



DEPARTMENT OF
ENVIRONMENTAL PROGRAMS

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAM
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS/FORESTRY
COMMUNITY HYGIENE

October 18, 2024

This notification is to advise you that the Department has received and is presently reviewing the following request for a shoreline construction project:

Peter Snelling – Request No. 2024-087 - Request to install 55' of replacement vinyl bulkhead. Max channelward extension 1.5'. This project is located at 1634 Mercers Way, Ocean Pines, also known as Tax Map 16, Parcel 108, Lot 56, Third Tax District of Worcester County, Maryland.

The Department in considering this application will make specific findings of fact with regard to the environmental impact, navigational impact, recreational potential, commercial benefit to Worcester County, impact of the proposed construction upon the surrounding neighborhood and upon property values therein, and any other pertinent issues. Approval from the Department does not guarantee approval from any other applicable regulatory agencies.

If you have an interest which may be adversely affected by the issuance of this permit, you are requested to notify this Department in writing within fifteen (15) calendar days which will end on November 2, 2024.

Sincerely,

Brandy Whitlock
Environmental Inspector

cc: Interested Parties
Joy S. Birch
File



WORCESTER COUNTY
SHORELINE CONSTRUCTION
APPLICATION

Request No.: 2024-087
Submission Date: 10-18-24

 Major Construction (\$300.00)

Minor Construction (\$150.00)

Written Description of Proposed Improvement (include channelward distance):

Install 55' of replacement vinyl bulkhead, maximum channel ward extension of 1.5'

Map: 0016 Parcel: 0108 Lot: 56 Section: 3 Block: _____ Tax District: _____
Street Address: 1634 Mercer's Way, Ocean Pines, MD 21811
Subdivision: 0018

Dwelling on lot: Dwelling under construction: _____ Vacant: _____ Commercial: _____

Owner: Peter Snelling Phone No. 610-357-6438

Mailing Address: 12 Kashmir Way, Thornton, PA 19373
E-Mail Address: kathryn.snelling@gmail.com

Contractor: R. G. Murphy Marine Construction Phone No.: 433-497-0271

Mailing Address: 13239 Rollie Road, Bishopville, MD 21813
E-Mail Address: rgmurphy11@comcast.net

Recorded Adjacent Property Owner: Wendy Starner

Property Address: 1714 South Chase Street, Ocean Pines, MD 21811 - 4558 Carlisle Pike
Tax Map: 0016 Parcel: 0108 Lot: 70 Section: 4 Block: _____ New Oxford, PA 17350

Recorded Adjacent Property Owner: Carolyn Gabelman

Property Address: 1632 Mercer's Way, Ocean Pines, MD 21811 - 908 Sand Brook Ct Gambrells, MD
Tax Map: 0016 Parcel: 0108 Lot: 55 Section: 3 Block: _____ 21054

As the applicant, I attest that the information presented on this application, site plan and any written documentation attached hereto is known to be accurate. I understand that the proposed shoreline improvement will be constructed to meet or exceed minimum design standards adopted by the Department. Any deviation from these standards will require construction plans sealed by an engineer registered in the State of Maryland. I acknowledge that any falsification of information presented may result in revocation of this approval and of the subsequent Shoreline Construction Permit.

Peter Snelling/R. W. Freund POA

Owner/Applicant's Signature Date: August 14, 2024

DEPT. USE ONLY:

Notification Distribution Date: 10-18-24 Public Comment Deadline: 11-2-24 (15 calendar days)

Department Approval Date: _____ Expiration: _____

Revised 7/1/19

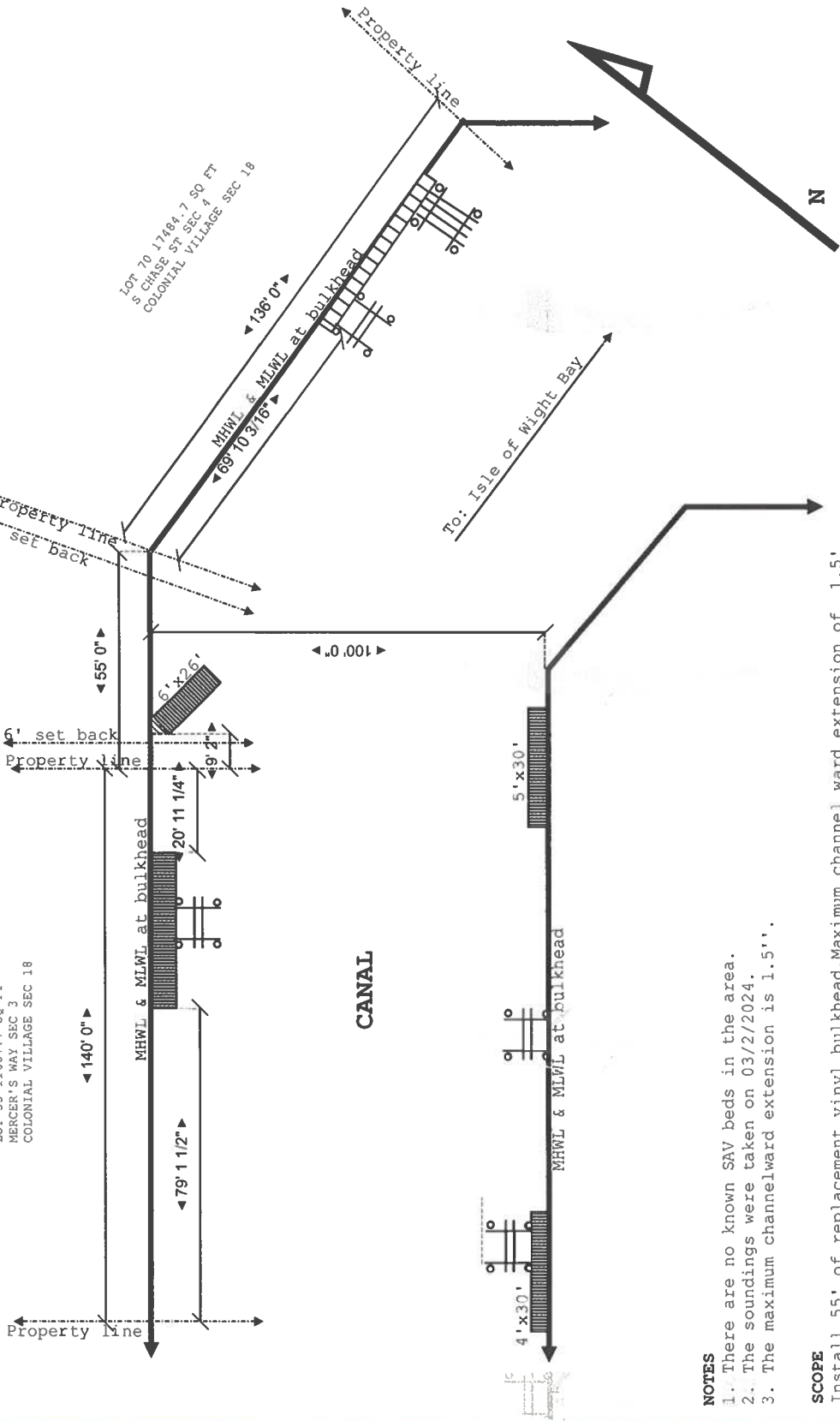
Snelling/R. W. Freund

SITE

LOT 56 16559.4 SQ. FT.
MERCER'S WAY SEC 3
COLONIAL VILLAGE SEC 18

LOT 55 11607.7 SQ. FT.
MERCER'S WAY SEC 3
COLONIAL VILLAGE SEC 18

LOT 70 17484.7 SQ. FT.
S CHASE ST SEC 4
COLONIAL VILLAGE SEC 18

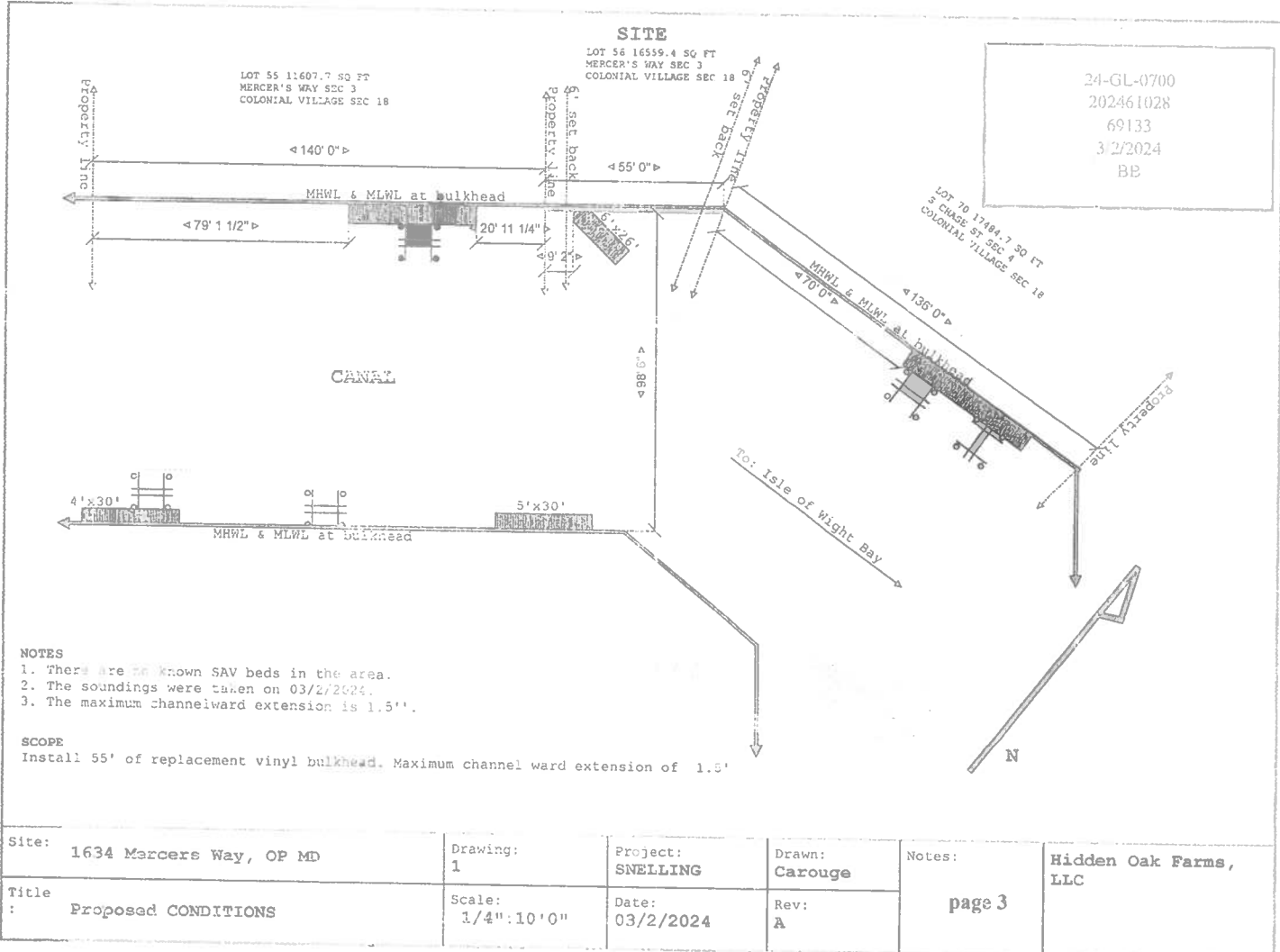


CANAL

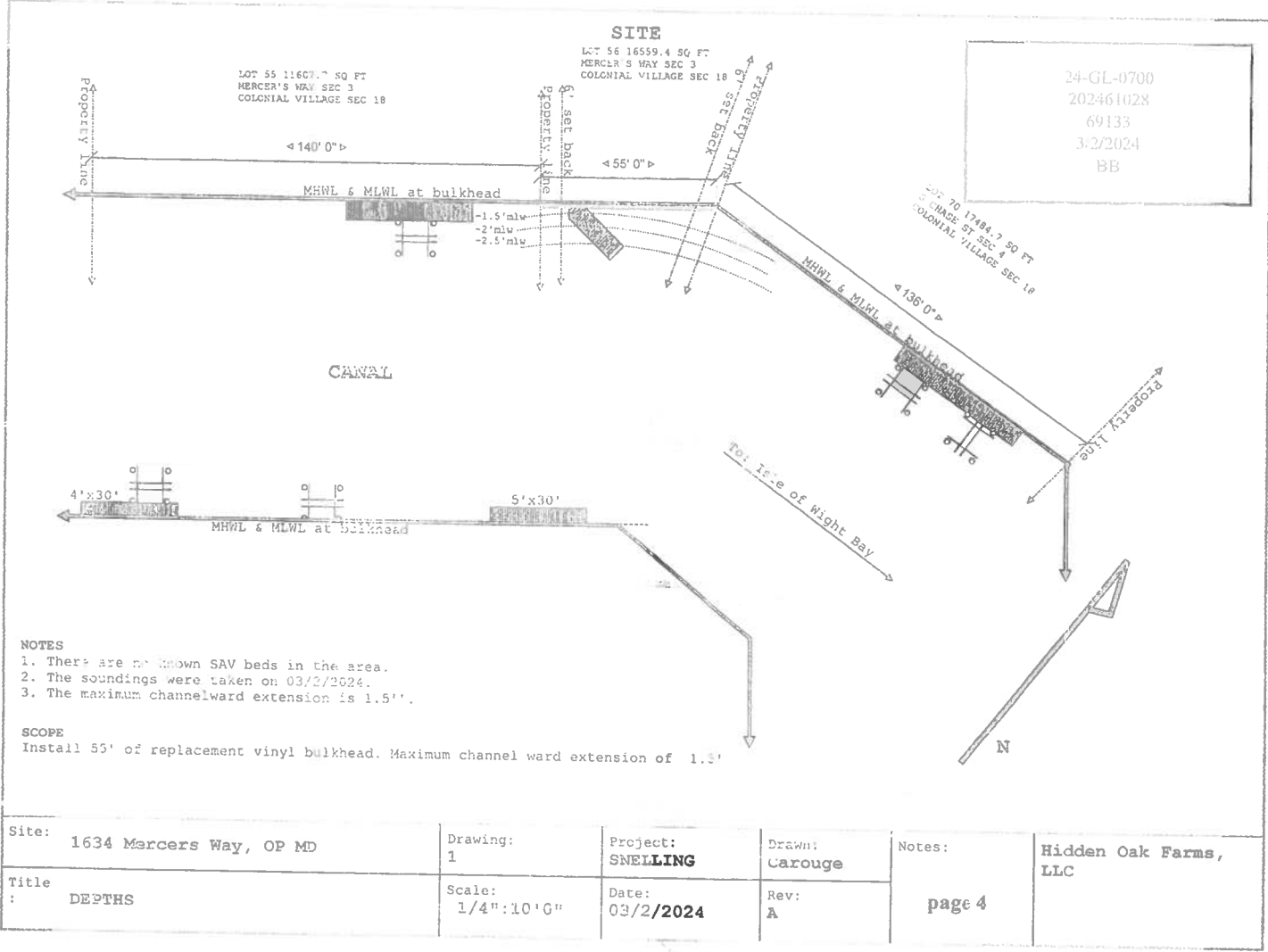
- NOTES**
1. There are no known SAV beds in the area.
 2. The soundings were taken on 03/2/2024.
 3. The maximum channelward extension is 1.5'.

SCOPE
Install 55' of replacement vinyl bulkhead. Maximum channel ward extension of 1.5'

Site:	1632 Mercers Way, OP MD	Project:	SNELLING	Drawn:	Carouge	Notes:	Hidden Oak Farms, LLC
Title:	EXISTING CONDITIONS	Drawing:	1	Date:	03/2/2024	Rev:	A
		Scale:	1/4" = 10' 0"				



Site: 1634 Mercers Way, OP MD	Drawing: 1	Project: SNELLING	Drawn: Carouge	Notes: page 3	Hidden Oak Farms, LLC
Title: Proposed CONDITIONS	Scale: 1/4" = 10' 0"	Date: 03/2/2024	Rev: A		



24-GL-0700
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 69133
 3/2/2024
 BB

- NOTES**
1. There are no known SAV beds in the area.
 2. The soundings were taken on 03/2/2024.
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SCOPE
 Install 55' of replacement vinyl bulkhead. Maximum channel ward extension of 1.5'

Site: 1634 Mercers Way, OP MD	Drawing: 1	Project: SNELLING	Drawn: Carouge	Notes:	Hidden Oak Farms, LLC
Title: DEPTHS	Scale: 1/4" = 10' 0"	Date: 03/2/2024	Rev: A	page 4	

PROJECT INFORMATION

BUILDING
NEW BUILDING
1634 MERCERS WAY
OCEAN PINES, MARYLAND, 21811
WORCESTER COUNTY

CODES:
2018 INTERNATIONAL RESIDENCE CODE
LATEST EDITION OF LOCAL CODES WHICH AMEND THE INTERNATIONAL CODES.

DESIGN REFERENCES:
REMARK 7: ASCE STANDARD, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES

ACI 308: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND RELATED MATERIALS
NATIONAL DESIGN SPECIFICATIONS FOR WOOD AND ENGINEERED WOOD CONSTRUCTION

AISC 360: STEEL CONSTRUCTION

STRUCTURAL DATA:
TOP OF FOUNDATION 4'-4" ABOVE MEAN LOW TIDE
MEAN LOW TIDE 3'-4" ABOVE MEAN LOW TIDE
MEAN HIGH TIDE 0'-0" ABOVE MEAN LOW TIDE
SOC. LATERAL PRESSURE: 140 PSEFF

TREATED ROUND TYPICAL PILES: AS APPLICABLE
TREATED ROUND TYPICAL PILES:
DESIGN RESISTANCES (UNDER NORMAL LOAD DURATION AND FAVORABLE CONDITIONS)
PILES 4" DIAMETER PILE
Pc = 1200 PBI
Pn = 2400 PBI
Pc = 1000 PBI
Pn = 2000 PBI
Pc = 1100 PBI
Pn = 2200 PBI

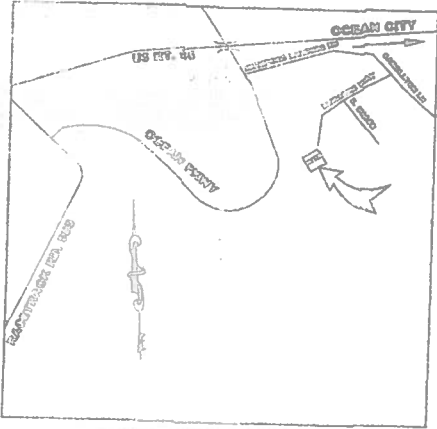
PAINT SHALL BE APPLIED WITH AN APPROVED PROCESS AND PRESERVATIVE AND MAINTAINED IN THE APPLICABLE EDITION OF THE AWPB BOOK OF STANDARDS, AMERICAN WOOD PRESERVERS ASSOCIATION, SELMA, AL.

CONSTRUCTION NOTES: THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY OCCUPIED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE SEQUENCING AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACKS OR TIEBACKS WHICH MAY BE NECESSARY. SUCH MATERIAL IS NOT SHOWN IN THE DRAWINGS. IF APPLIED, THE CONTRACTOR'S EXPERTISE IS REQUIRED AND TAKES NO RESPONSIBILITY FOR CONSTRUCTION ISSUES AND METHODS OF CONSTRUCTION WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OF SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND SHALL NOT BE CONSIDERED RESPONSIBLE FOR ANY VIOLATIONS OF ANY REGULATIONS DURING ANY PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE CONSTRUCTION.

INSPECTION: ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED QUALIFIED INSPECTOR TO PERFORM ALL REQUIRED INSPECTION WORK. INSPECTION SHALL CONSIST OF VISUAL OBSERVATIONS OF MATERIALS, EQUIPMENT OR CONSTRUCTION WORK FOR THE PURPOSE OF ASCERTAINING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND WITH THE DESIGN INTENT. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS PART OF THIS PRESENT CONTRACT WITH THE ARCHITECT/OWNER. UNDER THIS PRESENT CONTRACT, THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS. HOWEVER, SUCH VISITS SHALL NOT BE RELIED UPON BY OTHERS AS ACCEPTANCE OF THE WORK, NOR SHOULD IT BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM HIS OBLIGATIONS AND RESPONSIBILITIES UNDER THE CONSTRUCTION CONTRACT.

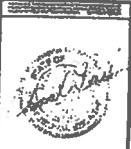
DESIGN REVIEW/ SITE OBSERVATION: IT IS AGREED THAT IF ABBA ENGINEERING'S PROFESSIONAL SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THEN THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS ABBA ENGINEERING FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INCURRED, ARISING FROM OR ALLEGED TO HAVE AROSE FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. ABBA ENGINEERING AGREES TO BE RESPONSIBLE FOR ITS OWN OR ITS EMPLOYEES' NEGLIGENT ACTS, ERRORS OR OMISSIONS.

OWNERSHIP OF DOCUMENTS: THE CONTRACTOR ACKNOWLEDGES THESE PLANS AND SPECIFICATIONS PREPARED BY ABBA ENGINEERING, LLC AS INSTRUMENTS OF PROFESSIONAL SERVICE. HOWEVER, THE PLANS AND SPECIFICATIONS PREPARED UNDER THIS AGREEMENT SHALL REMAIN THE PROPERTY OF ABBA ENGINEERING, LLC UPON COMPLETION OF THE WORK. THE CONTRACTOR AGREES TO HOLD HARMLESS AND INDEMNIFY ABBA ENGINEERING, LLC AGAINST ALL DAMAGES, CLAIMS, AND LOSSES, INCLUDING DEFENSE COSTS ARISING OUT OF ANY RELEASE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF ABBA ENGINEERING, LLC.



VICINITY MAP
(NOT TO SCALE)

14-GL-0700
102451028
60123
11/2024
131



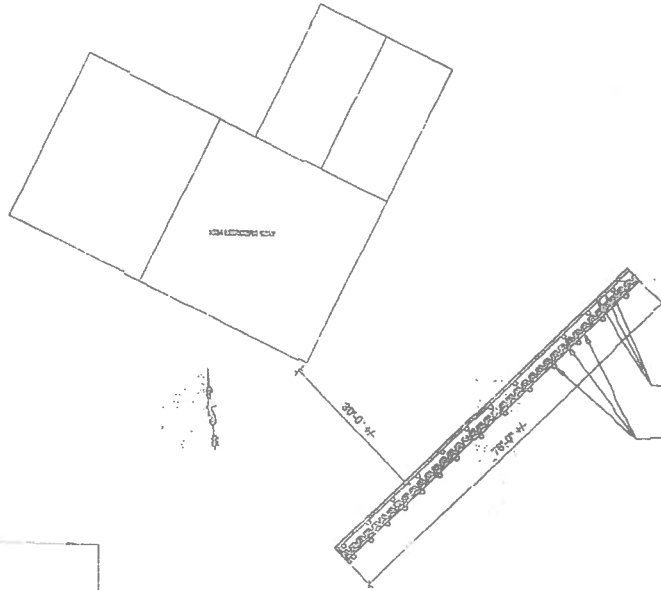
ABBA ENGINEERING
1127 SPRINGFIELD, ANNAPOLIS, MD 21403
THOMAS R. BERRIDGE, P.E.
1634 MERCERS WAY
OCEAN PINES, MD 21811

New Building
Single Family Residence
1634 Mercers Way
Ocean Pines, MD 21811

Notes
page 5
PERMIT
S1.0

PERMIT

MERCERS WAY



EXISTING BULKHEAD, 10" ROUND PILES AT 6.5' ON CENTER WITH 6x6 TOP AND MID WALES AND 2x10 T&G SHEETING.

PROPOSED NEW BULKHEAD, 10" ROUND PILES AT 6.5' ON CENTER WITH 6x6 TOP WALE AND 2x10 MID WALE AND VINYL SHEETING.

24-GJL-0700
202461028
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3/2/2024
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1 PLAN VIEW: EXISTING & PROPOSED
S1.1 SCALE: 1/8" = 1'-0"

page 6

PERMIT



ABBA ENGINEERING
1701 BIRCHMOUNT, ANNAPOLIS SPRING, MD 21407
OWNER
thomas@abbaeng.com
THOMAS L. LESCHKE, P.E.
PR. 410.293.5555
PC. 686.853.3333

New: Bulkhead

Single Family Residence
1634 Mercers Way
Ocean Pines, MD, 21811

Plan View:
Existing and
Proposed

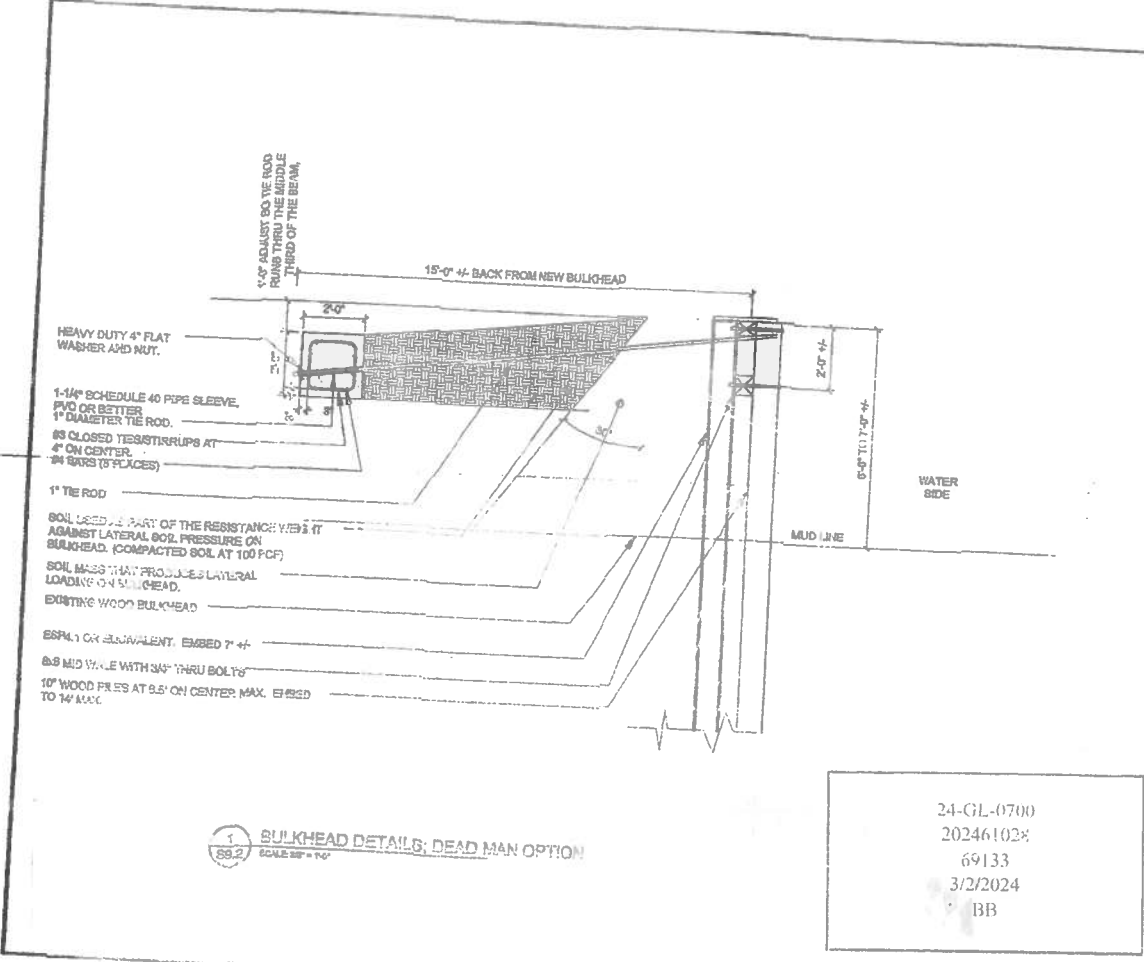
PERMIT	
NO.	1
DATE	3/2/2024
SCALE	S1.1



ARBA ENGINEERING
 1000 SHIPLEY INDUSTRIAL PARKWAY, SUITE 200, ANNAPOLIS, MD 21403
 THOMAS S. BRANTNER, P.E.
 PE # 10001
 P.E. # 10001

New Bulkhead
Single Family Residence
 1634 Harcers Way
 Ocean Pines, MD 21611

PERMIT	
NO. 2024-0700	DATE 3/2/2024
BY THOMAS S. BRANTNER, P.E.	BY [Signature]
PROJECT NO. 24-GL-0700	39.2



- HEAVY DUTY 4" FLAT WASHER AND NUT.
- 1-1/4" SCHEDULE 40 PIPE SLEEVE.
- 5/8" OR BETTER 1" DIAMETER TIE ROD.
- 8S CLOSED TIE STIRRUPS AT 4" ON CENTER.
- 2# BARS (3 PLACES)
- 1" TIE ROD
- SOIL USED 2/3 PART OF THE RESISTANCE V. 1/3 IT AGAINST LATERAL SOIL PRESSURE ON BULKHEAD. (COMPACTED SOIL AT 100 PCF)
- SOIL MASS THAT PRODUCES LATERAL LOADING ON BULKHEAD.
- EXISTING WOOD BULKHEAD
- ESFL 1 OR EQUIVALENT. EMBED 7' +/-
- 8S MID WALE WITH 3/4" THRU BOLTS
- 10" WOOD PILES AT 8.5' ON CENTER. MAX. EMBED TO 14' MAX.

1 BULKHEAD DETAILS; DEAD MAN OPTION
 SCALE: 3/4" = 1'-0"

24-GL-0700
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 69133
 3/2/2024
 BB

EXISTING BULKHEAD TO REMAIN.
PT 2x CAP CR PER OWNER DIRECTIVE.
NEW 6x2 SPC1 TREATED WALE,
BEAM ORIENTED.

80'-0" +/- (MIS)
CLOSEST DISTANCE
BULKHEAD IS TO MAIN BUILDING

MAIN BUILDING

CANAL
SIDE

APPROX. 7'-0"

MUD LINE

NEW 6x3 SPC1 TREATED MID WALE, ATTACH AT PILE WITH
ONE SS OR GALVANIZED 1" TRUSS BOLT WITH HEAVY
WASHERS, TYPICAL FOR BOTH WALES.
NEW VNYL SHEET PILING ATTACHED TO WALES,
ESP A.1 OR EQUIVALENT, EYSED A MINIMUM OF 7".
NEW 10" DIAMETER WOOD PILES SPACED AT 6.5'
ON CENTER WITH A MINIMUM OF 16"
EMBEDMENT BELOW MUD LINE.
MANTA RAY'S SOIL ANCHORS, EMBEDMENT
DISTANCE SHALL BE 18 HORIZONTAL ANGLE
MANTA RAYS APPROXIMATELY 20 DEGREES
BELOW THE HORIZONTAL. PROOF LOAD A
MINIMUM OF 15% OF THE PILES TO 8,000 LBS

TIE ROD OR MANTA RAY MR2
SOIL ANCHOR.
COMPACTED FILL BETWEEN
EXISTING AND NEW
BULKHEADS.
NEW 10" DIAMETER WOOD PILE
WITH 14" EMBEDMENT AND
SPACED APPROXIMATELY 6.5'
ON CENTER (TYP)
NEW TREATED SPC1 6x2 TOP AND
6x3 MID WALE BEAM ORIENTED.
NEW VNYL SHEET PILING
EMBEDDED 7" (14" +/- OVERALL
LENGTH). VNYL SHEET PILING
SHALL BE CMI CL-6200, ESP A.1
OR EQUIVALENT.

2 BULKHEAD DETAILS: MANTA RAY OPTION
SCALE 1/2" = 1'-0"

1 PARTIAL PLAN VIEW
SCALE 1/2" = 1'-0"

34-015-0700
303-161028
6913A
3.2.2024
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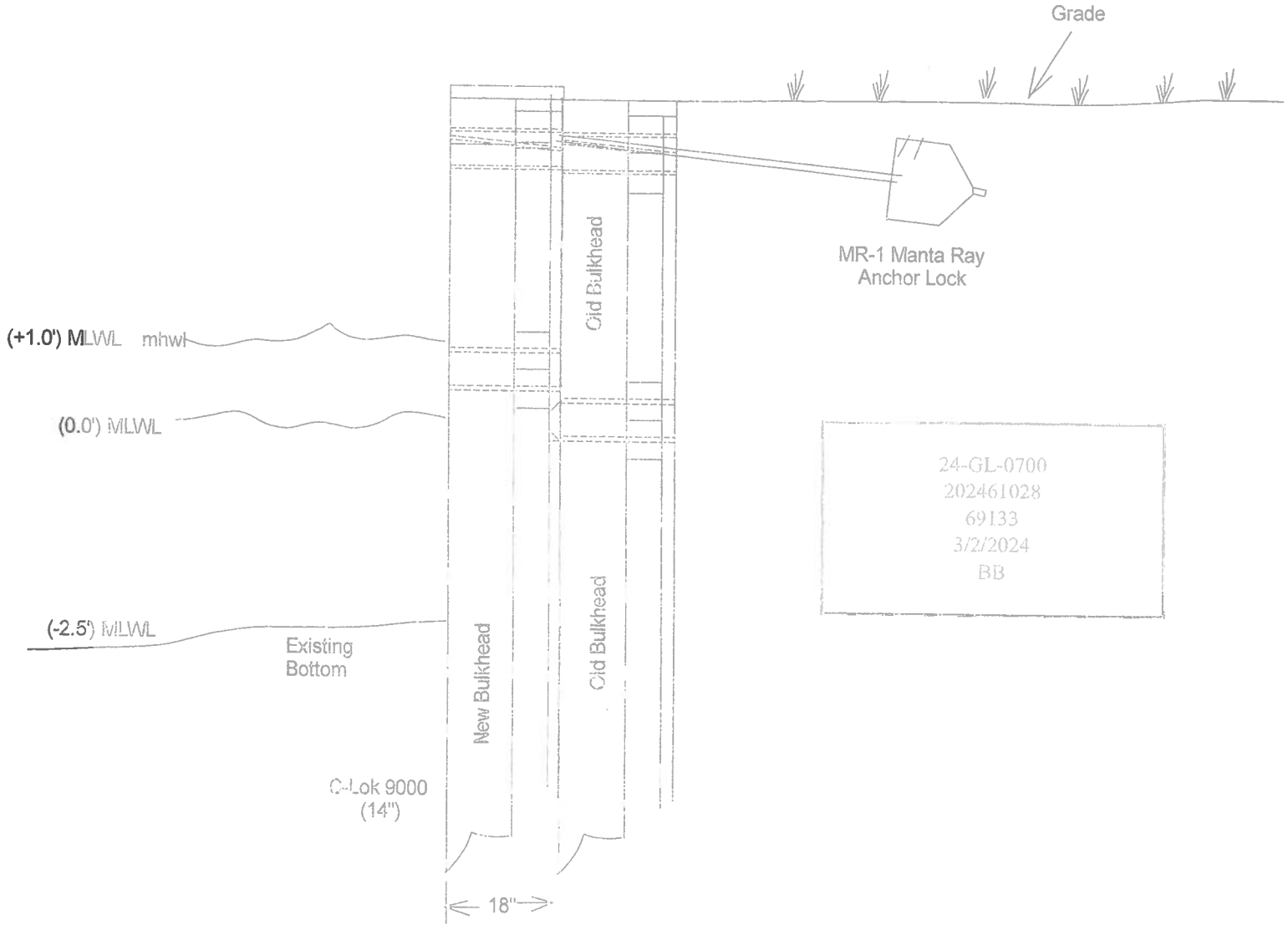
ABBA ENGINEERING
1120 W. 14TH STREET, CROFTON, MARYLAND 21117
THOMAS A. ARCHER, P.E.
LICENSE NO. 10207
P.E. 10/28/2009

Single Family Residence
1634 Mercers Way
Ocean Pines, MD 21811

Bulkhead Details

PERMIT	
NO.	DATE
1	3/2/24
S9.1	

1634 Mercers Way Ocean Pines, MD Tierod Bulkhead System



General Notes:

1. Bulkhead design will Meet or exceed Worcester County Specifications and Standards.
2. The tie back system shall be the Manta Ray MR-1 with 1" tierods.
3. The sheathing will be the C-Lok 9000 system.
4. Scale: 1/2" = 1'

PROJECT INFORMATION

BUILDING
NEW BULKHEAD
1634 MERCERS WAY
OCEAN PINES, MARYLAND, 21811
WORCESTER COUNTY
CODES:

2018 INTERNATIONAL RESIDENCE CODE
LATEST EDITION OF LOCAL CODES WHICH AMEND THE INTERNATIONAL CODES.

DESIGN REFERENCES:
SEVASC 7: ASCE STANDARD, MINIMUM DESIGN LOADS FOR BUILDINGS
AND OTHER STRUCTURES

ACI 318: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
ANSI/AF&PA NDS: NATIONAL DESIGN SPECIFICATIONS FOR WOOD AND
ENGINEERED WOOD CONSTRUCTION

AISC: MANUAL FOR STEEL CONSTRUCTION

STRUCTURAL DATA:

TOP OF BULKHEAD: 7'-0" +/- ABOVE MUD LINE MAX
MEAN LOW TIDE: 3'-6" +/- ABOVE MUD LINE
MEAN HIGH TIDE: 5'-0" +/- ABOVE MUD LINE MAX
SOIL LATERAL PRESSURE: 150 PSF/FT

TREATED ROUND TIMBER PILES: AS APPLICABLE

TREATED ROUND TIMBER PILES:

DESIGN PROPERTIES UNDER NORMAL LOAD DURATION AND WET SERVICE CONDITIONS:

SPECIES = SOUTHERN PINE
Fc = 1,200 PSI
Fb = 2,400 PSI
Fv = 110 PSI
Fc = 250 PSI
E = 1,500,000 PSI
Emin = 790,000 PSI

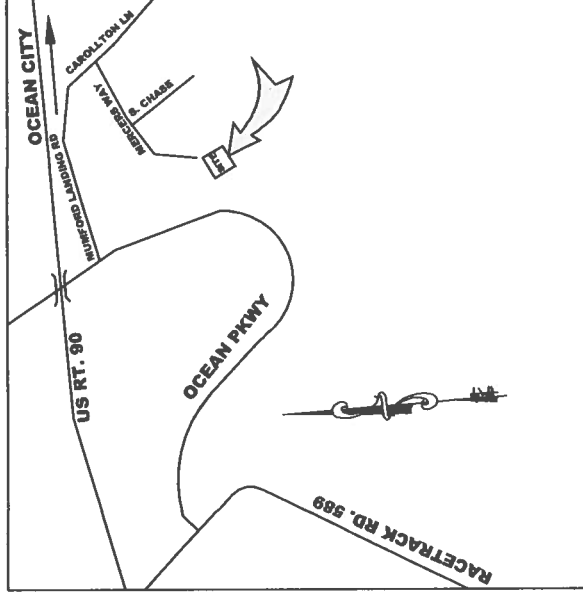
PILES SHALL BE TREATED WITH AN APPROVED PROCESS AND PRESERVATIVE AND
PRESCRIBED IN THE APPLICABLE EDITION OF THE AWPB BOOK OF STANDARDS,
AMERICAN WOOD PRESERVERS ASSOCIATION, SELMA, AL.

CONTRACTOR RESPONSIBILITIES: THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE
AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO
DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND
ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING
ERECTING. THIS INCLUDED THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR
TIEDOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN IN THE DRAWINGS. IF APPLIED,
THEY SHALL BE REMOVED AS CONDITIONS PERMIT AND SHALL REMAIN THE CONTRACTOR'S PROPERTY.
THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND
METHODS OR JOBSITE SAFETY DURING CONSTRUCTION, PROCESSING AND/OR APPROVED SUBMITTALS
MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OF
SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED. SHALL NOT BE
CONSTRUED AS VOLUNTARY ASSUMPTIONS BY THE ENGINEER OR ANY RESPONSIBILITY OF EACH
CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF
CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE CONSTRUCTION.

INSPECTION: ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING
CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED
QUALIFIED INSPECTOR TO PERFORM ALL REQUIRED INSPECTION WORK. INSPECTION SHALL CONSIST OF
VISUAL OBSERVATIONS OF MATERIALS, EQUIPMENT OR CONSTRUCTION WORK FOR THE PURPOSE OF
ASCERTAINING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND
WITH THE DESIGN INTENT. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS PART OF THIS
PRESENT CONTRACT WITH THE ARCHITECT/OOWNER. UNDER THIS PRESENT CONTRACT, THE ENGINEER MAY
VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCES TO THE CONTRACT DOCUMENTS. HOWEVER, SUCH
VISITS SHALL NOT BE RELIED UPON BY OTHERS AS ACCEPTANCE OF THE WORK, NOR SHOULD IT BE
CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM HIS OBLIGATIONS AND RESPONSIBILITIES
UNDER THE CONSTRUCTION CONTRACT.

DESIGN WITHOUT CONSTRUCTION REVIEW: IT IS AGREED THAT IF ABBA ENGINEERING'S PROFESSIONAL
SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S
WORK OR PERFORMANCE, THEN THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS ABBA
ENGINEERING FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS,
EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S
PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND
THE CONTRACT DOCUMENTS. ABBA ENGINEERING AGREES TO BE RESPONSIBLE FOR ITS OWN OR ITS
EMPLOYEES' NEGLIGENT ACTS, ERRORS OR OMISSIONS.

OWNERSHIP OF DOCUMENTS: THE CONTRACTOR ACKNOWLEDGES THESE PLANS AND SPECIFICATIONS
PREPARED BY ABBA ENGINEERING, LLC AS INSTRUMENTS OF PROFESSIONAL SERVICE. NEVERTHELESS, THE
PLANS AND SPECIFICATIONS PREPARED UNDER THIS AGREEMENT SHALL REMAIN THE PROPERTY OF ABBA
ENGINEERING, LLC UPON COMPLETION OF THE WORK. THE CONTRACTOR AGREES TO HOLD HARMLESS AND
INDEMNIFY ABBA ENGINEERING, LLC AGAINST ALL DAMAGES, CLAIMS, AND LOSSES, INCLUDING DEFENSE COSTS
ARISING OUT OF ANY REUSE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF
ABBA ENGINEERING, LLC.



VICINITY MAP

NOT TO SCALE

PERMIT



ABBA ENGINEERING, LLC
11201 SHARPTOWN RD., MARDELA SPRINGS, MD, 21837
THOMAS S. BECHTEL, P.E.
PH: 443-783-5556
FX: 410-883-3840
OWNER
lombtech@abbaconest.net

New Bulkhead
Single Family Residence
1634 Mercers Way
Ocean Pines, MD 21811

Notes

PROJECT NAME	PERMIT
CITY	OCEAN PINES, MD
SCALE	1" = 10'-0"
DATE	03/11/24
PROJECT NO.	240100018
PROJECT VALUE	\$1.0



