPERTY OWNERS TABLE</p>	<p>VISTA DESIGN, INC. MDE AI #</p> <p>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</p>	<p>PROJECT DATA</p> <p>Project: 18-014 File: CE 010923.dwg Date: 2/7/2023 Scale: N/A Sheet: 28 of 46</p>
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LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE
- EXISTING BULKHEAD
- PROPOSED NEW BULKHEAD

NOTE:
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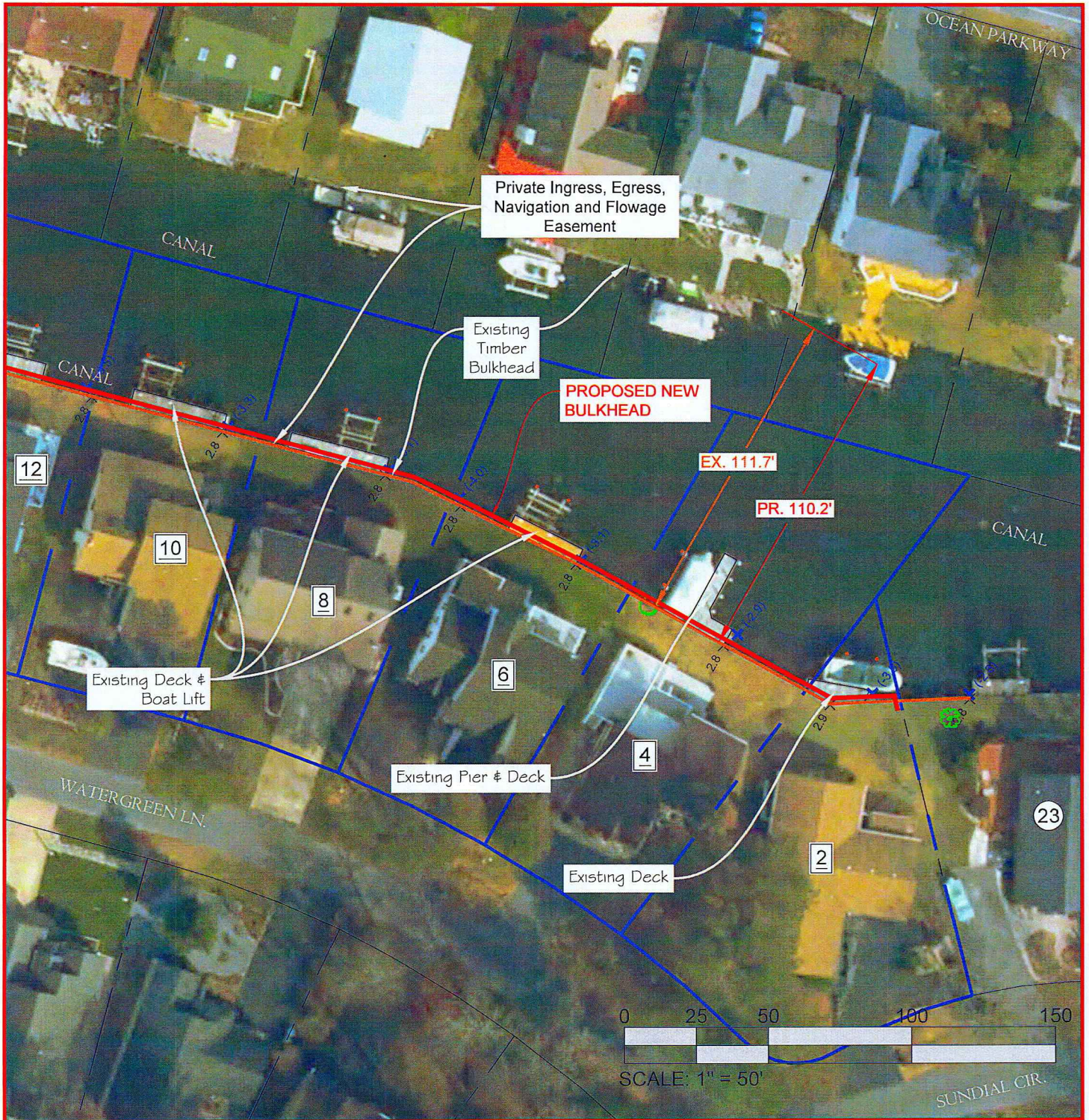


WATERGREEN LN.
OCEAN PINES
BULKHEAD

EXISTING
CONDITIONS
PLAN

VISTA
DESIGN, INC. MDE AI #
Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	18-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 150'
Sheet:	29 of 46



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ---
- PROPOSED NEW BULKHEAD ---

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	WATERGREEN LN. OCEAN PINES BULKHEAD	PROPOSED SITE PLAN	VISTA DESIGN, INC. MDE AI # <small>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</small>	PROJECT DATA Project: 18-014 File: CE 010923.dwg Date: 2/7/2023 Scale: 1" = 50' Sheet: 30 of 46
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LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ---
- PROPOSED NEW BULKHEAD ---

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	<p>WATERGREEN LN. OCEAN PINES BULKHEAD</p>	<p>PROPOSED SITE PLAN</p>	<p>VISTA DESIGN, INC. MDE AI #</p> <p>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</p>	<p>PROJECT DATA</p> <p>Project: 18-014 File: CE 010923.dwg Date: 2/7/2023 Scale: 1" = 50' Sheet: 31 of 46</p>
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AFFECTED LOT OWNER INFORMATION



PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
2 WATERGREEN LN OCEAN PINES 21811	5037 FAWN GROVE RD PYLESVILLE MD 21132	RAYMOND PACITTI FOR LIFE	16	0	41	624	4	FWH 11-54	8042/ 334
4 WATERGREEN LN OCEAN PINES 21811	SAME	GEORGE T. & KIMBERLY M. CROWN	16	0	41	625	4	FWH 11-54	8445/ 438
6 WATERGREEN LN OCEAN PINES 21811	8405 CHERRY LAUREL CT LAUREL MD 20823	MITCHELL D. & SUSAN S. ROMM	16	0	41	626	4	FWH 11-54	8408/ 276
8 WATERGREEN LN OCEAN PINES 21811	SAME	ALEKSEJ PANICEV & JEKATERINA DOERING	16	0	41	627	4	FWH 11-54	6989/ 258
10 WATERGREEN LN OCEAN PINES 21811	696 GARDEN CT WESTMINSTER MD 21157	RONALD H. & CAROLE M RHODES FOR LIFE	16	0	41	628	4	FWH 11-54	7132/ 367
12 WATERGREEN LN OCEAN PINES 21811	SAME	KAREN & FRANK VALENTI	16	0	41	629	4	FWH 11-54	7723/ 134
14 WATERGREEN LN OCEAN PINES 21811	10840 TUCKAHOE WAY NORTH POTOMAC MD 20878	WILLIAM & BARBARA BULLMAN	16	0	41	630	4	FWH 11-54	4959/ 164
16 WATERGREEN LN OCEAN PINES 21811	19429 DOVER CLIFFS CIRCLE GERMANTOWN MD 20874	KENNETH J. MOREAU & CAROLYN M. BURKE	16	0	41	631	4	FWH 11-54	5984/ 350
18 WATERGREEN LN OCEAN PINES 21811	1825 BRESSLER LANE MARYSVILLE PA 17053	KURT A. & TAMARA S. MATTER	16	0	41	632	4	FWH 11-54	7286/ 222
20 WATERGREEN LN OCEAN PINES 21811	13749 PASTURE GREEN CLARKSVILLE MD 21029	THOMAS B. & JOAN M. JOHNSON	16	0	41	633	4	FWH 11-54	7838/ 222

ADJACENT LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
23 SUNDIAL CIR OCEAN PINES 21811	SAME	STEPHEN C. MACLEOD & YELENA S. MACLEOD	16	0	41	623	4	FWH 11-51	5393/ 62
22 WATERGREEN LN OCEAN PINES 21811	SAME	JAMES C. BAUSMAN JR & DIANE BAUSMAN	16	0	41	634	4	FWH 11-51	7803/ 61

NOTE:
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NOTE:
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	WATERGREEN OCEAN PINES BULKHEAD	PROPERTY OWNERS TABLE	 VISTA DESIGN, INC. MDE AI # <small>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</small>	PROJECT DATA Project: 18-014 File: CE 010923.dwg Date: 2/7/2023 Scale: N/A Sheet: 32 of 46
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LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ---
- PROPOSED NEW BULKHEAD ---

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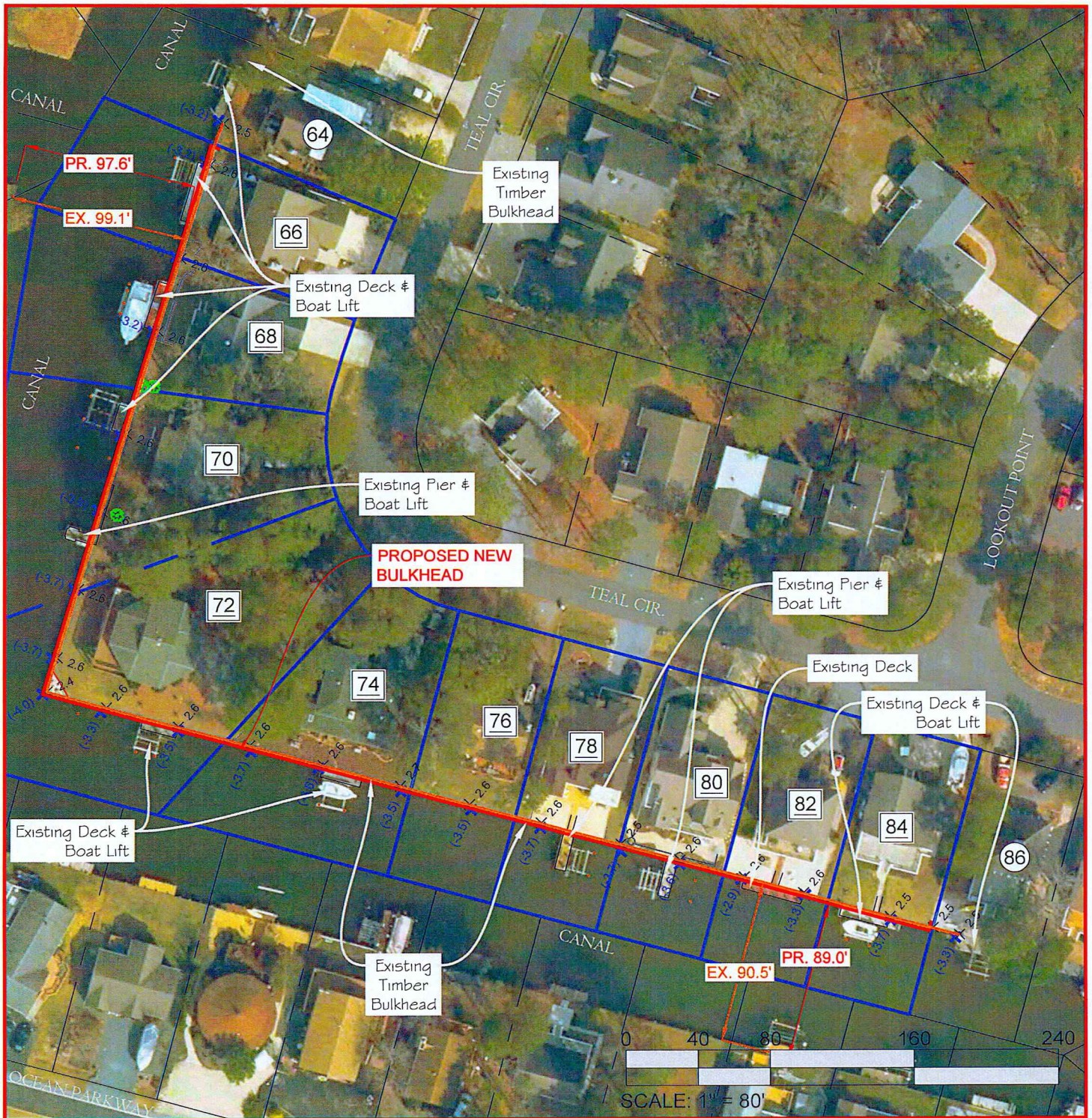


TEAL CIRCLE
 OCEAN PINES
 BULKHEAD

EXISTING
 CONDITIONS
 PLAN

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	18-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 150'
Sheet:	33 of 46




LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE ---
- EXISTING BULKHEAD ---
- PROPOSED NEW BULKHEAD ---

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	<p>TEAL CIRCLE OCEAN PINES BULKHEAD</p>	<p>PROPOSED SITE PLAN</p>	<p>VISTA DESIGN, INC. MDE AI #</p> <p>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</p>	<p>PROJECT DATA</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>Project:</td><td>18-014</td></tr> <tr><td>File:</td><td>CE 010923.dwg</td></tr> <tr><td>Date:</td><td>2/7/2023</td></tr> <tr><td>Scale:</td><td>1" = 80'</td></tr> <tr><td>Sheet:</td><td>34 of 46</td></tr> </table>	Project:	18-014	File:	CE 010923.dwg	Date:	2/7/2023	Scale:	1" = 80'	Sheet:	34 of 46
Project:	18-014													
File:	CE 010923.dwg													
Date:	2/7/2023													
Scale:	1" = 80'													
Sheet:	34 of 46													

AFFECTED LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
66 TEAL CIR OCEAN PINES 21811	SAME	RONALD R. & LINDA W. FREW	16	0	41	47	4	FWH 11-54	2171/ 530
68 TEAL CIR OCEAN PINES 21811	19803 COOL HOLLOW RD HAGERSTOWN MD 21740	WARREN W. & TRICIA M. CHURCHEY	16	0	41	46	4	FWH 11-54	4578/ 103
70 TEAL CIR OCEAN PINES 21811	SAME	BEVERLY A. CRICKENBERGER FOR LIFE	16	0	41	45	4	FWH 11-54	5975/ 44
72 TEAL CIR OCEAN PINES 21811	4885 BECK RD EMMAUS PA 18049	JEFFREY D. KRANYECZ	16	0	41	44	4	FWH 11-54	5786/ 270
74 TEAL CIR OCEAN PINES 21811	SAME	RYAN A. & KRISTIN M. MCKINNEY	16	0	41	43	4	FWH 11-54	5863/ 136
76 TEAL CIR OCEAN PINES 21811	7922 MAPLEVILLE RD BOONSBORO MD 21713	JOHN E. & JOANNE SANTORA	16	0	41	42	4	FWH 11-54	7568/ 413
78 TEAL CIR OCEAN PINES 21811	1221 MAGNOLIA AVE CAMDEN NJ 08103	LOUIS A. WILLIAMS JR. & CLAUDIA S. WILLIAMS	16	0	41	41	4	FWH 11-54	5449/ 390
80 TEAL CIR OCEAN PINES 21811	SAME	DANIEL L. & WENDY MARIE HAUGHT	16	0	41	40	4	FWH 11-54	7274/ 453
82 TEAL CIR OCEAN PINES 21811	7830 SHORE DR PRESTON MD 21655	J. WAYNE HOWARD	16	0	41	39	4	FWH 11-54	8078/ 1
84 TEAL CIR OCEAN PINES 21811	4505 WHITE MARSH RD BALTIMORE MD 21237	EUGENE D. PALESE REVOCABLE TRUST EUGENE D. PALESE TRUSTEE	16	0	41	38	4	FWH 11-54	4256/ 24

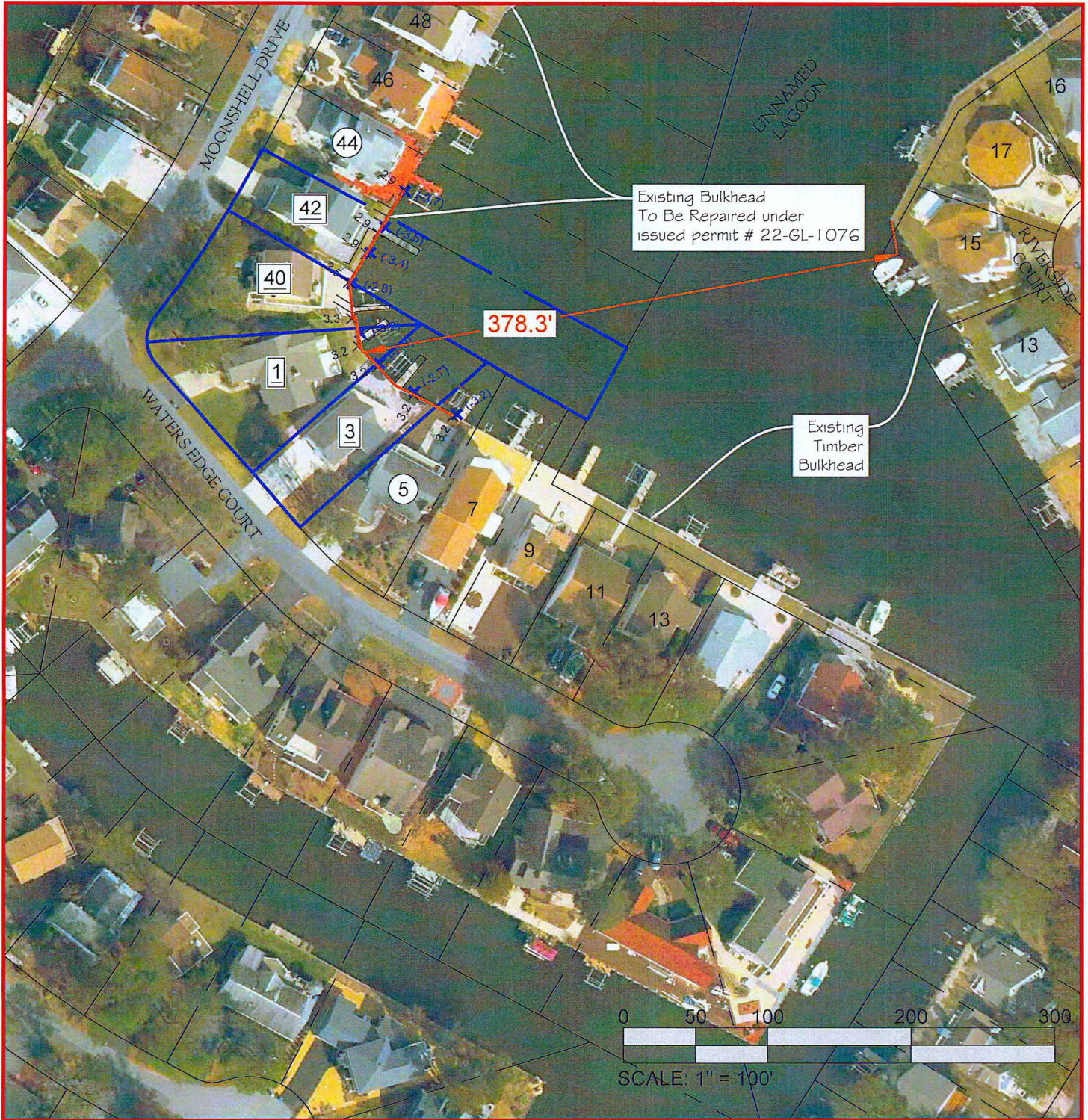
ADJACENT LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
64 TEAL CIR OCEAN PINES 21811	1022 RIVERSIDE DR SALISBURY MD 21801	RICHARD A. CARRANO	16	0	41	48	4	FWH 11-51	269/ 418
86 TEAL CIR OCEAN PINES 21811	SAME	JASON L. & EMILY A. FRITZ	16	0	41	37	4	FWH 11-51	6855/ 254

NOTE:
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NOTE:
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	TEAL CIR. OCEAN PINES BULKHEAD	PROPERTY OWNERS TABLE	<div style="font-size: 2em; font-weight: bold; color: red; margin: 0;">VISTA</div> DESIGN, INC. MDE AI # <small>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</small>	PROJECT DATA Project: 18-014 File: CE 010923.dwg Date: 2/7/2023 Scale: N/A Sheet: 35 of 46
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LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X3.9
- SOUNDINGS ELEVATION POINTS X(-4.1)
- EXISTING PROPERTY LINE
- EXISTING BULKHEAD
- PROPOSED NEW BULKHEAD

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**MOONSHHELL &
 WATERS EDGE
 OPA BULKHEAD**

**EXISTING
 CONDITIONS
 PLAN**

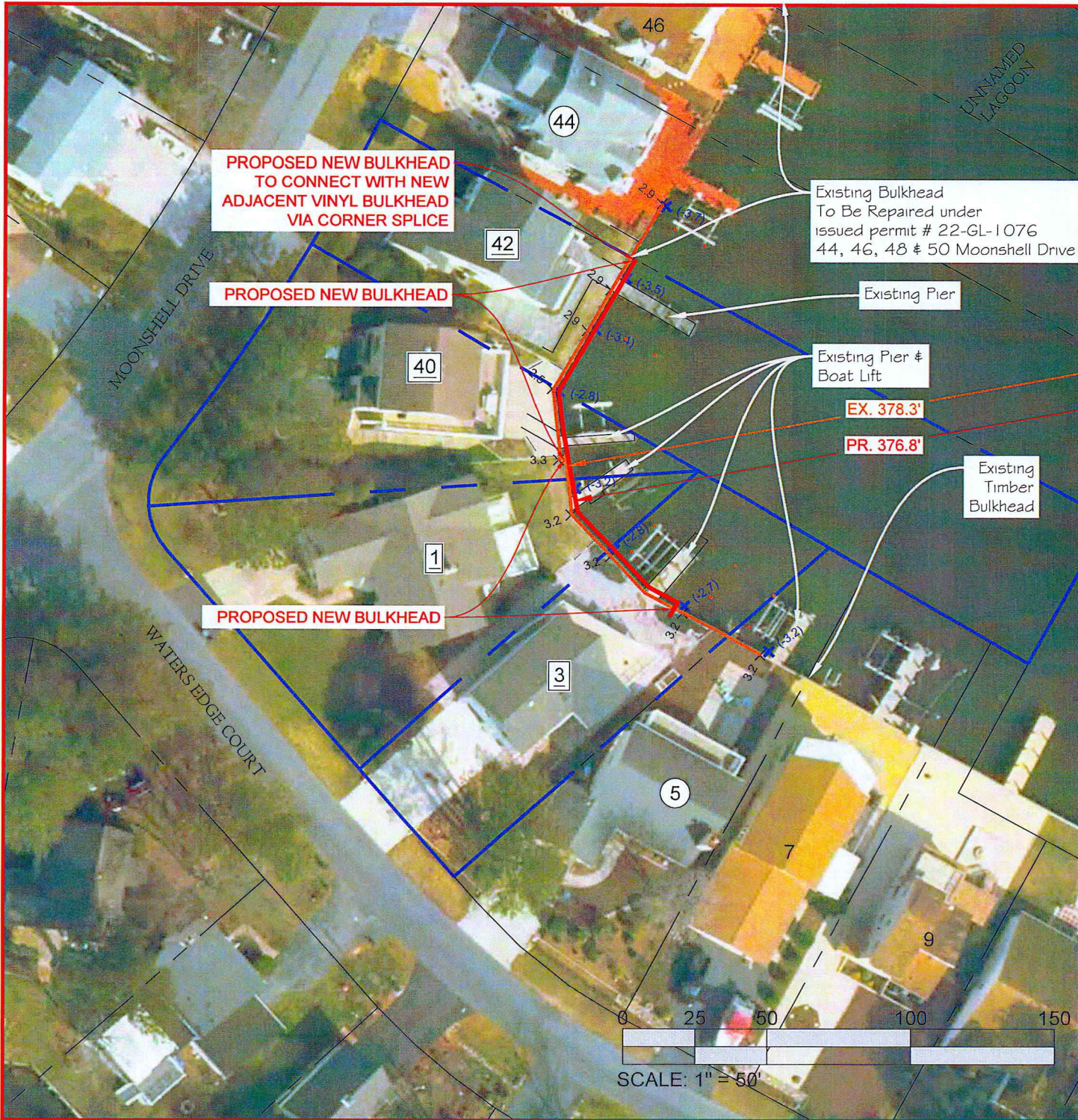
**VISTA
 DESIGN, INC.**

Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

MDE AI #

PROJECT DATA

Project: 18-014
 File: CE 010923.dwg
 Date: 2/7/2023
 Scale: 1" = 100'
 Sheet: **36 of 46**



LEGEND

- AFFECTED PROPERTY ADDRESS 84
- ADJACENT PROPERTY ADDRESS 82
- BULKHEAD ELEVATION POINTS X 3.9
- SOUNDINGS ELEVATION POINTS X (-4.1)
- EXISTING PROPERTY LINE
- EXISTING BULKHEAD
- PROPOSED NEW BULKHEAD

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MOONSHHELL &
 WATERS EDGE
 OPA BULKHEAD

PROPOSED
 SITE
 PLAN

VISTA
 DESIGN, INC. MDE AI #
 Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA	
Project:	I8-014
File:	CE 010923.dwg
Date:	2/7/2023
Scale:	1" = 50'
Sheet:	37 of 46

AFFECTED LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
42 MOONSHELL DR OCEAN PINES 21811	6 FORTY OAKS RD WHITEHOUSE STATION NJ 08889	JOAN ELIZABETH VOGT	16	0	41	180	4	FWH 11-54	3652/ 116
40 MOONSHELL DR OCEAN PINES 21811	SAME	RICHARD & LUXIN KEHOE	16	0	41	181	4	FWH 11-54	7408/ 405
1 WATERS EDGE CT OCEAN PINES 21811	459 VILLA VISTA AVE LEWISBURG PA 17837	FRANKLIN H. & THERESA S. REBER	16	0	41	182	4	FWH 11-54	7558/ 179
3 WATERS EDGE CT OCEAN PINES 21811	2704 PEMBERTON RIDGE BALDWIN MD 21013	TIMOTHY L. & CARY A. KASSIR	16	0	41	183	4	FWH 11-54	7784/ 349

ADJACENT LOT OWNER INFORMATION

PROPERTY ADDRESS	MAILING ADDRESS	CURRENT OWNER	TAX MAP	GRID	PAR	LOT #	SUB. SECT.	PLAT REF. (BOOK - PAGE)	DEED REF. (LIBER / FOLIO)
44 MOONSHELL DR OCEAN PINES 21811	2506 APPLETON LN BOWIE MD 20716	JOHN L. & HELEN R. PRICE & MICHAEL G. & KELLY A. O'CONNELL	16	0	41	179	4	FWH 11-51	6121/ 117
5 WATERS EDGE CT OCEAN PINES 21811	7 HELM CT TOWSON MD 21286	JENNIFER DIANE & CHRISTOPHER JOHN DESCOTEAU	16	0	41	184	4	FWH 11-51	8358/ 223

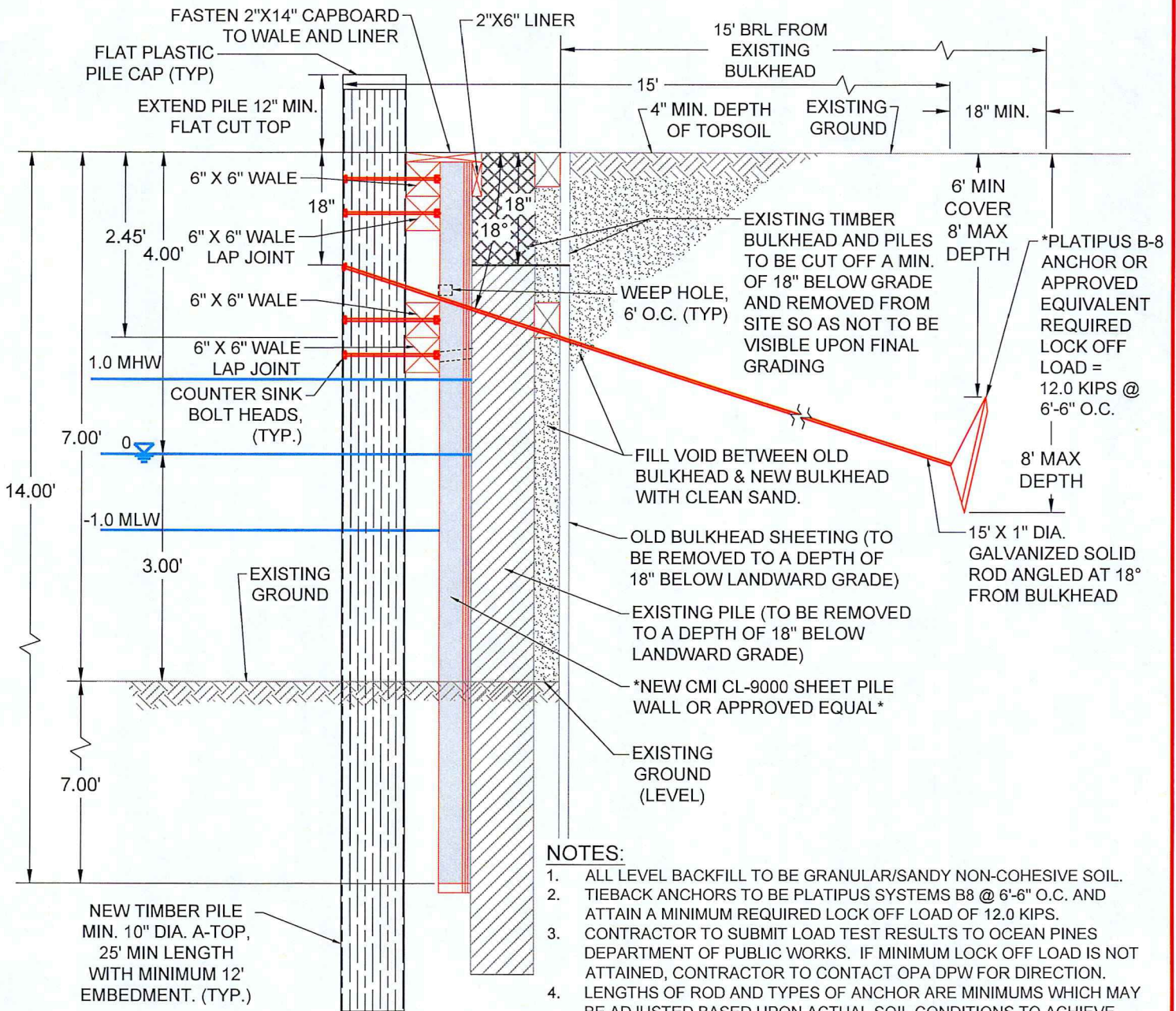
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	<p>MOONSHELL & WATERS EDGE OPA BULKHEAD</p>	<p>PROPERTY OWNERS TABLE</p>	<p>VISTA DESIGN, INC. MDE AI #</p> <p>Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants 11634 Worcester Hwy, Showell, MD 21862 ph. 410-352-3874 email vista@vistadesigninc.com</p>	<p>PROJECT DATA</p> <p>Project: 18-01+</p> <p>File: CE 010923.dwg</p> <p>Date: 2/7/2023</p> <p>Scale: N/A</p> <p>Sheet: 38 of 46</p>
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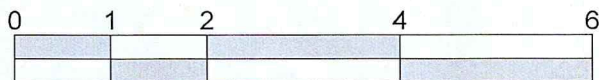


NOTES:

1. ALL LEVEL BACKFILL TO BE GRANULAR/SANDY NON-COHESSIVE SOIL.
2. TIEBACK ANCHORS TO BE PLATIPUS SYSTEMS B8 @ 6'-6" O.C. AND ATTAIN A MINIMUM REQUIRED LOCK OFF LOAD OF 12.0 KIPS.
3. CONTRACTOR TO SUBMIT LOAD TEST RESULTS TO OCEAN PINES DEPARTMENT OF PUBLIC WORKS. IF MINIMUM LOCK OFF LOAD IS NOT ATTAINED, CONTRACTOR TO CONTACT OPA DPW FOR DIRECTION.
4. LENGTHS OF ROD AND TYPES OF ANCHOR ARE MINIMUMS WHICH MAY BE ADJUSTED BASED UPON ACTUAL SOIL CONDITIONS TO ACHIEVE MINIMUM LOCK OFF LOAD.
5. ANCHORS ARE TO BE INSTALLED PER THE MANUFACTURER'S APPROVED SPECIFICATIONS AND INSTALLATION METHODS.
6. ALL FASTENERS AND BOLTS SHALL CONFORM TO ASTM A304, GRADE A.
7. ALL HARDWARE TO BE HOT DIPPED GALVANIZED ALLOY STEEL CONFORMING TO ASTM A193 GRADE B7.
8. 10" DIAMETER 'A' TOP TIMBER PILES TO BE DRIVEN MIN. 12 FEET BELOW FINISHED GRADE. 2.5 CCA MARINE GRADE TREATED.

*SHEETING TO BE CMI CL-9000 SHEET PILE OR APPROVED EQUIVALENT. PLATIPUS B-8 ANCHOR OR APPROVED EQUIVALENT. ANY SUBSTITUTIONS TO BE APPROVED BY OCEAN PINES ASSOCIATION AND PROJECT ENGINEER.

ROD AND ANCHOR CROSS-SECTION



SCALE: 1" = 2'

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PLATIPUS
ANCHOR
OCEAN PINES
BULKHEAD

TYPICAL SECTION
THRU NEW/
OLD BULKHEAD

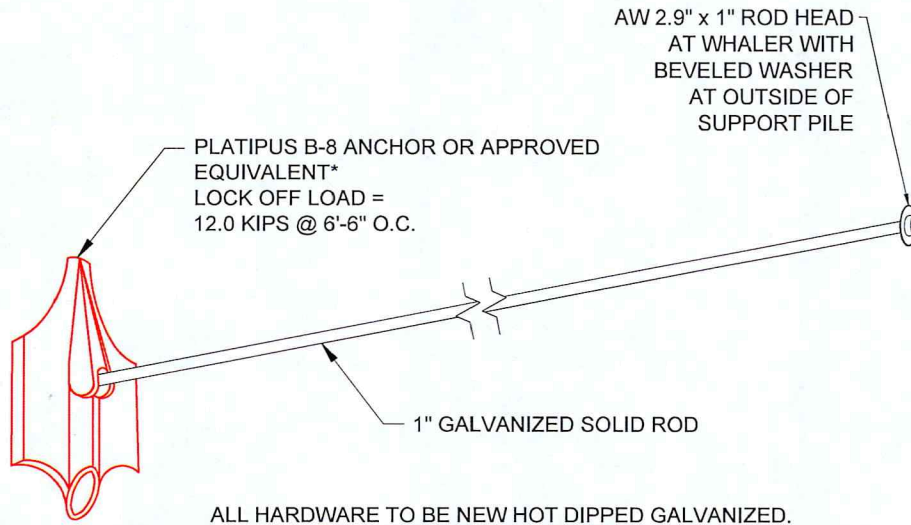
VISTA
DESIGN, INC.

MDE AI #

Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA

Project:	I8-014
File:	CE 010923.dwg
Date:	2/7/2023
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Sheet:	39 of 46



ANCHOR TYPE	T-LOC VERSION	DIMENSIONS L x W x H (mm)	PROJECTED SURFACE AREA SQUARE MM (SQUARE INCH)	MATERIALS	TYPICAL LOAD RANGE	MINIMUM DRIVEN DEPTH			
							Wire	Rod	Chain
B4		310 x 110 x 93 (12.2 x 4.3 x 3.6)	28,736 (44.54)	SG Cast Iron; Aluminum Bronze	10 - 30+ kN (2000 - 6000lbs)	2m	✓	✓	✓
B6		336 x 206 x 91 (13.22 x 8.11 x 3.58)	45,500 (70.52)	SG Cast Iron; Aluminum Bronze	15 - 50+ kN (3500 - 11000lbs)	2m	✓	✓	✓
B8		423 x 259 x 105 (16.65 x 10.19 x 4.13)	71,500 (110.82)	SG Cast Iron; Aluminum Bronze	25 - 75+ kN (5500 - 16500lbs)	3m	✓	✓	✓
B10		541 x 335 x 110 (21.29 x 13.18 x 4.33)	115,800 (179.49)	SG Cast Iron; Aluminum Bronze	40 - 100+ kN (9000 - 22000lbs)	4m	✓	✓	✓



SCALE: 1" = 1'

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*PLATIPUS B-8 ANCHOR OR APPROVED EQUIVALENT.
ANY SUBSTITUTIONS TO BE APPROVED BY OCEAN PINES ASSOCIATION AND PROJECT ENGINEER.



PLATIPUS
ANCHOR
OCEAN PINES
BULKHEAD

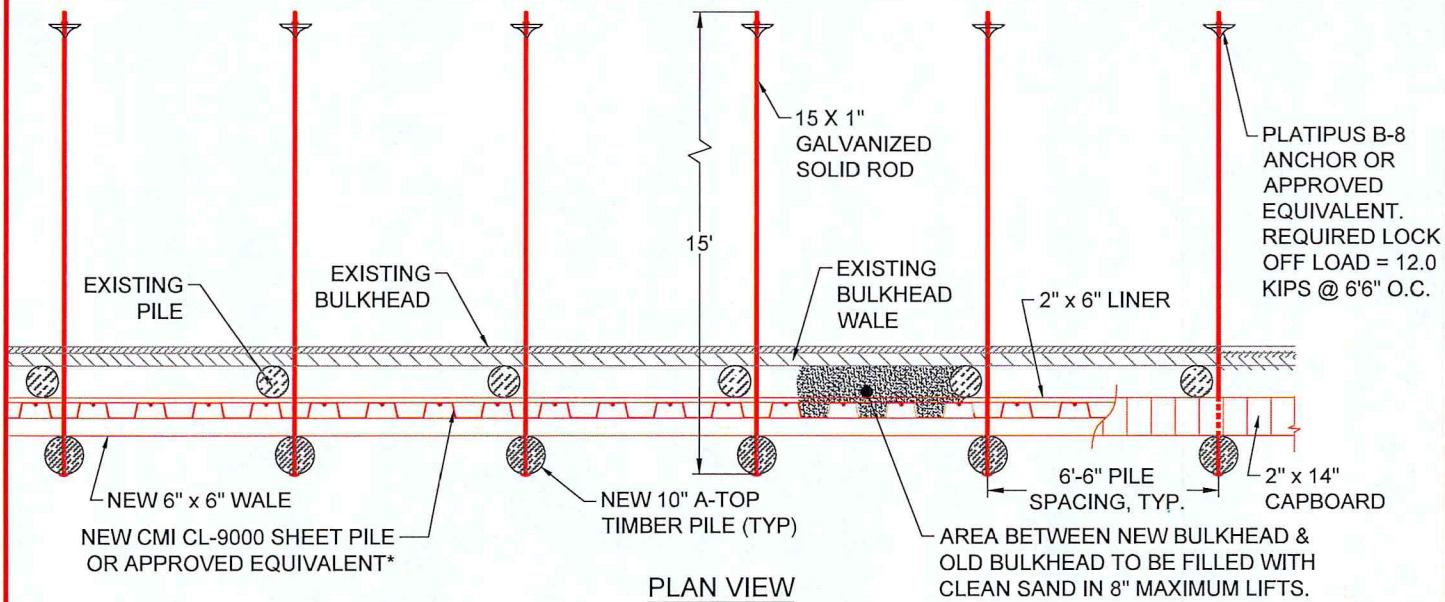
TYPICAL DETAIL
PLATIPUS B-8
ANCHOR

VISTA
DESIGN, INC.

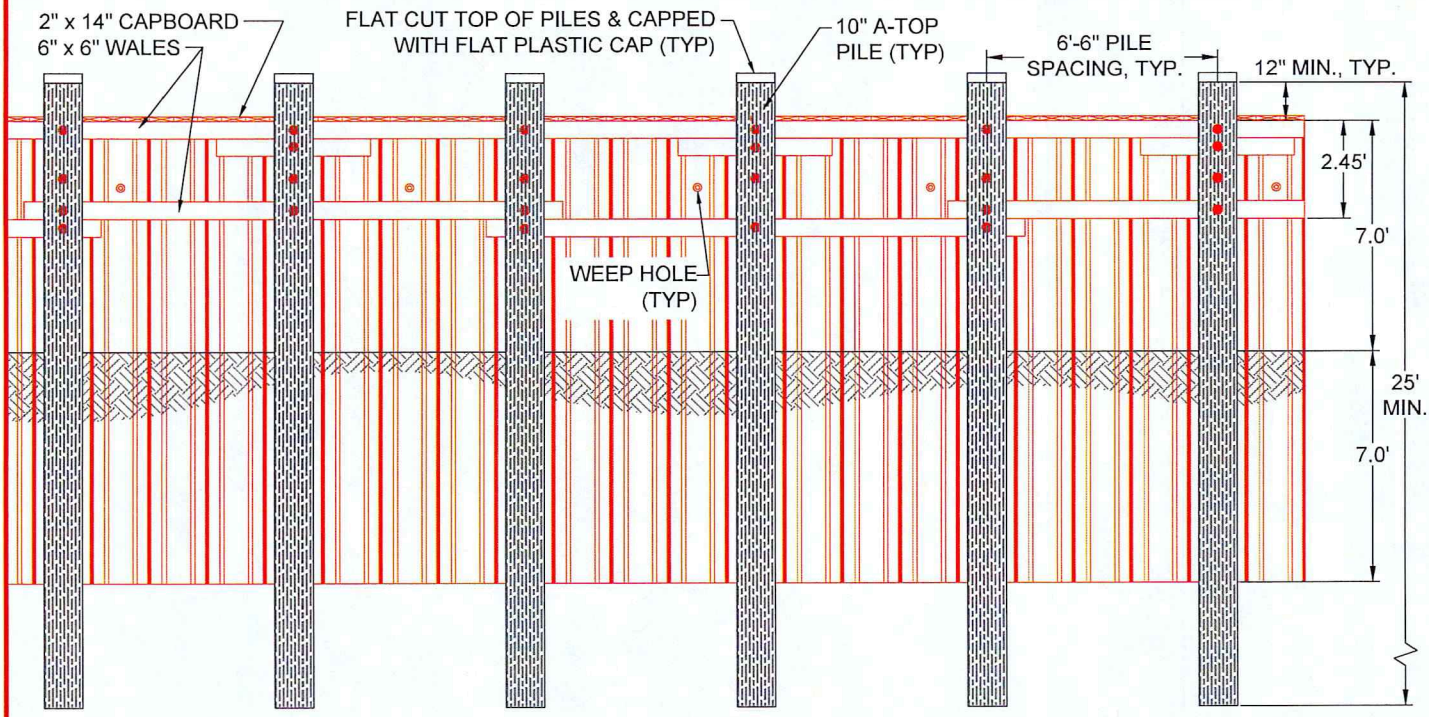
Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
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ph. 410-352-3874 email vista@vistadesigninc.com

PROJECT DATA

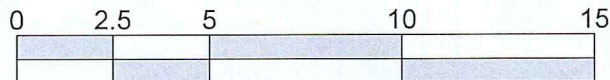
Project: 17-111
File: CE 010923.dwg
Date: 1/15/2023
Scale: 1" = 1'
Sheet: 40 of 46



PLAN VIEW



ELEVATION VIEW



SCALE: 1" = 5'

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*SHEETING TO BE CMI CL-9000 SHEET PILE OR APPROVED EQUIVALENT. PLATIPUS B-8 ANCHOR OR APPROVED EQUIVALENT. ANY SUBSTITUTIONS TO BE APPROVED BY OCEAN PINES ASSOCIATION AND PROJECT ENGINEER.

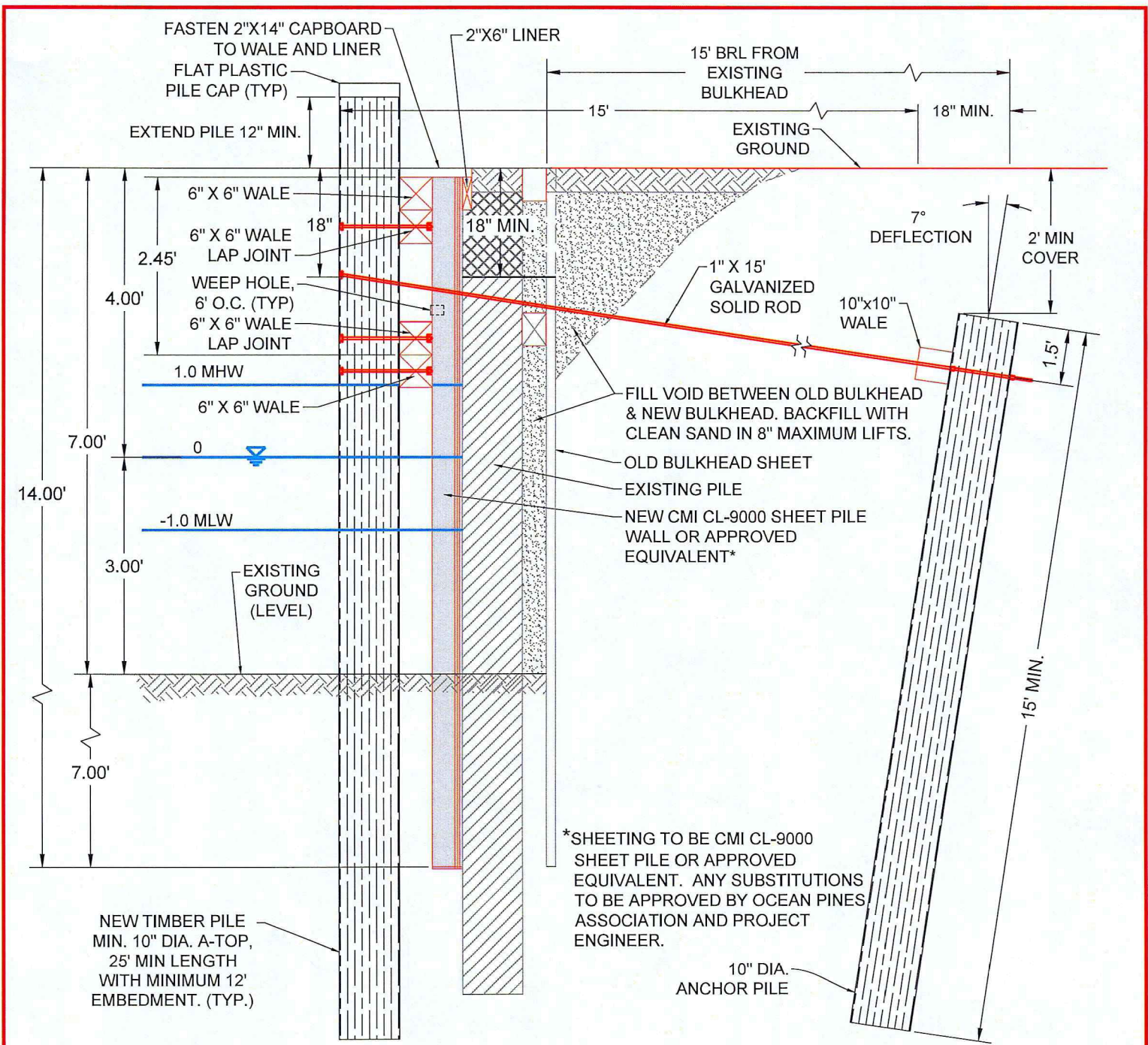


PLATIPUS ANCHOR OCEAN PINES BULKHEAD

TYPICAL SECTION THRU NEW/ OLD BULKHEAD

VISTA
DESIGN, INC. MDE AI #
Engineers, Surveyors, Architects, Landscape Architects & Land Planning Consultants
11634 Worcester Hwy, Showell, MD 21862
ph. 410-352-3874 email vista@vistadesigninc.com

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Project:	18-014
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Scale:	1" = 5'
Sheet:	41 of 46

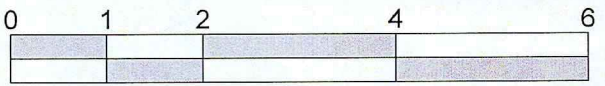


*SHEETING TO BE CMI CL-9000 SHEET PILE OR APPROVED EQUIVALENT. ANY SUBSTITUTIONS TO BE APPROVED BY OCEAN PINES ASSOCIATION AND PROJECT ENGINEER.

NOTES:

1. ALL LEVEL BACKFILL TO BE GRANULAR/SANDY NON-COHESIVE SOIL.
2. LENGTHS OF ROD AND TYPES OF ANCHOR ARE MINIMUMS WHICH MAY BE ADJUSTED BASED UPON ACTUAL SOIL CONDITIONS TO ACHIEVE MINIMUM LOCK OFF LOAD.
3. ANCHORS ARE TO BE INSTALLED PER THE MANUFACTURER'S APPROVED SPECIFICATIONS AND INSTALLATION METHODS.
4. ALL FASTENERS AND BOLTS CONFORM TO ASTM A304, GRADE A.
5. ALL HARDWARE TO BE HOT DIPPED GALVANIZED ALLOY STEEL CONFORMING TO ASTM A193 GRADE B7.
6. 10" DIAMETER 'A' TOP TIMBER PILES TO BE DRIVEN MIN. 12 FEET BELOW FINISHED GRADE. 2.5 CCA MARINE GRADE TREATED.

TYPICAL CROSS-SECTION



SCALE: 1" = 2'

NOTE:
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NOTE:
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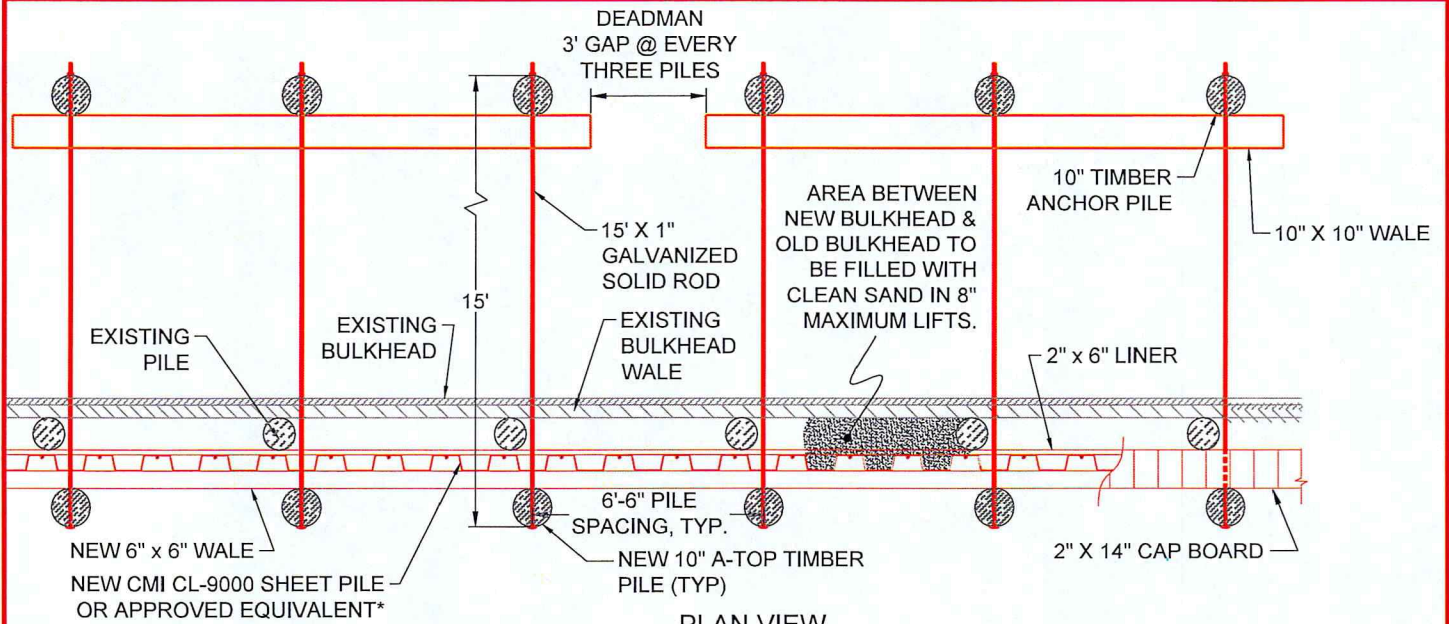


**PILE DEADMAN
ANCHOR
OCEAN PINES
BULKHEAD**

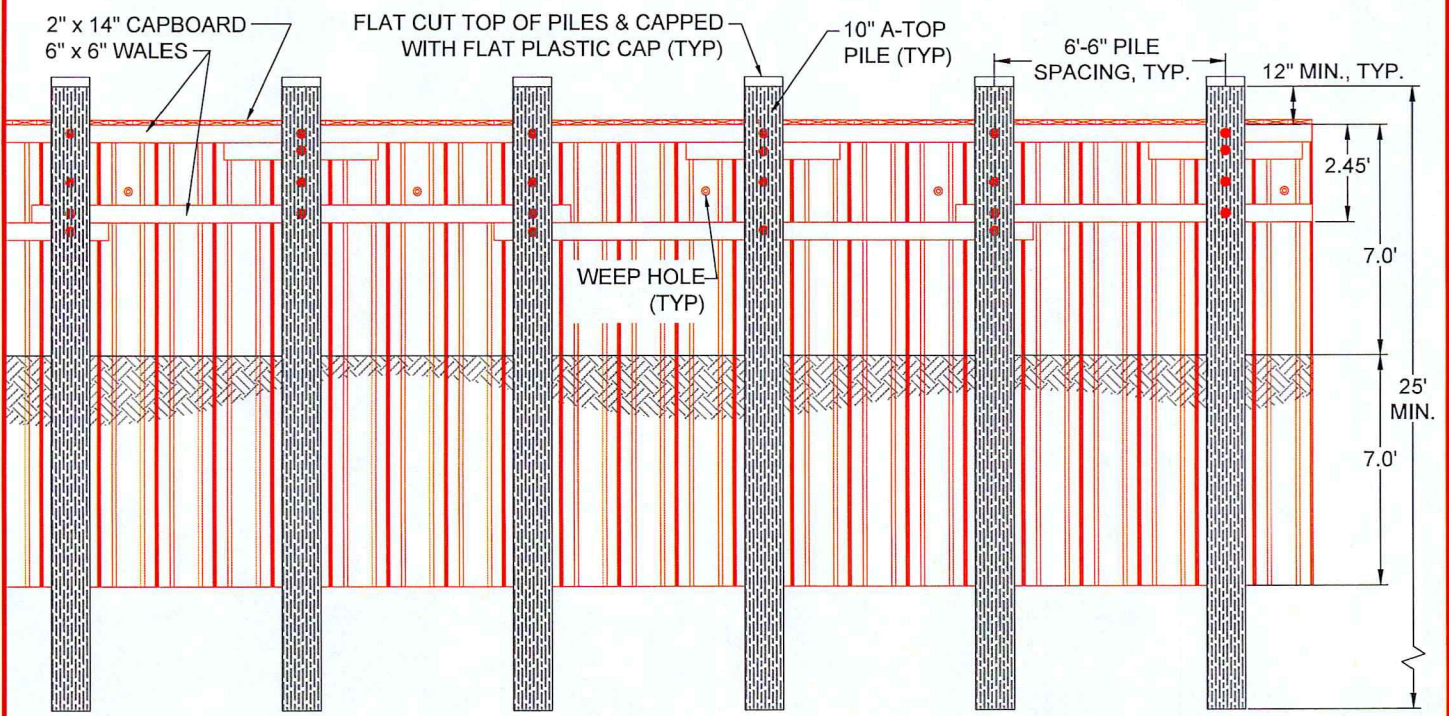
**TYPICAL SECTION
THRU NEW/
OLD BULKHEAD**

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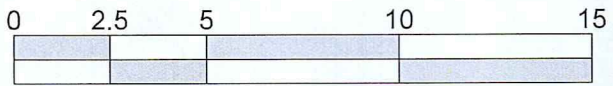
PROJECT DATA	
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PLAN VIEW



ELEVATION VIEW



SCALE: 1" = 5'

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*SHEETING TO BE CMI CL-9000 SHEET PILE OR APPROVED EQUIVALENT. ANY SUBSTITUTIONS TO BE APPROVED BY OCEAN PINES ASSOCIATION AND PROJECT ENGINEER.

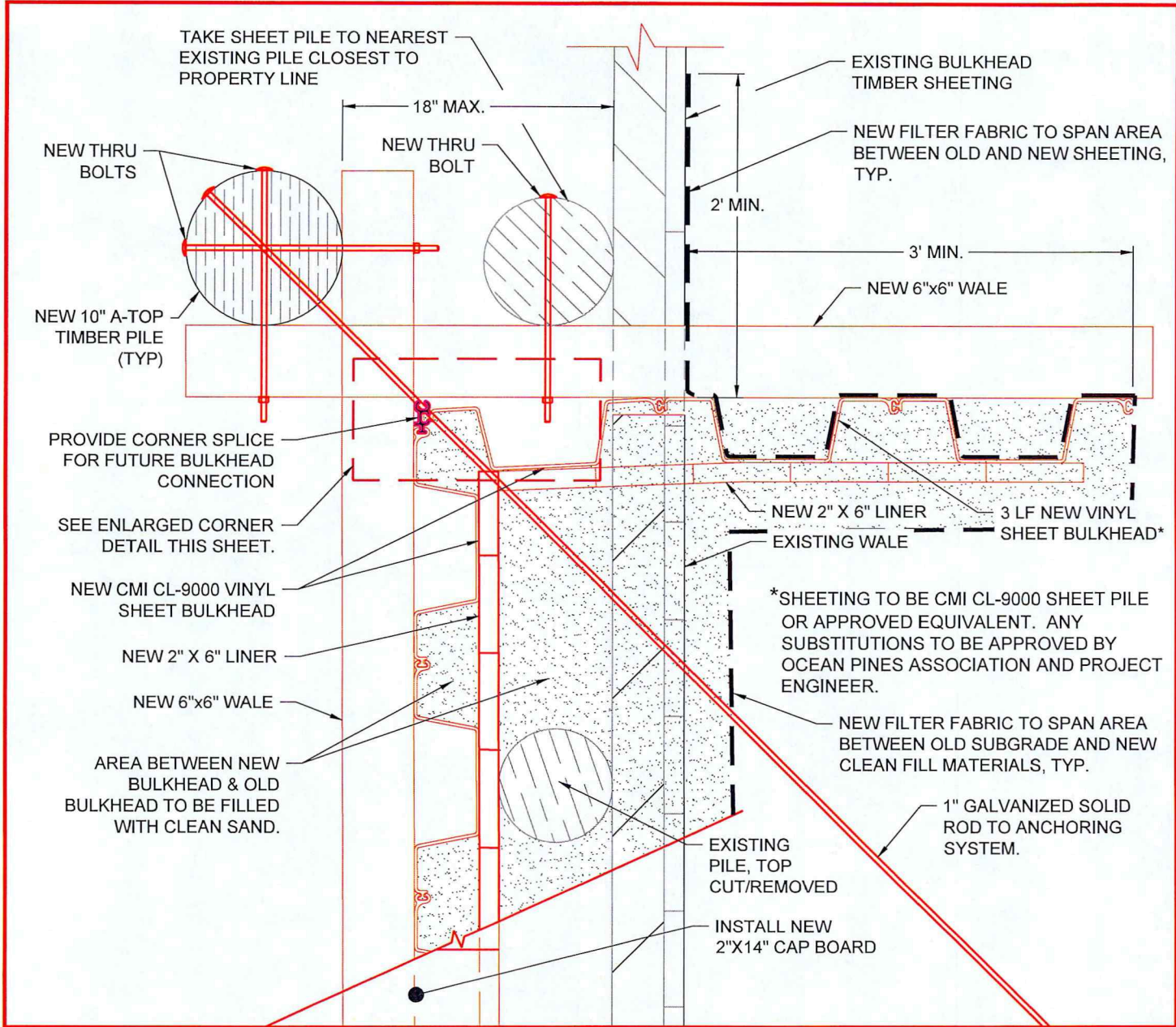


PILE DEADMAN
ANCHOR
OCEAN PINES
BULKHEAD

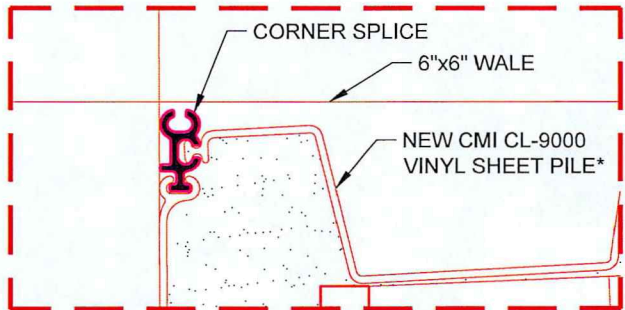
TYPICAL SECTION
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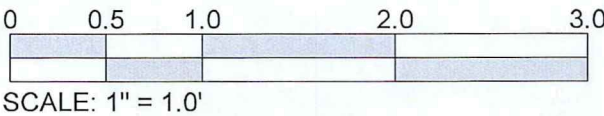
PROJECT DATA	
Project:	18-01+
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PLAN VIEW CORNER DETAIL
SCALE: 1" = 1'



ENLARGED CORNER DETAIL
SCALE: 1" = 2'



SCALE: 1" = 1.0'

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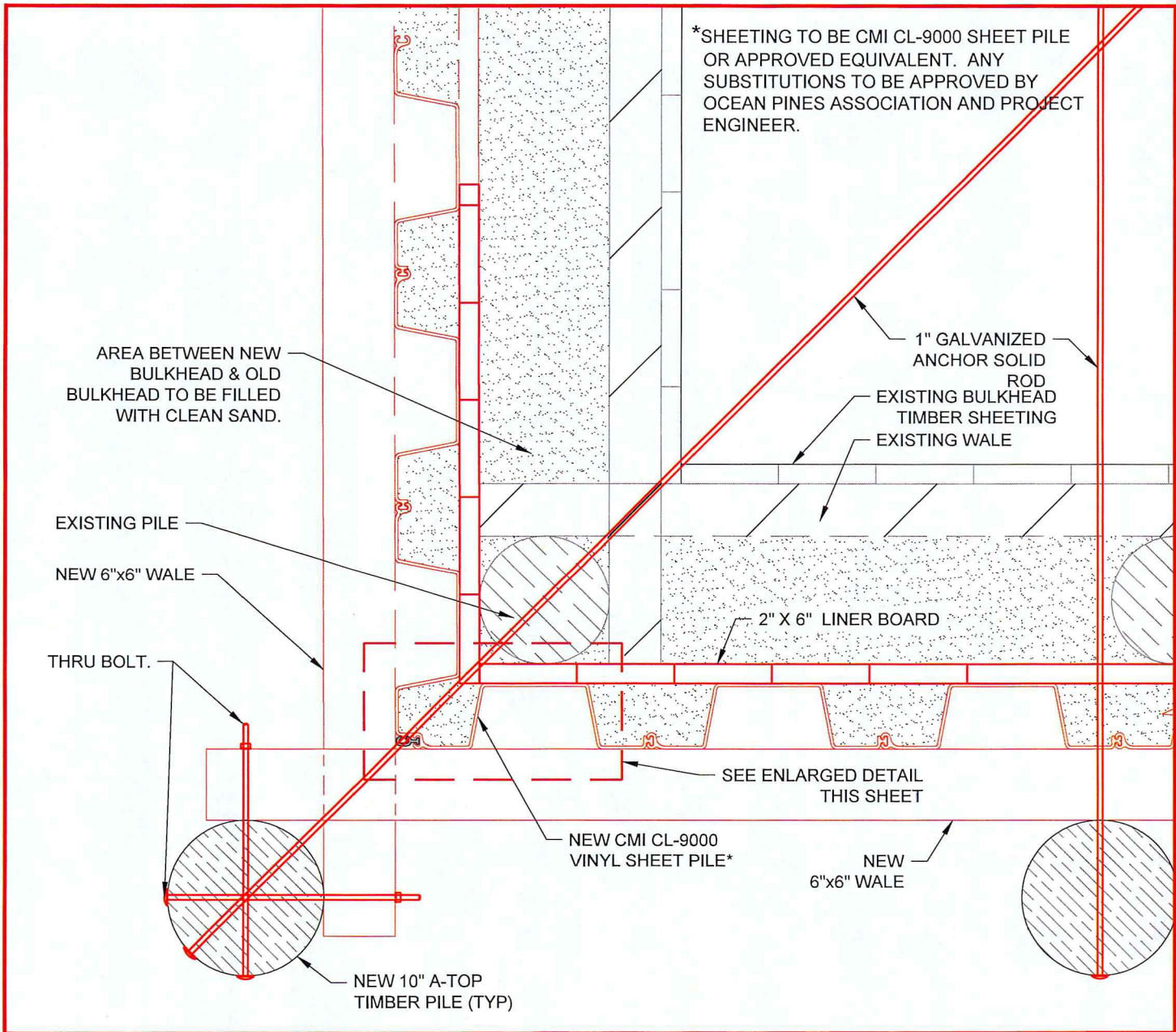


CORNER
DETAIL
OCEAN PINES
BULKHEAD

VINYL BULKHEAD
TO EXISTING
BULKHEAD DETAIL

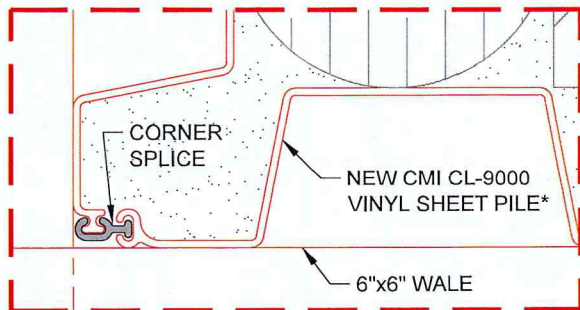
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PROJECT DATA	
Project:	I8-014
File:	CE 010923.dwg
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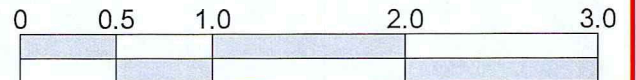
PLAN VIEW CORNER DETAIL

SCALE: 1" = 1'



ENLARGED CORNER DETAIL

SCALE: 1" = 2'



SCALE: 1" = 1.0'

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CORNER
DETAIL
OCEAN PINES
BULKHEAD

VINYL BULKHEAD
TO EXISTING
BULKHEAD DETAIL

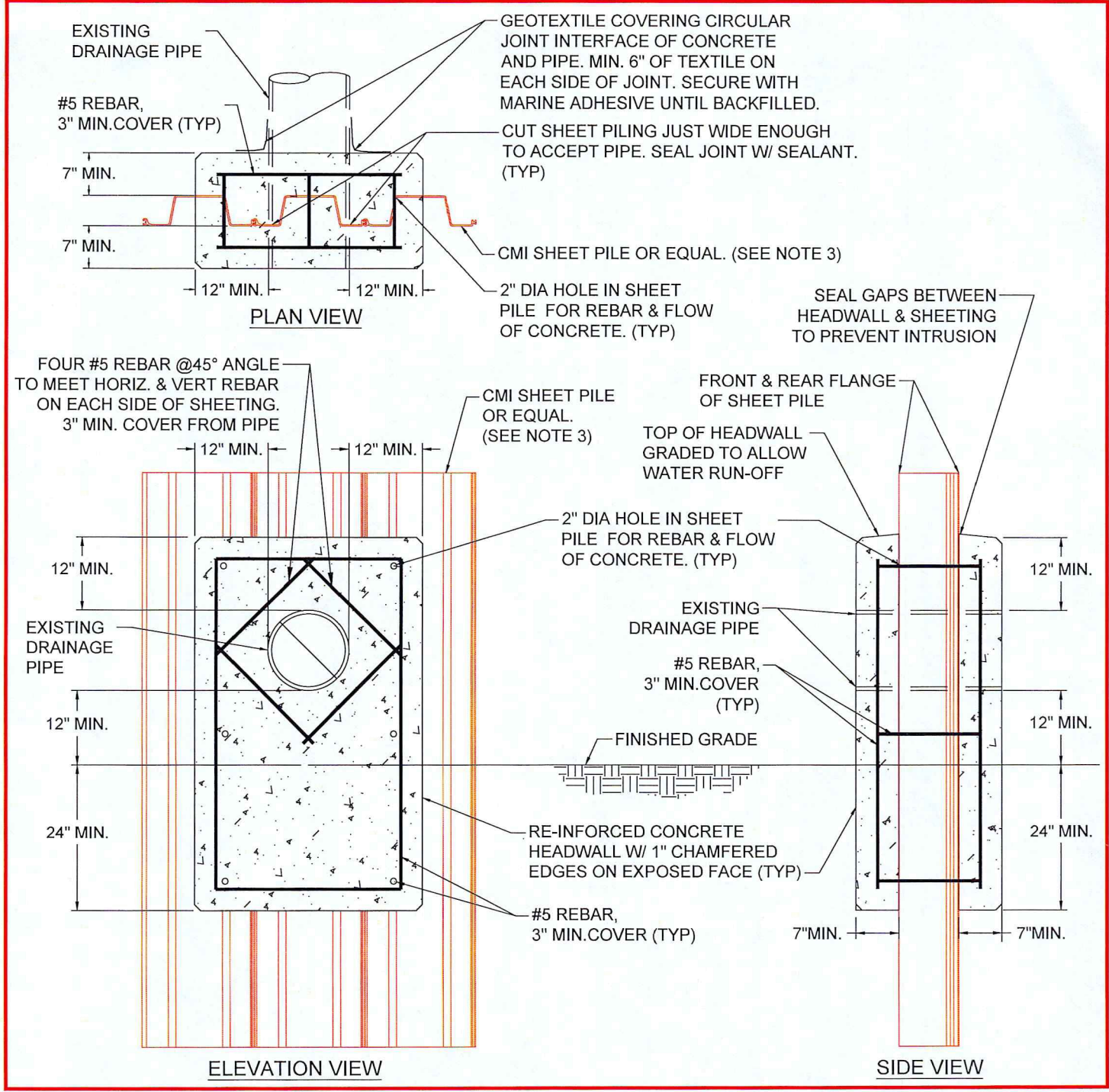
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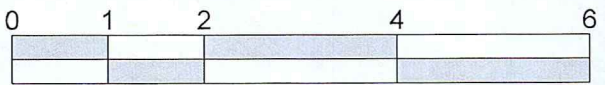
PROJECT DATA

Project: T8-014
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GENERAL NOTES

1. CONCRETE TO HAVE A MINIMUM OF COMPRESSIVE STRENGTH OF 5000 PSI AND MAXIMUM WATER/CEMENT RATIO OF 0.4. CONCRETE TO BE VIBRATED DURING PLACEMENT TO PREVENT HONEYCOMBS.
2. STEEL REBAR TO BE GRADE 60 AND TO HAVE COVER OF 3 INCHES
3. SHEETING TO BE CMI CL-9000 SHEET PILE OR APPROVED EQUIVALENT. ANY SUBSTITUTIONS TO BE APPROVED BY OCEAN PINES ASSOCIATION AND PROJECT ENGINEER.



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**BULKHEAD
PIPE OUTFALL
OCEAN PINES
BULKHEAD**

**PIPE THRU
BULKHEAD
DETAIL**

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