

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

**Wednesday, December 10, 2025 at 1:00 p.m.
Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863**

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. Call to Order

II. Site Plan Review (§ ZS 1-325)

A. Chaberton Solar Stillpond LLC – Major Site Plan Review

Major solar energy system. Located at 10046 Peerless Road, Bishopville, MD 21813. Tax District 3, Tax Map 15, Parcel 254, A-2 Agricultural District. Ki Suk Kim, owner / Chaberton Energy, applicant / LaBella, engineer/surveyor.

B. Bishopville Volunteer Fire Department – Major Site Plan Review

Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces. Located at 10709 Bishopville Road, Bishopville, MD 21813. Tax District 5, Tax Map 9, Parcel 214 & 216, V-1 Village District. Bishopville Volunteer Fire Department, Inc., owner / Davis, Bowen, & Friedel, Inc., engineer/surveyor.

C. RLG – Major Site Plan Review

Proposed construction of a new 13,600 sq. ft. boat construction building, create contractor storage and material laydown areas and construct the associated support infrastructure of roads, well, septic, drainage and stormwater management components. Located at 13053 Old Stage Road, Tax Map 9, Parcel 59, Tax District 5, I-1 Light Industrial District. RLG Property, LLC, owner / Vista Design Inc., applicant/surveyor/engineer.

III. Adjourn

TECHNICAL REVIEW COMMITTEE

DATE OF MEETING: December 10, 2025

PROJECT: Chaberton Solar Stillpond, LLC

APPLICANT(S) IN ATTENDANCE:

TRC MEMBERS IN ATTENDANCE:

____ Tremblay, Zoning Administrator
____ Zito, DRP Specialist III
____ Miller, Building Plans Reviewer III
____ Mitchell, Environmental Programs
____ White, Environmental Programs
____ Soper, Environmental Programs
____ Birch, Environmental Programs
____ Mathers, Environmental Programs
____ Owens, Fire Marshal
____ Korb, Deputy Fire Marshal
____ Lynch, County Roads
____ Berdan, County Roads
____ Wilson, State Highway Admin.
____ Fritts, State Highway Admin.
____ Beauchamp, W & WW, DPW
____ Knight, Planning Commission Rep.

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DEPARTMENT OF  
DEVELOPMENT REVIEW AND PERMITTING

## Worcester County

ZONING DIVISION  
BUILDING DIVISION  
BOARD OF LICENSE  
COMMISSIONERS

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1201  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1200 / FAX: 410.632.3008  
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION  
CUSTOMER SERVICE DIVISION  
TECHNICAL SERVICES DIVISION

### WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

December 10, 2025

#### **Chaberton Solar Stillpond, LLC – Major Site Plan Review**

Major solar energy system. Located at 10046 Peerless Road, Bishopville, MD 21813. Tax District 3, Tax Map 15, Parcel 254, A-2 Agricultural District. Ki Suk Kim, owner / Chaberton Energy, applicant / LaBella, engineer/surveyor.

**Prepared by:** Ben Zito, DRP Specialist

**Contact:** [bmzito@worcestermd.gov](mailto:bmzito@worcestermd.gov) or (410) 632-1200, extension 1134

**Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.**

#### **General Requirements:**

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
  - a. A complete building permit application along with the initial fee of \$350 made payable to "Worcester County."
  - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan) and building elevations (front, rear and sides). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
  - c. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.

In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing,

electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.** **Project Specific Comments:** This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

|                 |                                             |
|-----------------|---------------------------------------------|
| <b>§ZS1-202</b> | A-2 Agricultural District                   |
| <b>§ZS1-305</b> | Lot Requirements Generally                  |
| <b>§ZS1-306</b> | Access to Structures                        |
| <b>§ZS1-319</b> | Access and Traffic Circulation Requirements |
| <b>§ZS1-320</b> | Off-Street Parking Areas                    |
| <b>§ZS1-321</b> | Off-Street Loading Spaces                   |
| <b>§ZS1-322</b> | Landscaping and Buffering Requirements      |
| <b>§ZS1-323</b> | Exterior Lighting                           |
| <b>§ZS1-324</b> | Signs                                       |
| <b>§ZS1-325</b> | Site Plan Review                            |
| <b>§ZS1-326</b> | Classification of Highways                  |
| <b>§ZS1-344</b> | Alternative Energy Facilities               |

\*This project is subject to Solar Energy System Siting Standards outlined in Public Utilities Article § 7-218(f)

1. Please remove “Not for construction” throughout the site plans, as well as on General Note 1 on Sheet C000.
2. Sheet C000: Please clarify General Note #4, particularly the acronyms “EPC” and “CEH.” All equipment locations must abide by Worcester County regulations and Public Utilities Article § 7-218(f). This general note is also found throughout the rest of the site plan.
3. Sheet C000: Please clarify General Note #6, particularly the acronyms “EPC” and “CEH.” This general note is also found throughout the rest of the site plan.
4. Sheet C000: Please clarify General Note #8 regarding the module and fence layout. Will the modules and fence differ from what is shown on the plans? Please add Sheet E-001 to the site plan as this sheet was not provided. This general note is also found throughout the rest of the site plan.
5. Sheet C001: For Demolition Note #10, please add that all replacements and repairs will also require Worcester County approval.
6. Sheet C100: Please show all existing structures on adjacent parcels, as well as on any additional sheets where the parcel is shown.
7. Sheet C200: Please clarify the alternative and/or permanent area for the soil stockpile area.

8. Please add a note that the proposed access road with 16' of gravel is one-way only. If it is to be two-way, there will need to be 20' of gravel.
9. Please clarify the "Proposed Aboveground Mechanical Axle" shown throughout the plans, and please provide a typical detail of this.
10. Sheet C701: Regarding the 7' high personnel gate, please clarify the green fabric screen and if it will also be installed on the agricultural fence.
11. Sheet C701: Please denote the maximum height of the panels and ensure that all structures have an average height of no more than 15.'
12. A decommissioning bond to be held by Worcester County will be required prior to the issuance of a building permit. This bond will be held by Worcester County only and is in addition to any bonding requirements required by the Public Service Commission (PSC). The bond value shall be 125% of the cost estimate, and the cost estimate shall be prepared by an independent certified Professional Engineer approved by the County. The bond value shall not include salvage value. The bond value shall be reevaluated every five years, when the property or lease transfers, and just prior to decommissioning. §ZS1-344(d)(7)(C).
13. A separate decommissioning plan will be required prior to signature site plan approval, and this plan must include the decommissioning cost estimates without the salvage value as required by the County's decommissioning bond. The plan must include all the information required by §ZS1-(344)(d)(7)(A).
14. Please provide a landscaping plan, including details such as plant species, quantities, spacing, height at maturity, and maintenance methods. §ZS1-322(d). <https://ecode360.com/14021093>. The plan shall also provide details required by Public Utilities Article §7-218(f)(2)(iv) and §7-218(f)(3)-(4).
15. Please ensure that a minimum of 75% of the landscaping is native to Worcester County. §ZS1-322(b)(5). <https://ecode360.com/14021087>.
16. Please specify the landscape maintenance method. Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors. Drip irrigation systems are preferred. If an automatic system is not feasible, the Planning Commission at its discretion may approve an alternate watering system to maintain the plant material. §ZS1-322(b)(7). <https://ecode360.com/14021089>.
17. Worcester County shall hold a landscaping bond equal to 100% of the total landscaping cost for the first five years. After five years, 50% of the bond may be released if, on inspection, the vegetative protections meet a 90% survival threshold. The remaining 50% shall be held for an additional two years. If upon further inspection and confirmation that the vegetative protections continue to meet 90% survival threshold, it shall be released.
18. Please provide a viewshed analysis, as the property is located within Worcester County's Priority Preservation Area. Public Utilities Article §7-218(f)(2)(vi)(1-2).
19. Please ensure that topsoil is not removed from the parcel. Topsoil may be moved or temporarily stockpiled for grading. Please note this requirement on the site plan. Public Utilities Article §7-218(f)(5)(i)-(v).

20. Please clarify if there will be any lighting. If lighting is proposed, please provide a lighting plan and ensure the solar energy generating station does not emit any visible light during dusk to dawn operations. Public Utilities Article §7-218(f)(7).

**Other Agency Approvals:**

1. Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.

**\*Please provide a detailed listing of all site plan changes along with any resubmission.**

**NEXT STEPS:** For a Major Site Plan, please address all comments provided by the TRC and resubmit any changes as needed for the Planning Commission. If approved by the Planning Commission, final approval of the site plan will not be granted until all comments provided to the applicant by the TRC have been addressed on the site plan and any associated documents. Once the site plan and other documents have been adjusted, it will need to be resubmitted to the TRC for ‘final signature approval’ before building/zoning permits will be issued.

The approval of the site plan or the installation of the improvements as required in this Title shall in no case serve to bind the County to accept such improvements for maintenance, repair or operation thereof. Acceptance of improvements shall be subject to applicable County or state regulations.

No public easement, right-of-way or public improvement shall be accepted for dedication unless approved by the County Commissioners. Such approval shall not be given by the County Commissioners until any such easement, right-of-way or improvement complies with all the requirements set forth by the approving body, including such other requirements that the approving body might impose for public utilities, streets, roads, drainage, etc. All improvements accepted for dedication shall be depicted on an instrument to be recorded in the land records of Worcester County.

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**FW: 12/10/25 TRC - Roads comments**

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**From** Tony Fascelli <tfascelli@worcestermd.gov>

**Date** Wed 12/3/2025 9:28 AM

**To** Benjamin M. Zito <bmzito@worcestermd.gov>; Kristen Tremblay <ktremblay@worcestermd.gov>

**Cc** Kevin Lynch <klynch@worcestermd.gov>

Ben/Kristen,

I didn't want you guys to be missing any comments for TRC so I am forwarding these up. If you need something more formal please let me know.

Thanks,

Tony Fascelli

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**From:** Kevin Lynch <klynch@worcestermd.gov>

**Sent:** Tuesday, December 2, 2025 9:39 AM

**To:** Tony Fascelli <tfascelli@worcestermd.gov>

**Subject:** 12/10/25 TRC - Roads comments

Chaberton Solar Stillpond LLC - Change site plan to show Worcester County Commercial entrance detail, will also need to obtain a commercial entrance bond with the Road's Division

Bishopville Volunteer FD - No comments at this time

RLG - No comments at this time, using existing commercial entrance and is in good condition

Kevin A. Lynch  
Superintendent  
Worcester County Department Of Public Works  
Roads Division  
5764 Worcester Hwy  
Snow Hill, MD 21863  
O: (410) 632-2244, ext. 2104  
C: 443-783-9731  
F: 410-632-0020





## Worcester County

Department of Environmental Programs  
Natural Resources Division

### Memorandum

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**To:** Worcester County Technical Review Committee

**From:** Joy S. Birch, Natural Resources Planner III (JB)

**Subject:** December 10, 2025 - Technical Review Committee Meeting

**Date:** November 26, 2025

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- **Chaberton Solar Stillpond LLC – Major Site Plan Review**

Proposed major solar energy system. Located at 10046 Peerless Road, Tax Map 15, Parcel 254, Tax District 03, A-2 Agricultural District, Ki Suk Kim, owner / Chaberton Energy, applicant / LaBella, engineer/surveyor. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. No Comment.

**Citizens and Government Working Together**



## Worcester County

Department of Environmental Programs  
Environmental Programs Division

### Memorandum

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**To:** Technical Review Committee (TRC) for a December 10, 2025 Meeting

**From:** Environmental Programs Staff

**Subject:** Chaberton Solar Stillpond, LLC Major Site Plan Review  
**Tax Map: 15, Parcel: 254**

**Date:** December 5, 2025

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Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. Environmental Programs requires a \$150 fee for any Technical Review Committee projects submitted on private water & sewer. This fee will need to be submitted prior to Signature Approval being given on this project.
2. The three existing monitoring wells will need to be abandoned and sealed prior to Environmental Programs approval of a building permit.
3. The approval of the existing 10,000 square foot sewage reserve area on the property will become null and void once building permits are issued for this project.

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GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1302

SNOW HILL, MARYLAND 21863-1294

TEL: 410-632-5666

FAX: 410-632-5664

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## TECHNICAL REVIEW COMMITTEE COMMENTS

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PROJECT: **Chaberton Solar Stillpond LLC** TRC #: **20250491**

LOCATION: **10045 Peerless Road – Bishopville, MD 21813**

CONTACT: **Chaberton Energy**

MEETING DATE: **December 10, 2025**

COMMENTS BY: **Robert Korb, Jr.**  
**Chief Deputy Fire Marshal**

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As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions, or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

### **Scope of Project:**

Proposed major solar energy system.

### **Specific Comments:**

1. Provide a Knox Box furnished by the Showell Volunteer Fire Department at the entrance to the project.
2. Upon completion of the project, provide awareness training to the Showell Volunteer Fire Department on site specific safety details.




## Worcester County

Department of Environmental Programs  
Natural Resources Division

### Memorandum

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**To:** Technical Review Committee

**From:** David Mathers, Natural Resources Planner IV 

**Subject:** Forest Conservation & Stormwater Management Review

**Date:** December 4, 2025

**Date of Meeting:** December 10, 2025

**Project:** Chaberton Solar Stillpond, LLC

**Location:** 10046 Peerless Road, Tax Map: 15, Parcel: 254

**Owner/Developer:** Ki Suk Kim / Chaberton Energy

**Engineer/Surveyor:** LaBella

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**This project is exempt from the Worcester County Forest Conservation Law.** In accordance with House Bill 723, as of July 1, 2024, solar photovoltaic facilities are exempt from the County's Forest Conservation Law provided there is no cutting or clearing of forest, and provided that all forested area cut or cleared is replaced at a ratio of one acre planted for each one acre removed, or, is replaced at a ratio of one half acre planted for each one acre removed in a priority funding area. Furthermore, any future approval of this land for a regulated activity shall be subject to the County's Forest Conservation Law.

The Forest Conservation statement above shall be included in the plans for this project.

**This project is subject to the Worcester County Stormwater Ordinance.** The project has obtained Stormwater Concept Plan approval. This project will need Stormwater Site Development Plan approval prior to proceeding to Planning Commission.

All projects over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination

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System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

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WORCESTER COUNTY GOVERNMENT CENTER 1 WEST MARKET STREET, ROOM 1306 SNOW HILL, MARYLAND 21863  
Tel: 410.622.1220 Fax: 410.622.2012



DEPARTMENT OF  
ENVIRONMENTAL PROGRAMS

**Worcester County**

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1306  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS  
STORMWATER MANAGEMENT  
SEDIMENT AND EROSION CONTROL  
SHORELINE CONSTRUCTION  
AGRICULTURAL PRESERVATION  
ADVISORY BOARD

WELL & SEPTIC  
WATER & SEWER PLANNING  
PLUMBING & GAS  
CRITICAL AREAS  
FOREST CONSERVATION  
COMMUNITY HYGIENE

## MEMORANDUM

DATE: January 1, 2024

TO: Applicant

FROM: David M. Bradford, Deputy Director

SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

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Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Deputy Director, David Bradford, at (410) 632-1220, ext. 1143.

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**RE: 12/10/2025 TRC Transmittal - Chaberton Solar Stillpond, LLC**

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**From** Kelly Henry <khenry@worcestermd.gov>

**Date** Tue 11/18/2025 8:54 AM

**To** Benjamin M. Zito <bmzito@worcestermd.gov>; Kristen Tremblay <ktremblay@worcestermd.gov>; Brian M. Soper <bmsoper@worcestermd.gov>; Cathy Zirkle <czirkle@worcestermd.gov>; Dallas Baker <dbaker@worcestermd.gov>; Dwilson12@sha.state.md.us <Dwilson12@sha.state.md.us>; David M. Bradford <dbradford@worcestermd.gov>; David Mathers <dmathers@worcestermd.gov>; Gary Serman <gserman@worcestermd.gov>; Gary R. Pusey <grpusey@worcestermd.gov>; jfritts@mdot.maryland.gov <jfritts@mdot.maryland.gov>; Jennifer Keener <jkkeener@worcestermd.gov>; Joy Birch <jbirch@worcestermd.gov>; Kevin Lynch <klynch@worcestermd.gov>; Laurie Bew <lbew@worcestermd.gov>; Lisa Lawrence <llawrence@worcestermd.gov>; Mmknight@comcast.net <Mmknight@comcast.net>; Matt Owens <mowens@worcestermd.gov>; Matthew Laick <mlaick@worcestermd.gov>; Paul Miller <pmiller@worcestermd.gov>

 1 attachment (796 KB)  
TM15P254\_Solar\_2025.pdf;

Due to the change in location of driveway serving solar array versus what had previously been assigned for the dwelling and poultry house operation (that was never built), the address has been changed from 10046 to 10084 Peerless Road.



Kelly L. Henry  
Technical Services Division Manager  
Department of Development Review & Permitting  
Worcester County Government Center  
One West Market Street - Room 1201  
Snow Hill, Maryland 21863

Phone: 410.632.1200 Extension 1130

Fax: 410.632.3008

Email: khenry@co.worcester.md.us - **NEW EMAIL: khenry@worcestermd.gov**

County Website: <https://www.co.worcester.md.us>

**Please note Worcester County is transitioning to a new email address. My updated email is [khenry@worcestermd.gov](mailto:khenry@worcestermd.gov). Emails sent to my previous address, [khenry@co.worcester.md.us](mailto:khenry@co.worcester.md.us), will still be received during this transition. Thank you.**

## Chaberton Solar Stillpond, LLC—TRC Meeting 12/10/2025

### New / Change of Address Assignment: Peerless Road .....EVEN

Account ID No. 2403132315—Tax Map 15, Parcel 254, Lot 1— TRC Review December 2025

In 2017, BP 17-0575 was submitted for the construction of a dwelling and 3 poultry houses. This construction did not occur. The address (10046) was based on the location of the driveway which was proposed to be near the westerly property line.

Now in 2025, a site plan is being submitted to the Technical Review Committee for the installation of solar arrays. The driveway entrance is proposed to be near the easterly property line.

The EVEN street range of Peerless Road extending to “old” Worcester Hwy is 10100. As shown on the submitted site plan, the proposed driveway serving the solar array is approximately 390 (400) feet west from that intersection. Based on this distance the following address will be assigned to

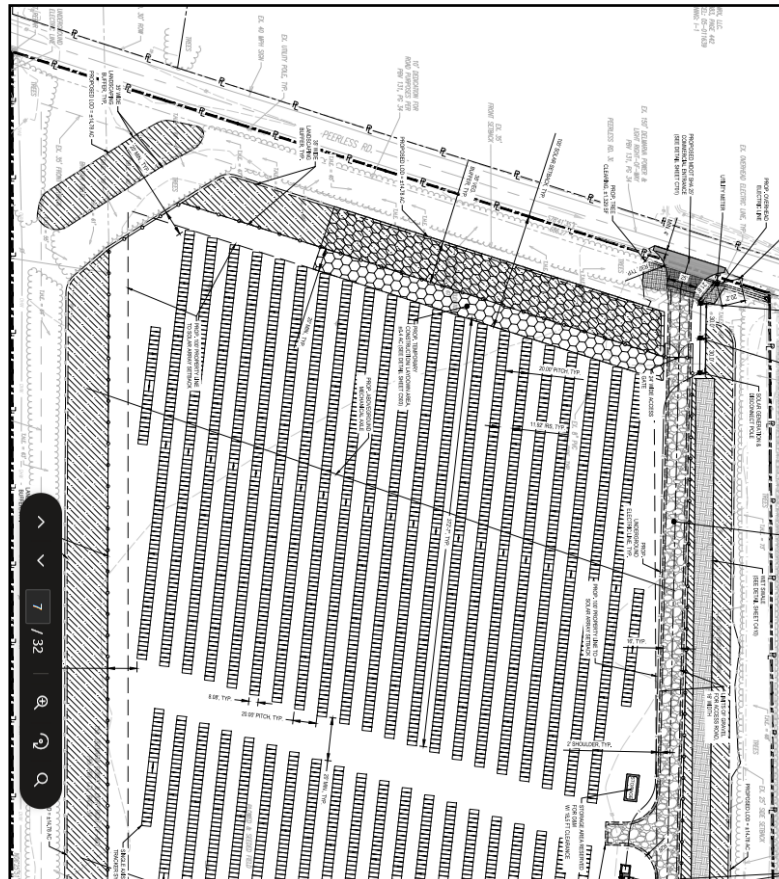
**Lot 1: 10084 Peerless Road.**

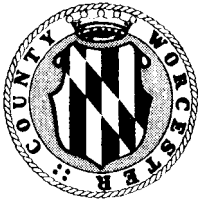
**Please post this address at the entrance along Peerless Road to be clearly visible in both directions by emergency personnel.**

Please note 10046 Peerless Road will be removed from the address point database.

DRP/TSD:KHenry11182025

| Peerless Road....EVEN |         |
|-----------------------|---------|
| Distance              | Address |
| 0                     | 10100   |
| 50                    | 10098   |
| 100                   | 10096   |
| 150                   | 10094   |
| 200                   | 10092   |
| 250                   | 10090   |
| 300                   | 10088   |
| 350                   | 10086   |
| 400                   | 10084   |





## WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting  
Worcester County Government Center  
1 W. Market St., Room 1201  
Snow Hill, Maryland 21863  
410-632-1200, Ext. 1151  
pmiller@co.worcester.md.us

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Project: Chaberton Solar Stillpond LLC 10046 Peerless Road

Date: 12/10/2025

Tax Map: 25 Parcel: 254 Section:\_\_ Lot:\_\_ Block:\_\_\_\_\_

### COMMENTS

1. Current Codes: 2021 International Building Code  
2017 National Electric Code
2. Wind Design (assumed): 112 MPH risk category I; Exposure Category "C";  
Ground Snow Load – 20 PSF
3. Soils report required at time of permit application.
4. Engineered sealed plans (Maryland) required for all systems and components.  
Soils evaluation for pile foundation for embedment.
5. Special inspector (**third party engineer**) will be required for all piles, systems and components during construction. Final certification and report of project prior to final inspection by building inspector.
6. Submit the total number and size of solar panels to be installed.
7. Provide total wattage amount at time of application.
8. Please provide your design professional with a copy of these comments.
9. If tracking panel system is installed, a commissioning report will be required.

**Permit fee is by ft<sup>2</sup> of panels x .1131. There is also a fee for fire marshal.**

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**RE: 12/10/2025 TRC Transmittal - Chaberton Solar Stillpond, LLC**

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**From** Tony Fascelli <tfascelli@worcestermd.gov>  
**Date** Tue 11/18/2025 12:32 PM  
**To** Benjamin M. Zito <bmzito@worcestermd.gov>

Ben,

Water and wastewater have no comments on this project.

Your assumption would have been right.

Thanks for letting me comment.

Tony Fascelli

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**From:** Benjamin M. Zito <bmzito@worcestermd.gov>  
**Sent:** Tuesday, November 18, 2025 11:45 AM  
**To:** Tony Fascelli <tfascelli@worcestermd.gov>  
**Subject:** Re: 12/10/2025 TRC Transmittal - Chaberton Solar Stillpond, LLC

Hi Tony,

Any comments for this? GIS does not show any water/sewer lines nearby so I figured not.  
Address is 10046 Peerless Road.

Just wanted to double-check.

Thanks,

Ben Zito  
DRP Specialist III  
Dept. of Development, Review and Permitting  
Worcester County Government  
One West Market Street, Room 1201  
Snow Hill, MD 21863  
(410) 632-1200, ext. 1134  
[bmzito@worcestermd.gov](mailto:bmzito@worcestermd.gov)

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**From:** Benjamin M. Zito  
**Sent:** Monday, November 17, 2025 9:56 AM  
**To:** Kristen Tremblay <[ktremblay@co.worcester.md.us](mailto:ktremblay@co.worcester.md.us)>; Brian M. Soper <[bmsoper@co.worcester.md.us](mailto:bmsoper@co.worcester.md.us)>; Cathy Zirkle <[czirkle@co.worcester.md.us](mailto:czirkle@co.worcester.md.us)>; Dallas Baker <[dbaker@co.worcester.md.us](mailto:dbaker@co.worcester.md.us)>; [Dwilson12@sha.state.md.us](mailto:Dwilson12@sha.state.md.us) <[Dwilson12@sha.state.md.us](mailto:Dwilson12@sha.state.md.us)>; David M. Bradford <[dbradford@co.worcester.md.us](mailto:dbradford@co.worcester.md.us)>; David Mathers <[dmathers@co.worcester.md.us](mailto:dmathers@co.worcester.md.us)>; Gary Serman <[gserman@co.worcester.md.us](mailto:gserman@co.worcester.md.us)>; Gary R. Pusey <[grpusey@co.worcester.md.us](mailto:grpusey@co.worcester.md.us)>; [jfritts@mdot.maryland.gov](mailto:jfritts@mdot.maryland.gov) <[jfritts@mdot.maryland.gov](mailto:jfritts@mdot.maryland.gov)>; Jennifer Keener <[jkkeener@co.worcester.md.us](mailto:jkkeener@co.worcester.md.us)>; Joy Birch <[jbirch@co.worcester.md.us](mailto:jbirch@co.worcester.md.us)>; Kevin Lynch



DEPARTMENT OF  
ENVIRONMENTAL PROGRAMS

**Worcester County**

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1306  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS  
STORMWATER MANAGEMENT  
SEDIMENT AND EROSION CONTROL  
SHORELINE CONSTRUCTION  
AGRICULTURAL PRESERVATION  
ADVISORY BOARD

WELL & SEPTIC  
WATER & SEWER PLANNING  
PLUMBING & GAS  
CRITICAL AREAS  
FOREST CONSERVATION  
COMMUNITY HYGIENE

## MEMORANDUM

DATE: 10/3/2024

TO: Applicant

FROM: Brian Soper, Natural Resources Administrator

SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

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Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Brian Soper, at (410) 632-1220, ext. 1147.



GENERAL NOTES

- 1. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE TO LOCATE UTILITIES OUTSIDE THE RIGHT-OF-WAY INCLUDING PRIVATE ROADS.
- 2. SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING ALL MATERIALS, TOOLS AND EQUIPMENT, INCLUDING SPECIAL CUTTING DEVICES, NECESSARY TO PERFORM THE WORK CONTAINED IN THIS CONTRACT.
- 4. THE SIZES AND MATERIAL OF CONSTRUCTION OF STORM SEWERS ARE REPUTED. THE CONTRACTOR SHALL VERIFY SIZES OF ALL UTILITIES WHERE CONNECTIONS TO SAID EXISTING UTILITIES ARE REQUIRED. EXCAVATION TO VERIFY THESE UTILITIES SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- 5. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE AMENITIES NOT DESIGNATED FOR REMOVAL.
- 6. UNLESS OTHERWISE INDICATED ON THE PLANS OR DIRECTED BY THE ARCHITECT/ENGINEER, THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING FROM DAMAGE ALL TREES, SHRUBS AND PLANTS IN THE VICINITY OF THE PROPOSED WORK.
- 7. THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
- 8. ANY SITE AMENITY, UTILITY, STREET APPURTENANCE, OR OTHER ITEM WHICH BECOMES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED IN-KIND BY THE CONTRACTOR AS DETERMINED BY THE PROJECT MANAGER OR ARCHITECT/ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.

SURVEY NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS.
- 2. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY MARKERS AND RIGHT-OF-WAY MARKERS IN THE AREA OF CONSTRUCTION.
- 3. ANY IRON PINS, MONUMENTS OR OTHER ITEMS DEFINING PROPERTY LINES WHICH ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE PROPERLY TIED AND ACCURATELY RESET BY A MARYLAND STATE LICENSED SURVEYOR UPON COMPLETION OF THE WORK.
- 4. HORIZONTAL DATUM BASED OFF NAD83-MARYLAND STATE PLANE COORDINATE SYSTEM.
- 5. ELEVATIONS BASED ON NGVD'88 DATUM US FT.
- 6. PARCEL LINES AND TOPOGRAPHY AS SURVEYED BY JONES CONSULTANTS, DATED JUNE 2025.

DEMOLITION NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL TO NOTIFY DIG SAFELY MARYLAND AT 811 TO REQUEST UTILITY STAKEOUT OF ALL PUBLIC UTILITIES.
- 3. THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND UTILITIES, STRUCTURES, AND APPURTENANCES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, STRUCTURES, AND APPURTENANCES IN THE PATH OF AND ADJACENT TO THE PROPOSED WORK.
- 4. SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 5. CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
- 6. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNMENT, LOCAL FIRE DEPARTMENT AND THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) AS NECESSARY AND SHALL OBTAIN ANY REQUIRED PERMITS PRIOR TO BEGINNING WORK. COPIES OF ANY REQUIRED PERMITS SHALL BE PROVIDED TO THE OWNER PRIOR TO BEGINNING THE WORK.
- 7. CONTRACTOR SHALL REMOVE FROM SITE, MATERIALS NOT INDICATED TO BE SALVAGED INCLUDING ALL DEBRIS. ALL REMOVED MATERIALS SHALL BECOME THE PROPERTY OF CONTRACTOR WHO SHALL LEGALLY DISPOSE OF SAME.
- 8. ALL TREES, SHRUBS AND PLANTS DESIGNATED TO REMAIN AND DISTURBED BY CONSTRUCTION OPERATIONS, SHALL BE REPLACED IN-KIND AS DIRECTED BY THE ARCHITECT/ENGINEER AND/OR OWNERS DESIGNATED REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- 9. THE CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR AND PEDESTRIAN ACCESS TO THE EXISTING BUILDINGS FOR THE DURATION OF THE CONTRACT.
- 10. WHEN EXISTING CONSTRUCTION WHICH IS TO REMAIN IS DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF CONTRACTORS WORK, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AT NO COST TO THE OWNER. ALL REPAIRS AND/OR REPLACEMENTS WILL BE SUBJECT TO OWNERS APPROVAL.
- 11. COORDINATE LOCATION OF TEMPORARY CONSTRUCTION FENCE AND TEMPORARY STONE STAGING AREA WITH OWNER.

SITE NOTES

- 1. WELL COMPACTED SUBGRADE SHALL BE UTILIZED UNDERNEATH CONSTRUCTION OF PAVEMENT AND CONCRETE BASES.
- 2. ALL STAKEOUT FOR THE PROPOSED SITE IMPROVEMENTS SHALL BE COMPLETED BY A MARYLAND LICENSED PROFESSIONAL LAND SURVEYOR.
- 3. IF ANY DISCREPANCIES ARE NOTED BETWEEN THESE CONSTRUCTION DOCUMENTS AND INFORMATION PROVIDED OR AN ERROR IS SUSPECT, IT SHALL BE IMMEDIATELY REPORTED TO THE CONSTRUCTION MANAGER AND LABELLA ASSOCIATES PROJECT MANAGER IN WRITING.
- 4. ANY PROOF-ROLLING OF EXPOSED SUBBASE BY A MINIMUM 10 TON SMOOTH DRUM ROLLER SHALL BE DONE UNDER THE GUIDANCE OF, AND OBSERVED BY, QUALIFIED ENGINEERING PERSONNEL PRIOR TO PLACEMENT OF SUBBASE MATERIAL. THE ROLLER SHOULD BE OPERATED IN THE STATIC MODE AND COMPLETE AT LEAST TWO (2) PASSES OVER THE EXPOSED SUBGRADES.

GRADING NOTES

- 1. THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA, AND ANY OTHER AGENCY HAVING JURISDICTION WITH REGARD TO SAFETY PRECAUTIONS WITH TRENCHING OPERATIONS. THE REQUIREMENTS SET FORTH HEREIN ARE INTENDED TO SUPPLEMENT REQUIREMENTS ESTABLISHED BY THESE AGENCIES. IN THE CASE OF A CONFLICT BETWEEN REQUIREMENTS OF OTHER JURISDICTIONAL AGENCIES AND THESE DOCUMENTS, THE MORE STRINGENT REQUIREMENT ON THE CONTRACTOR SHALL APPLY.
- 2. SHEETING, IF REQUIRED DURING CONSTRUCTION, IS CONSIDERED TO BE PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- 3. ALL TRENCHES THROUGH PAVEMENT SHALL BE SAW CUT PRIOR TO EXCAVATION. EXPOSED EDGES OF PAVEMENT CUTS SHALL BE CLEANED AND CLEARED OF LOOSE OR DELETERIOUS MATERIAL TO PROVIDE A UNIFORM MATING SURFACE PRIOR TO RESTORATION.
- 4. VOIDS LEFT BY UTILITY OR STRUCTURE REMOVAL OR GRUBBING OPERATIONS SHALL BE BACKFILLED AND PROPERLY COMPACTED WITH STRUCTURAL FILL (MDOT ITEM #916.01 - MODIFIED BORROW MATERIAL) IN AREAS UNDER AND WITHIN 5 FEET HORIZONTALLY OF ALL STRUCTURES, BUILDINGS AND PAVEMENTS. IN GRASSED AREAS, VOIDS LEFT SHALL BE FILLED AND PROPERLY COMPACTED WITH SUITABLE ON-SITE OR IMPORTED EARTHEN BACKFILL. ALL DISTURBED AREAS SHALL BE RESTORED.
- 5. THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS TO PREVENT THE INTRODUCTION OF GROUNDWATER INTO THE TRENCHES/EXCAVATIONS. PROVIDE ALL EQUIPMENT NECESSARY TO MAINTAIN THE GROUNDWATER LEVEL AS NECESSARY.
- 6. THE CONTRACTOR SHALL PLACE AT MINIMUM 6 INCHES OF CLEANED SCREENED TOPSOIL IN ALL DISTURBED AREAS PRIOR TO SEEDING

EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND WORCESTER COUNTY GOVERNING SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS AND STANDARDS. CONTRACTOR SHALL SUBMIT PROPOSED EROSION CONTROL PLAN INCLUDING SEQUENCING OF WORK TO THE ENGINEER FOR REVIEW PRIOR TO START OF WORK.
- 2. UTILIZE CONSTRUCTION METHODS/TECHNIQUES, WHICH WILL LIMIT THE EXPOSED EARTHEN AREAS AND MINIMIZE THE EFFECT OF EARTH DISTURBANCE ACTIVITIES ON SOIL EROSION.
- 3. ALL SEDIMENTATION BARRIERS AND OTHER TEMPORARY OR PERMANENT MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION. PLANS SHOW THE SUGGESTED MINIMUM MEASURES REQUIRED.
- 4. REMOVAL OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE COMPLETED AT THE APPROVAL OF THE OWNER AND ENGINEER. THE COST OF REMOVING THESE MEASURES SHALL ALSO BE INCLUDED IN THE BID PRICE.
- 5. FOR THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL PROTECT ALL ON-SITE, ADJACENT AND/OR DOWNSTREAM STORM/SANITARY SEWERS, AND/OR OTHER WATER COURSES FROM CONTAMINATION BY WATER BORNE SILTS, SEDIMENTS, FUELS, SOLVENTS, LUBRICANTS OR OTHER POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
- 6. DURING CONSTRUCTION NO WET OR FRESH CONCRETE OR LEACHATE SHALL BE ALLOWED TO ESCAPE INTO STORM/SANITARY SEWERS, DITCHES OR OTHER WATERS OF STATE OF MARYLAND, NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER ANY STORM/SANITARY SEWERS, DITCHES, RIVERS, OR WATER COURSES.
- 7. ALL EXCAVATED OR IMPORTED EARTHEN STOCKPILES SHALL BE SUITABLY STABILIZED AND PROTECTED BY SILT FENCE SO THAT IT CANNOT REASONABLY ENTER ANY WATER BODY, OR STORM OR SANITARY SEWER.
- 8. ALL METHODS AND EQUIPMENT PROPOSED BY THE CONTRACTOR TO ACCOMPLISH THE WORK FOR EROSION AND POLLUTION CONTROL SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER.
- 9. THE CONTRACTOR SHALL BE REQUIRED TO TREAT TRAVELED AREAS TO CONTROL DUST. WATER SHALL BE APPLIED TO SUCH TRAVELED AREAS AS THE ARCHITECT/ENGINEER OR OWNERS DESIGNATED REPRESENTATIVE MAY DESIGNATE. THE NUMBER OF APPLICATIONS AND THE AMOUNT OF WATER SHALL BE BASED UPON FIELD AND WEATHER CONDITIONS.
- 10. ALL AREAS OF SOIL DISTURBANCE RESULTING FROM THIS PROJECT WHICH WILL NOT BE SUBJECT TO FURTHER EARTHWORK OR CONSTRUCTION ACTIVITIES SHALL BE PERMANENTLY SEEDED TO ESTABLISH GRASS, AND MULCHED WITH HAY OR STRAW WITHIN ONE WEEK OF FINAL DISTURBANCE. MULCH SHALL BE MAINTAINED UNTIL A SUITABLE VEGETATIVE COVER IS ESTABLISHED.
- 11. CONTRACTOR STAGING AREAS AND CONSTRUCTION ENTRANCE LOCATIONS SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. STABILIZED CONSTRUCTION ENTRANCE(S), AS SHOWN ON THE PLANS SHALL BE PROVIDED. ALL DISTURBED AREAS SHALL BE RESTORED.
- 12. ALL CATCH BASINS/DRAINAGE INLETS SHALL HAVE STONED INLET PROTECTION AROUND THEM AND GEOTEXTILE FABRIC OVER THE GRATE TO PREVENT SEDIMENTATION FROM ENTERING THE STORM SYSTEM.
- 13. TILL ALL COMPACTED SOILS LOCATED IN LAWN AREAS TO RESTORE THE ORIGINAL PROPERTIES OF THE SOIL PRIOR TO SEEDING.
- 14. STABILIZE DENUDED AREAS AND STOCKPILES WITHIN 7 DAYS OF LAST CONSTRUCTION ACTIVITY IN EACH AREA.

FOREST CONSERVATION EXEMPTION

IN ACCORDANCE WITH HOUSE BILL 723, AS OF JULY, 1 2024, SOLAR PHOTOVOLTAIC FACILITIES ARE EXEMPT FROM THE COUNTY'S FOREST CONSERVATION LAW PROVIDED THAT THERE IS NO CUTTING OR CLEARING OF FOREST, AND PROVIDED THAT ALL FORESTED AREA CUT OR CLEARED IS REPLACED AT A RATIO OF ONE ACRE PLANTED FOR EACH ACRE REMOVED, OR, IS REPLACED AT A RATIO OF ONE HALF ACRE PLANTED FOR EACH ONE ACRE REMOVED IN A PRIORITY FUNDING AREA. FURTHERMORE, ANY FUTURE APPROVAL OF THIS LAND FOR A REGULATED ACTIVITY SHALL BE SUBJECT TO THE COUNTY'S FOREST CONSERVATION LAW.

NOT FOR  
CONSTRUCTION

CIVIL SITE DESIGN      NOVEMBER 5, 2025

DRAWING TITLE

GENERAL NOTES

REVISION

DRAWING NO.

1  
C001

APPROVED BY:

JJP

CHECKED BY:

JJP

DESIGNED BY:

EBP & ELS

REV.

DESCRIPTION

DATE

PROJECT

CHABERTON SOLAR STILLPOND LLC  
3.10 MWdc / 2.00 MWac SINGLE AXIS TRACKER AT  
10046 PEERLESS ROAD,  
BISHOPVILLE, MD 21813  
38.403441°N, -75.214818°W

CONSULTANT



5100 BUCKEYSTOWN PIKE, STE 250  
FREDERICK, MD 21703

DEVELOPER



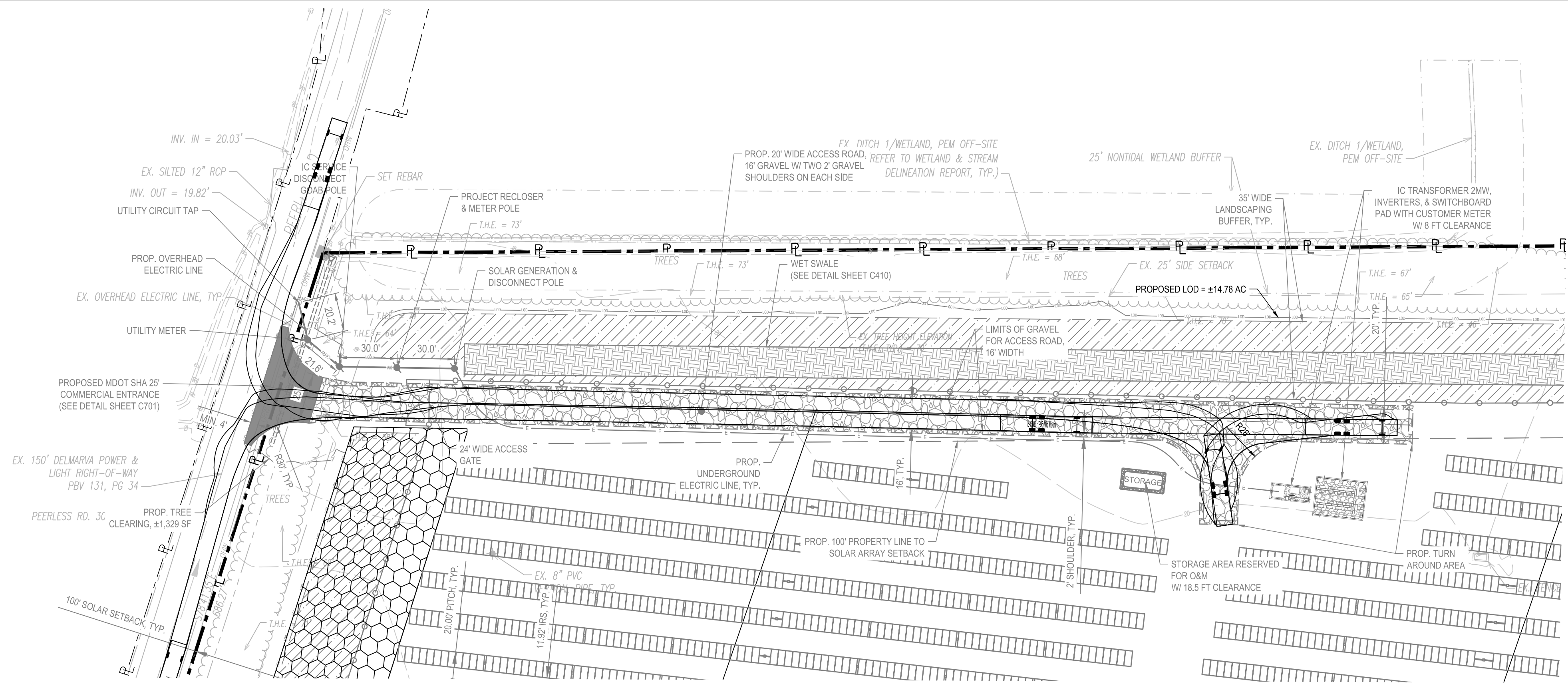
1700 ROCKVILLE PIKE, STE 305  
ROCKVILLE, MD 20852



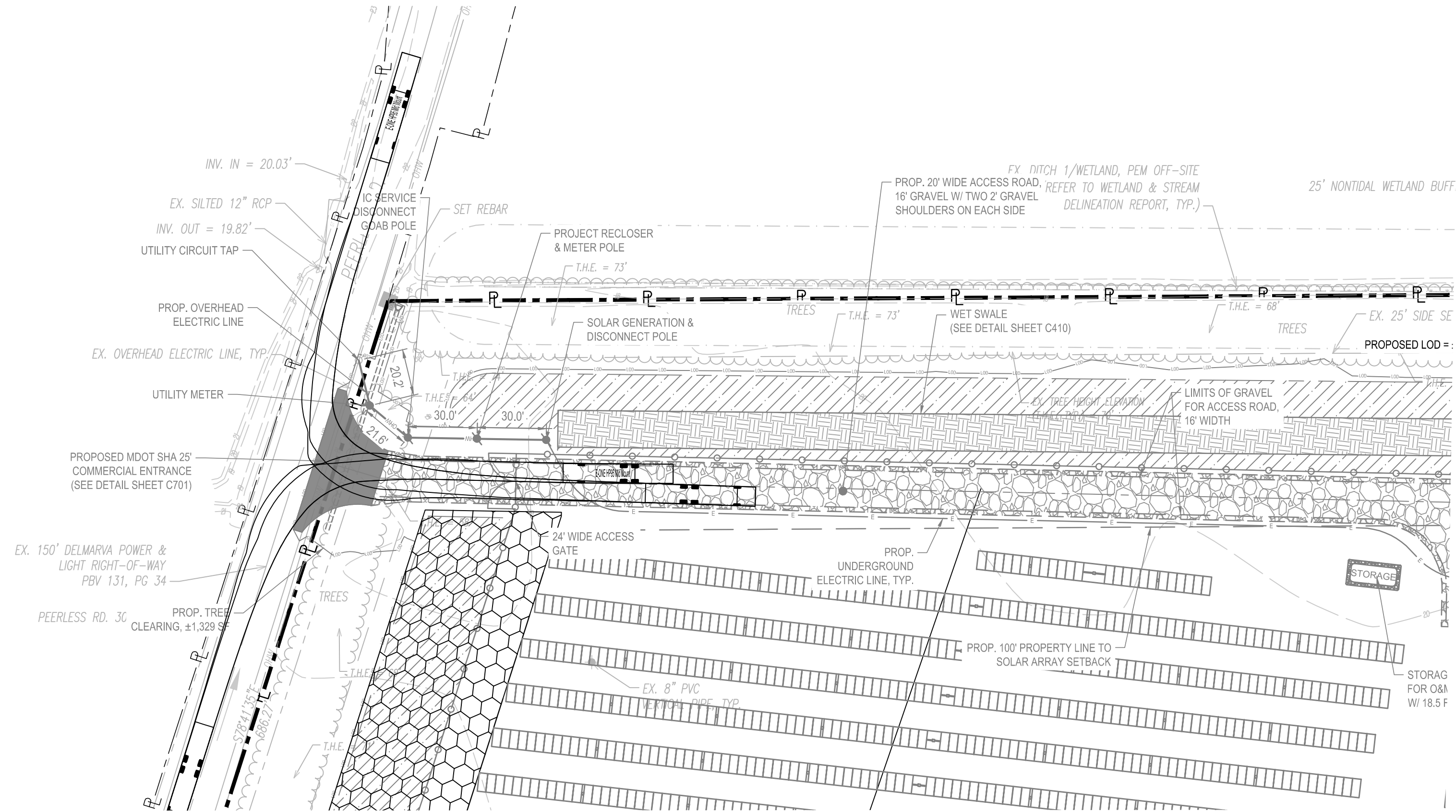


LAYER LEGEND

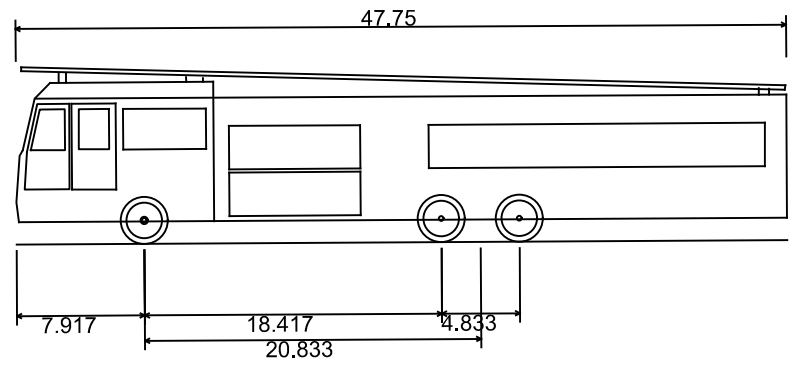
|                            |  |                  |
|----------------------------|--|------------------|
| PROP. UNDERGROUND ELECTRIC |  |                  |
| PROP. OVERHEAD ELECTRIC    |  |                  |
| EX. UNDERGROUND ELECTRIC   |  |                  |
| EX. OVERHEAD ELECTRIC      |  |                  |
| PROP. FENCE                |  |                  |
| PROPERTY LINE              |  |                  |
| SOLAR PV MODULES           |  | LANDSCAPE BUFFER |
| ROAD                       |  | WETLANDS         |
| CONCRETE                   |  | FLOODPLAINS      |
| WET SWALE                  |  | WATER            |



1 VEHICLE TRACKING - WEST INGRESS  
C204 SCALE: 1" = 40'



2 VEHICLE TRACKING - EAST INGRESS  
C204 SCALE: 1" = 40'



E-ONE HP95 Mid Mount  
Overall Length 47.750ft  
Overall Width 8.333ft  
Overall Body Height 11.000ft  
Min Body Ground Clearance 1.393ft  
Track Width 8.333ft  
Lock-to-lock time 6.00s  
Max Wheel Angle 45.00°

3 DESIGN VEHICLE - E-ONE HP95 MID MOUNT (FIRE TRUCK)  
C204 N.T.S.

NOT FOR  
CONSTRUCTION

CIVIL SITE DESIGN NOVEMBER 5, 2025

DRAWING TITLE  
SITE VEHICLE TRACKING

REVISION  
1  
DRAWING NO.  
C204

APPROVED BY:  
JJP  
CHECKED BY:  
JJP  
DESIGNED BY:  
EBP & ELS

| REV. | DESCRIPTION | DATE |
|------|-------------|------|
|      |             |      |
|      |             |      |
|      |             |      |

CONSULTANT  
**LaBella**  
Powered by partnership.  
5100 BUCKEYSTOWN PIKE, STE 250  
FREDERICK, MD 21703

DEVELOPER  
**chaberton**  
ENERGY  
1700 ROCKVILLE PIKE, STE 305  
ROCKVILLE, MD 20852

PROJECT  
CHABERTON SOLAR STILLPOND LLC  
3.10 MWdc / 2.00 MWac SINGLE AXIS TRACKER AT  
10046 PEERLESS ROAD,  
BISHOPVILLE, MD 21813  
38.403441°N, -75.214818°W



1 OVERALL AERIAL SITE PLAN  
C205 SCALE: 1" = 80'

| SYSTEM SUMMARY    |                                        |
|-------------------|----------------------------------------|
| DC SYSTEM SIZE    | 3,095.04 kWdc                          |
| AC SYSTEM SIZE    | 2,000.00 kWac                          |
| DC/AC RATIO       | 1.548                                  |
| MODULES           | Q.TRON XL-G2 620 (620Wp) OR EQUIV.     |
| MODULE QUANTITY   | 4,992                                  |
| INVERTERS         | CPS SCH 100/125KTL-DO-US-600 OR EQUIV. |
| INVERTER QUANTITY | 18                                     |
| AZIMUTH           | 180°                                   |
| TILT              | 0°                                     |
| RACKING           | SINGLE AXIS TRACKER                    |
| PITCH             | 20.00 FT                               |
| INTERROW SPACE    | 11.92 FT                               |

| LAYER LEGEND               |             |                  |
|----------------------------|-------------|------------------|
| PROP. UNDERGROUND ELECTRIC | E E         |                  |
| PROP. OVERHEAD ELECTRIC    | OHW OHW     |                  |
| EX. UNDERGROUND ELECTRIC   | UE UE UE    |                  |
| EX. OVERHEAD ELECTRIC      | OH OH       |                  |
| PROP. FENCE                | O O O O O O |                  |
| PROPERTY LINE              | P P P P P P |                  |
| SOLAR PV MODULES           |             | LANDSCAPE BUFFER |
| ROAD                       |             | WETLANDS         |
| CONCRETE                   |             | FLOODPLAINS      |
| WET SWALE                  |             | WATER            |

NOT FOR  
CONSTRUCTION

CIVIL SITE DESIGN NOVEMBER 5, 2025

DRAWING TITLE  
OVERALL AERIAL SITE PLAN

REVISION  
1

DRAWING NO.  
C205

APPROVED BY:  
JJP  
CHECKED BY:  
JJP  
DESIGNED BY:  
EBP & ELS

PROJECT  
CHABERTON SOLAR STILLPOND LLC  
3.10 MWdc / 2.00 MWac SINGLE AXIS TRACKER AT  
10046 PEERLESS ROAD,  
BISHOPVILLE, MD 21813  
38.403441°N, -75.214818°W

CONSULTANT  
 **LaBella**  
Powered by partnership.  
5100 BUCKEYSTOWN PIKE, STE 250  
FREDERICK, MD 21703

DEVELOPER  
  
1700 ROCKVILLE PIKE, STE 305  
ROCKVILLE, MD 20852

| REV. | DESCRIPTION | DATE |
|------|-------------|------|
|      |             |      |
|      |             |      |
|      |             |      |

## TECHNICAL REVIEW COMMITTEE

DATE OF MEETING: December 10, 2025

PROJECT: Bishopville Volunteer Fire Department

APPLICANT(S) IN ATTENDANCE:

\_\_\_\_\_

\_\_\_\_\_

TRC MEMBERS IN ATTENDANCE:

\_\_\_\_\_ Tremblay, Zoning Administrator  
\_\_\_\_\_ Zito, DRP Specialist III  
\_\_\_\_\_ Miller, Building Plans Reviewer III  
\_\_\_\_\_ Mitchell, Environmental Programs  
\_\_\_\_\_ White, Environmental Programs  
\_\_\_\_\_ Soper, Environmental Programs  
\_\_\_\_\_ Birch, Environmental Programs  
\_\_\_\_\_ Mathers, Environmental Programs  
\_\_\_\_\_ Owens, Fire Marshal  
\_\_\_\_\_ Korb, Deputy Fire Marshal  
\_\_\_\_\_ Lynch, County Roads  
\_\_\_\_\_ Berdan, County Roads  
\_\_\_\_\_ Wilson, State Highway Admin.  
\_\_\_\_\_ Fritts, State Highway Admin.  
\_\_\_\_\_ Beauchamp, W & WW, DPW  
\_\_\_\_\_ Knight, Planning Commission Rep.

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DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
BOARD OF LICENSE
COMMISSIONERS

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

December 10, 2025

Project: Bishopville Volunteer Fire Department – Major Site Plan Review

Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces. Located at 10709 Bishopville Road, Bishopville, MD 21813. Tax Map 9, Parcel 214 & 216, Tax District 5, V-1 Village District, Bishopville Volunteer Fire Department, Inc., owner / Davis, Bowen, & Friedel, Inc., surveyor/engineer.

Prepared by: Ben Zito, DRP Specialist

Contact: bmzito@worcestermd.gov or (410) 632-1200, extension 1134

Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete building permit application along with the initial fee of \$350 made payable to "Worcester County."
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan) and building elevations (front, rear and sides). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.

3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Project Specific Comments: This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

§ZS1-204	V-1 Village District
§ZS1-305	Lot Requirements Generally
§ZS1-306	Access to Structures
§ZS1-319	Access and Traffic Circulation Requirements
§ZS1-320	Off-Street Parking Areas
§ZS1-321	Off-Street Loading Spaces
§ZS1-322	Landscaping and Buffering Requirements
§ZS1-323	Exterior Lighting
§ZS1-324	Signs
§ZS1-325	Site Plan Review
§ZS1-326	Classification of Highways

*The proposed project is also subject to the *Design Guidelines and Standards for Commercial Uses* as revised and adopted on January 17, 2017. Under Section 2 of the Design Guidelines, the Planning Commission is able to grant a waiver to the requirements contained within, as long as the applicant can meet the provisions described. Please keep in mind that if a similar standard is listed in the Zoning Code and does not allow for a waiver, that standard cannot be waived. "These guidelines and standards apply to all projects other than multi-family and townhouse development which are subject to site plan review under ZS1-325 of the Zoning and Subdivision Control Article and which cumulatively total ten thousand square feet in gross floor area or more."

1. Please provide a \$100 site plan review fee for the Fire Marshal's office.
2. Please add the latest revision date to the plans.
3. Please clarify if a boundary line abandonment is proposed. If not, a declaration of consolidation for parcels 214 and 216 will need to be recorded in the Land Records, as a parking lot is not a permitted principal use in the V-1 District.
4. Demolition permits will be required prior to any buildings being demolished.
5. Please provide colored building elevations for the Planning Commission review.

6. Sheet C001: Please revise the required number of bicycle spaces for “Fire Stations with Voluntary Staff” to zero (0), as none are required.
7. Sheet C001: Please provide one (1) bicycle rack, as “Public Buildings” require one (1) bicycle rack, and a bike rack is shown on Sheet C101. Please add a typical detail of the bike rack to Sheet C201.
8. Sheet C002: Please add the setbacks in the legend.
9. Sheet C101: Please clarify if the monument sign along Bishopville Road will remain.
10. Sheet C101: Please provide additional details regarding the 40’ x 40’ fire tank. A separate building permit application will be needed for this.
11. Sheet C101: Please provide a crosswalk from the ADA parking spaces to the 4’ wide concrete sidewalk.
12. Sheet C101: The shed near the fire tank will need to be moved, as it is within the setback. Or, if it is to be removed, please label accordingly.
13. Sheet C101: Please add the Road Centerline.
14. Sheet C001 and C101: Please clarify if 47 or 51 parking spaces are proposed.
15. Sheet C001 and C101: Please clarify the material for the proposed pavement. All parking areas and vehicular travelways shall be constructed of materials that provide a hard and durable surface that precludes or limits particulate air pollution. Concrete, asphalt, tar and chip, brick, and interlocking paving blocks or stones, including those semi-pervious systems that retain space for vegetation, are acceptable paving materials. Other paving materials and systems, including gravel, stone, stone dust and crushed oyster or clam shells may be permitted by the Planning Commission where these parking areas are supplied and maintained with a binding agent to stabilize the surface and prevent dust. All parking spaces and associated vehicular travelways provided above the minimum parking requirements established herein shall be constructed with a pervious paving system with not less than a twelve-percent void rate as certified by a licensed design professional and approved by the Department. §ZS1-320(f)(1). <https://ecode360.com/14021049>.
16. Sheet C101: Parking bumpers or wheelstops shall be at least five inches high and five inches wide, located no less than eighteen inches from the head of the parking space and attached to the parking lot surface. Where parking spaces abut sidewalks, pathways, walls or fences, landscaped areas or public rights-of-way, parking bumpers, wheel stops or curbing shall be located not less than three feet from these features to prevent vehicles from obstructing areas of pedestrian travel or damaging landscaping or structures. §ZS1-320(f)(5). <https://ecode360.com/14021053>.
17. Sheet C101: Please clarify if any off-street loading spaces will be needed. Any commercial, industrial, business or other use requiring the receipt or distribution of materials or merchandise by tractor and trailer vehicles during normal business hours shall be provided with off-street loading space(s). §ZS1-321. <https://ecode360.com/14021074>.
18. Sheet L101: Please clarify if the proposed lights are full-cutoff light fixtures, and please provide a typical detail. All exterior light fixtures, other than fixtures on the building facade, emitting two thousand fifty lumens or more shall be full-cutoff light fixtures. Such

light fixtures are those designed such that no light is projected at or above a ninety-degree plane running through the lowest point of the fixture where the light is emitted and less than ten percent of the rated lumens are projected between ninety and eighty degrees. §ZS1-323(b)(3). <https://ecode360.com/14021148>

19. Sheet L101: Please clarify if the 25' high pole mounted lights are non-continuously energized. The maximum heights for freestanding pole-mounted fixtures shall be sixteen feet or less and thirty-five feet or less above grade for continuously energized and non-continuously energized lights respectively. If a raised foundation is required in parking areas to protect the poles from automobile front bumpers, the raised foundation and pole may not exceed heights of eighteen and thirty-seven feet respectively. Any lighting used to illuminate any vehicular travelways or off-street parking areas, including any commercial parking lot, shall be arranged so as to direct the light away from adjoining lots and public rights-of-way and shall not obstruct vehicular travelways, parking spaces or pedestrian walkways. Freestanding pole-mounted fixtures may be located within parking spaces, provided that they are positioned at the shared corners formed by the head and side lines of no less than two parking spaces. §ZS1-323(b)(4). <https://ecode360.com/14021149>.
20. Sheet L101: Please remove any species in the Landscape Plant Schedule that are not proposed on the site plan.
21. Sheet L101: Please clarify the single tree on parcel 216 near the corner of Bishopville Road and Bank Street. Is this existing or proposed?
22. Sheet L101: Each landscaped area must be readily accessible to a water supply. Unless xeriscaping plant material and technologies are employed, all landscaped areas shall provide an automatic irrigation systems with rain sensors. Drip irrigation systems are preferred. If an automatic system is not feasible, the Planning Commission at its discretion may approve an alternate watering system to maintain the plant material. §ZS1-322(b)(7). <https://ecode360.com/14021089>.
23. A maintenance and replacement bond for required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate for a nursery will be required to be provided at permit stage to accurately determine the bond amount. §ZS1-322(g). <https://ecode360.com/14021139>

Other Agency Approvals:

1. Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs prior to the Department granting signature approval.
2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all

parcels shall be provided to the Department prior to granting signature approval.

***Please provide a detailed listing of all site plan changes along with any resubmission.**

NEXT STEPS: For a Major Site Plan, please address all comments provided by the TRC and resubmit any changes as needed for the Planning Commission. If approved by the Planning Commission, final approval of the site plan will not be granted until all comments provided to the applicant by the TRC have been addressed on the site plan and any associated documents. Once the site plan and other documents have been adjusted, it will need to be resubmitted to the TRC for ‘final signature approval’ before building/zoning permits will be issued.

The approval of the site plan or the installation of the improvements as required in this Title shall in no case serve to bind the County to accept such improvements for maintenance, repair or operation thereof. Acceptance of improvements shall be subject to applicable County or state regulations.

No public easement, right-of-way or public improvement shall be accepted for dedication unless approved by the County Commissioners. Such approval shall not be given by the County Commissioners until any such easement, right-of-way or improvement complies with all the requirements set forth by the approving body, including such other requirements that the approving body might impose for public utilities, streets, roads, drainage, etc. All improvements accepted for dedication shall be depicted on an instrument to be recorded in the land records of Worcester County.

FW: 12/10/25 TRC - Roads comments

From Tony Fascelli <tfascelli@worcestermd.gov>

Date Wed 12/3/2025 9:28 AM

To Benjamin M. Zito <bmzito@worcestermd.gov>; Kristen Tremblay <ktremblay@worcestermd.gov>

Cc Kevin Lynch <klynch@worcestermd.gov>

Ben/Kristen,

I didn't want you guys to be missing any comments for TRC so I am forwarding these up. If you need something more formal please let me know.

Thanks,

Tony Fascelli

From: Kevin Lynch <klynch@worcestermd.gov>

Sent: Tuesday, December 2, 2025 9:39 AM

To: Tony Fascelli <tfascelli@worcestermd.gov>

Subject: 12/10/25 TRC - Roads comments

Chaberton Solar Stillpond LLC - Change site plan to show Worcester County Commercial entrance detail, will also need to obtain a commercial entrance bond with the Road's Division

Bishopville Volunteer FD - No comments at this time

RLG - No comments at this time, using existing commercial entrance and is in good condition


Kevin A. Lynch
Superintendent
Worcester County Department Of Public Works
Roads Division
5764 Worcester Hwy
Snow Hill, MD 21863
O: (410) 632-2244, ext. 2104
C: 443-783-9731
F: 410-632-0020





Worcester County
Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee
From: Joy S. Birch, Natural Resources Planner III 
Subject: December 10, 2025, Technical Review Committee Meeting
Date: December 2, 2025

Bishopville Volunteer Fire Department – Major Site Plan Review

Proposed site development for Bishopville Volunteer Fire Department. Development includes proposed 12,518 square foot building and parking spaces. Located at 10709 Bishopville Road, Tax Map 9, Parcels 214 & 216, Tax District 5, V-1 Village District.

Critical Area: This project is located in the Atlantic Coastal Bays Critical Area (ACBCA) program boundary designated Intensely Developed Area (IDA) and is Non-Waterfront. Please see following comments:

1. Provide us with a Critical Area Report as defined within NR 3-109(d)(2).
2. Provide documents that the site will meet the 10% pollution reduction requirements. The Department can provide you with a copy of the worksheet if needed.
3. Illustrate and/or provide documentation that the 15% afforestation requirement will be accomplished.
4. Please add the Atlantic Coastal Bays Critical Area note on all pages to read:

Worcester County Atlantic Coastal Bays Critical Area Law: *This property lies within the Worcester County Atlantic Coastal Bays Critical Area. Any and all proposed development activities must meet the requirements of Code Section NR3.1*

Citizens and Government Working Together

Worcester county Critical Area Law of the Worcester County Code of Public Local Laws, as from time to time amended, in effect at the time of the proposed development activities.

5. This project meets the requirement for the Maryland Critical Area Commission Project Notification parameters, therefore provide additional copies of the plan, Critical Area Report, 10% rule compliance details, and all other pertinent documents when submitted, will be forwarded to Commission Staff for review and comment.
6. Please provide a Critical Area Review Fee of \$250.00 for the Major Site Plan.

Stormwater Management & Erosion and Sediment Control:

Stormwater Management & Erosion and Sediment Control:

This project has received Concept Plan Approval.

General Provisions:

- All Erosion and Sediment controls should comply with the 2011 Maryland Standards and Specifications for Erosion and Sediment Control.
- All Stormwater Management practices shall be designed to meet the requirements of the 2007 Maryland Stormwater Management Act.
- All projects over one (1) acre shall be required to file for a General Permit / Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

cc: File;
Ben Zito, DRP (via email)
Brian Soper, NR Administrator (via email).



Worcester County
Department of Environmental Programs
Environmental Programs Division

Memorandum

To: Technical Review Committee (TRC) for a December 10, 2025 Meeting

From: Environmental Programs Staff

Subject: **Bishopville VFD, Major Site Plan Review**
Tax Map: 9, Parcel: 214 & 216

Date: December 5, 2025

Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. Environmental Programs requires a \$150 fee for any Technical Review Committee projects submitted on private water & sewer. This fee will need to be submitted prior to Signature Approval being given on this project.
2. Please locate all existing wells on the site plan.
3. Please add a flow chart to the site plan. The existing system was installed in 1990 with a design flow of 1,500 gallons per day maximum.
4. Commercial plumbing plans will need to be submitted for plan review with the building permit. The associated review fee is \$250. A plumbing permit will also need to be obtained for the interior work and a separate one for site utility work.
5. Plumbing Code is the 2021 International Plumbing Code (IPC) Illustrated (National). The Gas Code is the 2021 International Fuel Gas Code (IFGC), for natural gas.

Citizens and Government Working Together



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1302

SNOW HILL, MARYLAND 21863-1294

TEL: 410-632-5666

FAX: 410-632-5664

TECHNICAL REVIEW COMMITTEE COMMENTS

PROJECT: **Bishopville Volunteer Fire Department**

TRC #: **20250440**

LOCATION: **10709 Bishopville Road – Bishopville, Maryland 21813**

CONTACT: **Bishopville VFD**

MEETING DATE: **December 10, 2025**

COMMENTS BY: **Robert Korb, Jr.**

Chief Deputy Fire Marshal

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions, or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

Scope of Project:

Proposed site development for Bishopville Volunteer Fire Department including 12,518 square feet of building and parking spaces.

Specific Comments:

1. A complete set of building plans shall be submitted and approved prior to start of construction.
2. The building will require an automatic fire sprinkler system and fire alarm system installed throughout.
3. No further comments at this time.




Worcester County

Department of Environmental Programs
Natural Resources Division

Memorandum

To: Technical Review Committee

From: David Mathers, Natural Resources Planner IV 

Subject: Forest Conservation Review

Date: December 4, 2025

Date of Meeting: December 10, 2025

Project: Bishopville Volunteer Fire Department

Location: 10709 Bishopville Road, Tax Map: 9, Parcel: 214 & 216

Owner/Developer: Bishopville Volunteer Fire, Inc.

Surveyor/Engineer: Davis, Bowen & Friedel, Inc.

This project is not required to comply with the Worcester County Forest Conservation Law. This request is located within the landward limits of the Atlantic Coastal Bays Critical Area and therefore exempt from the Forest Conservation Act. No comment.

Citizens and Government Working Together

RE: 10/8/25 TRC Transmittal - Bishopville Volunteer Fire Department

From Kelly Henry <khenry@worcestermd.gov>

Date Wed 9/17/2025 9:03 AM

To Benjamin M. Zito <bmzito@worcestermd.gov>

10709 Bishopville Road will remain as the address for the Bishopville Fire Department at this location –
TM 9, P 214



Kelly L. Henry
Technical Services Division Manager
Department of Development Review & Permitting
Worcester County Government Center
One West Market Street - Room 1201
Snow Hill, Maryland 21863

Phone: 410.632.1200 Extension 1130

Fax: 410.632.3008

Email: khenry@co.worcester.md.us - **NEW EMAIL: khenry@worcestermd.gov**

County Website: <https://www.co.worcester.md.us>

Please note Worcester County is transitioning to a new email address. My updated email is khenry@worcestermd.gov. Emails sent to my previous address, khenry@co.worcester.md.us, will still be received during this transition. Thank you.



From: Benjamin M. Zito <bmzito@worcestermd.gov>

Sent: Wednesday, September 17, 2025 8:17 AM

To: Kristen Tremblay <ktremblay@worcestermd.gov>; Brian M. Soper <bmsoper@worcestermd.gov>; Cathy Zirkle <czirkle@worcestermd.gov>; Chris Clasing <cclasing@worcestermd.gov>; Dallas Baker <dbaker@worcestermd.gov>; Dwilson12@sha.state.md.us; David M. Bradford <dbradford@worcestermd.gov>;

David Mathers <dmathers@worcestermd.gov>; Gary Serman <gserman@worcestermd.gov>; Gary R. Pusey <grpusey@worcestermd.gov>; jfritts@mdot.maryland.gov; Jennifer Keener <jkkeener@worcestermd.gov>; Jessica Wilson <jwilson@worcestermd.gov>; Joy Birch <jbirch@worcestermd.gov>; Kevin Lynch <klynch@worcestermd.gov>; Laurie Bew <lbew@worcestermd.gov>; Lisa Lawrence <llawrence@worcestermd.gov>; Mmknight@comcast.net; Matt Owens <mowens@worcestermd.gov>; Matthew Laick <mllaick@worcestermd.gov>; Paul Miller <pmiller@worcestermd.gov>; Robert Korb Jr. <rkorb@worcestermd.gov>; Robert Mitchell <bmitchell@worcestermd.gov>; Stuart White <swhite@worcestermd.gov>; Tony Fascelli <tfascelli@worcestermd.gov>; Kelly Henry <khenry@worcestermd.gov>

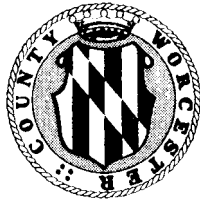
Subject: 10/8/25 TRC Transmittal - Bishopville Volunteer Fire Department

Good morning all,

Please see the attached transmittal and site plan for the Bishopville Volunteer Fire Department.

Thank you,

Ben Zito
DRP Specialist III
Dept. of Development, Review and Permitting
Worcester County Government
One West Market Street, Room 1201
Snow Hill, MD 21863
(410) 632-1200, ext. 1134
bmzito@worcestermd.gov



WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting
Worcester County Government Center
1 W. Market St., Room 1201
Snow Hill, Maryland 21863
410-632-1200, Ext. 1151
pmiller@co.worcester.md.us

Project: Bishopville Volunteer Fire Department

Date: 12/10/2025

Tax Map: 9 Parcel: 214 & 216 Section: _____ Lot: _____ Block: _____

STANDARD COMMENTS

1. Items listed in this review are not required for Technical Review Committee approval.
2. Provide complete code review. List type of construction, use groups, height and area, occupant loads, live, dead, and other structural loads.
3. Soils report required at the time of building permit application.
4. Compaction reports are due at all footings and slab inspections as well as any site work and structural fill.
5. Complete sealed architectural, structural, mechanical, plumbing, and electrical plans are required.
6. Provide information for wind, snow, and seismic loads.
7. Special inspections (Third party) required steel, concrete, masonry, wood, prepared fill, foundations, and structural observations. **These are required in addition to the required Worcester County inspections.**
8. Provide plan for the owner's special inspection program, list inspections and inspection agencies.
9. A Maryland Registered Architect must seal plans. This architect or architectural firm will be considered the architect of record.
10. A pre-construction meeting will be required before any work starts.
11. Provide complete accessibility code requirements and details.
12. List on construction documents all deferred submittals.
13. Truss and other shop drawings will be required prior to installation.
14. Architect / Engineer to provide verification construction is in accordance with approved plans and specifications prior to final inspection.
15. Provide your design professional with a copy of these comments.

SITE SPECIFIC COMMENTS

1. Current Codes: 2021 International Building Code
 2021 International Energy Conservation Code
 2021 International Mechanical Code
 2020 NEC
 Maryland Accessibility Code (MAC)
 2010 ADA Standards for Accessible Design
1. Complete sealed architectural, structural, mechanical, plumbing, and electrical plans are required.
2. Wind Design: 140 MPH Risk category IV; Exposure "C"
 Overhead garage doors to be rated for 140 MPH.
3. North wall: One hour rated per Table 705.5. Openings in wall per Table 705.8.
4. Fire rated assembly to extend to underside of roof.
5. Provide occupant load for mixed use building.
6. Provide an egress plan.
7. Mechanical ventilation
8. Automatic fire suppression system required
9. Egress doors to swing in direction of travel.
10. Provide an Energy Compliance Report and lighting plan.
11. Complete detailed air barrier design.
12. Building envelope performance verification by certified third party contractor.
13. Additional energy-efficiency credit requirements to be included with the submittal.
14. Walk-in cooler / freezer to comply with IECC, provide specifications with permit application submittal.

15. Provide all details and specifications per 2010 ADA design standards and MAC (Maryland Accessibility Code).

16. Provide an accessible route from the parking lot to the building entry.

17. An ADA drinking fountain (hi/low) may be required, based on occupant load.

Provide fire tank foundation, anchoring and tank specifications.

Provide Generator foundation, anchoring and specifications.

Provide foundation and anchoring for walk-in cooler / freezer.

If using existing foundation / slab: Verify frost depth

Detail any alterations to foundation / slab.

There is not enough information provided at this time to provide additional comments.

RE: 10/8/25 TRC Transmittal - Bishopville Volunteer Fire Department

From Tony Fascelli <tfascelli@worcestermd.gov>
Date Wed 9/17/2025 1:38 PM
To Benjamin M. Zito <bmzito@worcestermd.gov>
Cc Chris Clasing <cclasing@worcestermd.gov>

Ben,

I appreciate the opportunity to review but we have no water and sewer in the area so we have no comments on this one.

Thanks,

Tony Fascelli

From: Benjamin M. Zito <bmzito@worcestermd.gov>
Sent: Wednesday, September 17, 2025 8:17 AM
To: Kristen Tremblay <ktremblay@worcestermd.gov>; Brian M. Soper <bmsoper@worcestermd.gov>; Cathy Zirkle <czirkle@worcestermd.gov>; Chris Clasing <cclasing@worcestermd.gov>; Dallas Baker <dbaker@worcestermd.gov>; Dwilson12@sha.state.md.us; David M. Bradford <dbradford@worcestermd.gov>; David Mathers <dmathers@worcestermd.gov>; Gary Serman <gserman@worcestermd.gov>; Gary R. Pusey <grpusey@worcestermd.gov>; jfritts@mdot.maryland.gov; Jennifer Keener <jkkeener@worcestermd.gov>; Jessica Wilson <jwilson@worcestermd.gov>; Joy Birch <jbirch@worcestermd.gov>; Kevin Lynch <klynch@worcestermd.gov>; Laurie Bew <lbew@worcestermd.gov>; Lisa Lawrence <llawrence@worcestermd.gov>; Mmknight@comcast.net; Matt Owens <mowens@worcestermd.gov>; Matthew Laick <mlaick@worcestermd.gov>; Paul Miller <pmiller@worcestermd.gov>; Robert Korb Jr. <rkorb@worcestermd.gov>; Robert Mitchell <bmitchell@worcestermd.gov>; Stuart White <swhite@worcestermd.gov>; Tony Fascelli <tfascelli@worcestermd.gov>; Kelly Henry <khenry@worcestermd.gov>
Subject: 10/8/25 TRC Transmittal - Bishopville Volunteer Fire Department

Good morning all,

Please see the attached transmittal and site plan for the Bishopville Volunteer Fire Department.

Thank you,

Ben Zito
DRP Specialist III
Dept. of Development, Review and Permitting
Worcester County Government
One West Market Street, Room 1201
Snow Hill, MD 21863
(410) 632-1200, ext. 1134
bmzito@worcestermd.gov

RE: 11/12/25 TRC Transmittals and Materials

From Jeffrey Fritts <JFritts@mdot.maryland.gov>
Date Fri 10/17/2025 9:39 AM
To Benjamin M. Zito <bmzito@worcestermid.gov>

Ben,
For the following projects SHA has no comments, Racetrack Village, Bishopville Volunteer Fire Department, Coastal Community Church, KCJ Farms and Titan Yachts. These projects will have no negative impact to the state roadways.

Thanks,



Jeff Fritts
Access Management
Regional Engineer
410.677.4039 **office**
443.397.5063 **mobile**
Jfritts@mdot.maryland.gov
Maryland Department of Transportation
660 West Road, Salisbury, MD 21801

From: Benjamin M. Zito <bmzito@worcestermid.gov>
Sent: Tuesday, October 14, 2025 9:16 AM
To: Kristen Tremblay <ktremblay@worcestermid.gov>; Brian M. Soper <bmsoper@worcestermid.gov>; Cathy Zirkle <czirkle@worcestermid.gov>; Dallas Baker <dbaker@worcestermid.gov>; Daniel Wilson <DWilson12@mdot.maryland.gov>; David M. Bradford <dbradford@worcestermid.gov>; David Mathers <dmathers@worcestermid.gov>; Gary Serman <gserman@worcestermid.gov>; Gary R. Pusey <grpusey@worcestermid.gov>; Jeffrey Fritts <JFritts@mdot.maryland.gov>; Jennifer Keener <jkkeener@worcestermid.gov>; Joy Birch <jbirch@worcestermid.gov>; Kevin Lynch <klynch@worcestermid.gov>; Laurie Bew <lbew@worcestermid.gov>; Lisa Lawrence <llawrence@worcestermid.gov>; Mmknight@comcast.net; Matt Owens <mowens@worcestermid.gov>; Matthew Laick <mllaick@worcestermid.gov>; Paul Miller <pmiller@worcestermid.gov>; Robert Korb Jr. <rkorb@worcestermid.gov>; Robert Mitchell <bmmitchell@worcestermid.gov>; Stuart White <swhite@worcestermid.gov>; Tony Fascelli <tfascelli@worcestermid.gov>; Kelly Henry <khenry@worcestermid.gov>
Subject: 11/12/25 TRC Transmittals and Materials

Caution: CAUTION: Suspicious? Double-check! This email is from an external source. If something seems unusual, even from someone you know, verify directly. Forward suspicious emails directly to Email Abuse (abuse@mdot.maryland.gov) or call the MDOT Service Desk at 410-768-7181 for assistance.

All,



DEPARTMENT OF
ENVIRONMENTAL PROGRAMS

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS
FOREST CONSERVATION
COMMUNITY HYGIENE

MEMORANDUM

DATE: 10/3/2024

TO: Applicant

FROM: Brian Soper, Natural Resources Administrator

SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Brian Soper, at (410) 632-1220, ext. 1147.

BISHOPVILLE VFD

TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND
DBF # 4339A002
SEPTEMBER 2025

PRELIMINARY
CONSTRUCTION PLANS



INDEX OF SHEETS	
SHEET NUMBER	SHEET TITLE
C001	CIVIL TITLE
C002	CIVIL LEGEND
C051	DEMOLITION PLAN
C101	SITE PLAN
C201	SITE DETAILS
C301	GRADING PLAN
L101	LANDSCAPE & LIGHTING PLAN

ENGINEER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

JASON LOAR, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
601 E. MAIN STREET, SUITE 100
SALISBURY, MARYLAND, 21804

DATE

OWNER'S STATEMENT

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

BISHOPVILLE VOLUNTEER FIRE DEPARTMENT, INC.
PO BOX 350
BISHOPVILLE, MD 21813

DATE

APPROVED
WORCESTER COUNTY ENGINEER

NAME
AGREEMENT #

DATE

DAVIS
BOWEN &
FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
SALISBURY, MARYLAND
410.742.1441

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

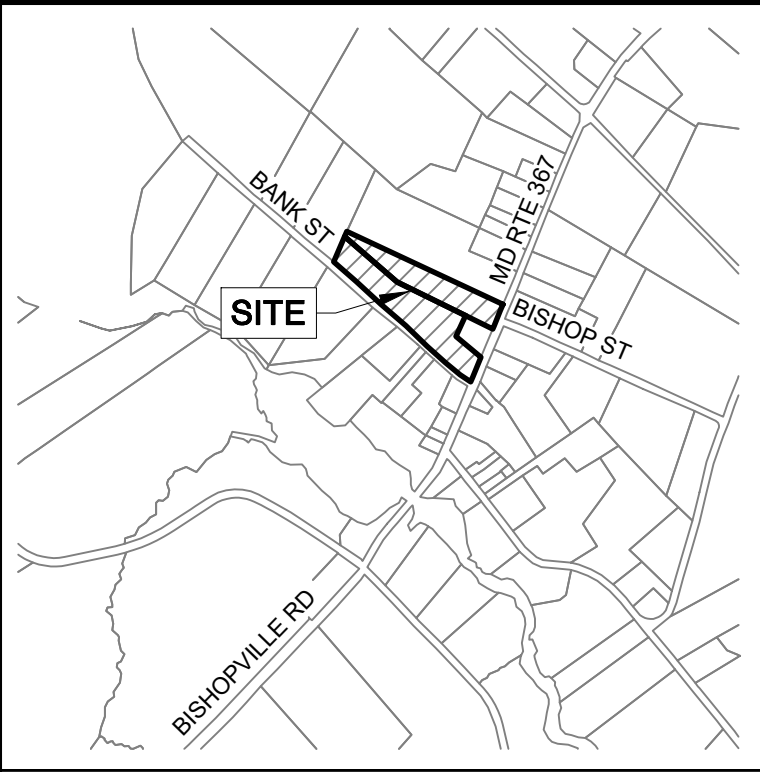
DATA COLUMN

1	TAX MAP ID	MAP: 9, GRID: 5, PARCEL: 214 & 216		TAX DISTRICT: 5	
	TAX ACCOUNT ID NO.	3806 & 3652			
	PREMISES ADDRESS	10709 BISHOPVILLE ROAD, BISHOPVILLE, MARYLAND, 21813			
2	APPROXIMATE PROJECT CENTER	<u>LATITUDE</u> 38°26'40.3228"	<u>LONGITUDE</u> -75°11'38.7570"		
3	<u>ENGINEER</u>	<u>OWNER</u> BISHOPVILLE VOLUNTEER FIRE DEPT., INC. PO BOX 350 BISHOPVILLE, MD 21813 <u>CONTACT NAME</u>			
4	DATUM	<u>HORIZONTAL</u> NAVD 83 (MD STATE PLANE)	<u>VERTICAL</u> NAVD 88		
5	ZONING	<u>EXISTING</u> V-1 (VILLAGE DISTRICT)	<u>PROPOSED</u> V-1 (VILLAGE DISTRICT)		
6	LAND USE	<u>EXISTING</u> FIRE STATION	<u>PROPOSED</u> FIRE STATION		
8	BUILDING CONSTRUCTION	<u>IBC</u> TYPE II	<u>NEPA</u> 220		
9	UTILITY PROVIDERS	<u>SEWER</u> PRIVATE	<u>WATER</u> PRIVATE	<u>GAS</u> PROVIDER NAME	<u>ELECTRIC</u> PROVIDER NAME
11	POSTED SPEED LIMIT	<u>BISHOPVILLE ROAD (SCR 367)</u> 30 MPH			
12	FLOODPLAIN	THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 24047C0030H, DATED JULY 16, 2015.			
16	WETLANDS	THE PROPERTY IS NOT IMPACTED BY STATE AND/OR FEDERALLY REGULATED WETLANDS.			

	REQUIRED	PROPOSED
FRONT SETBACK	25 FT	25 FT
SIDE SETBACK	8 FT	8 FT
REAR SETBACK	30 FT	30 FT
MAXIMUM BUILDING HEIGHT	NO FLAT-ROOFED PRINCIPAL STRUCTURE SHALL EXCEED A HEIGHT OF THIRTY-FIVE FEET. NO PITCHED-ROOFED PRINCIPAL STRUCTURE SHALL EXCEED A HEIGHT OF FORTY-FIVE FEET, AND NO FLAT- OR PITCHED-ROOFED PRINCIPAL STRUCTURE SHALL EXCEED FOUR STORIES. IN ADDITION, NO ACCESSORY STRUCTURE SHALL EXCEED EITHER TWO STORIES OR TWENTY-FIVE FEET IN HEIGHT.	35 FT
MINIMUM DISTANCE BETWEEN BUILDINGS		10 FT
OPEN SPACE		2.438 AC. (65%)

	EXISTING	PROPOSED
SITE AREA	164,425 SF. (3.775 AC.) (100%)	164,425 SF. (3.775 AC.) (100%)
WOODS	15,562 SF. (0.357 AC.) (10%)	15,562 SF. (0.357 AC.) (10%)
REMAINING OPEN SPACE	100,593 SF. (2.309 AC.) (61%)	82,849 SF. (1.902 AC.) (50%)
IMPERVIOUS COVER	48,270 SF. (1.108 AC.) (29%)	58,227 SF. (1.337 AC.) (35%)
SWM POND	0 SF. (0 AC) (0%)	7,787 SF. (0.179 AC.) (5%)
LIMIT OF DISTURBANCE		64,132 SF. (1.472 AC.)

22	PARKING	SPACES REQUIRED	MAXIMUM SPACES ALLOWED	BYCYCLE SPACES REQUIRED	SPACES PROVIDED
	FIRE STATIONS WITH VOLUNTARY STAFF	4 PER EACH PIECE OF APPARATUS = 28	6 PER EACH PIECE OF APPARATUS = 42	1 RACK FOR AT LEAST 5 BIKES	51
	PUBLIC BUILDINGS	1 PER EACH 400 SQUARE FEET OF PUBLIC FLOOR AREA, WITH A MINIMUM OF 10 SPACES = 3078 SF ÷ 400 = 8	1 PER EACH 200 SQUARE FEET OF PUBLIC FLOOR AREA, WITH A MINIMUM OF 10 SPACES = 3078 SF ÷ 200 = 16	1 RACK FOR AT LEAST 5 BIKES	



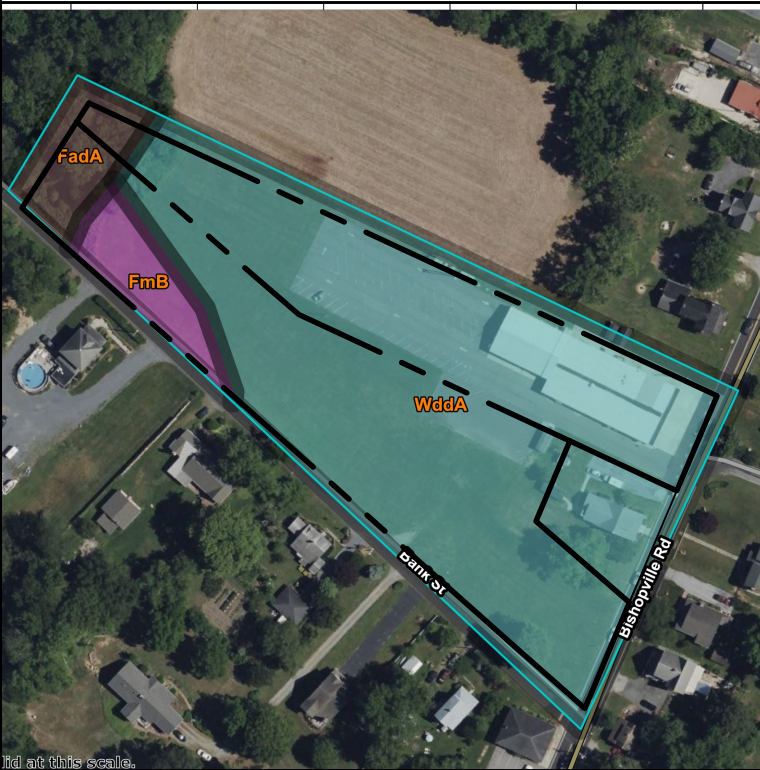
LOCATION MAP
1"=800'



FEMA FLOOD MAP
PANEL#: 24047C0030H (7/16/2015) 1"=500'



NW1 WETLAND MAP
1"=500'



SOILS MAP
1"=200'

SOILS DATA		
LABEL	SOIL NAME	TYPE
FsdA	FALLSINGTON SANDY LOAMS, 0-2% SLOPES, NORTHERN TIDEWATER AREA	B/D
FmB	FORT MOTT LOAMY SAND, 2-5% SLOPES	A
WddA	WOODSTOWN SANDY LOAM, 0-2% SLOPES, NORTHERN TIDEWATER AREA	C

1. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:
2. BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN & FRIEDEL, INC. JULY 10, 2025.
3. CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORM DRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF MARYLAND.
4. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.

1. ALL STORM DRAIN PIPING, INLET, MANHOLE, AND ENDSECTION INSTALLATION SHALL BE IN ACCORDANCE WITH DELDOT STANDARDS AND SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
2. ALL STORM DRAIN DESIGNATED AS RCP IS TO BE REINFORCED CONCRETE PIPE, MEETING ASTM DESIGNATION: C-76 REINFORCED CONCRETE CULVERT, STORM DRAIN AND SEWER PIPE. FOR PIPE CLASSIFICATION, SEE PIPE SCHEDULE.
3. ALL STORM DRAIN DESIGNATED AS HDPE IS TO BE HIGH DENSITY POLYETHYLENE PIPE, HDPE PIPE SHALL COMPLY WITH AASHTO M252, M294 MP1, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE PIPE SHALL HAVE WATER TIGHT CONNECTIONS
4. PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
5. ALL SEALS MUST BE WATER TIGHT AND CONCRETE STRUCTURES MUST BE PRECAST OR POURED IN PLACE.
6. CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
7. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
8. EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRILLPANE AREA OF ANY TREE.
9. IF THE APPROVED PLAN NEEDS TO BE MODIFIED DUE TO THE SITE CONDITION DURING CONSTRUCTION, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE WORCESTER CONSERVATION DISTRICT. ALL COSTS FOR THE ADDITIONAL MEASURES TO INCLUDE FLOCCULANTS SHALL BE AT THE SOLE COST OF THE CONTRACTOR.
10. IF LARGE AMOUNTS OF SEDIMENT HAVE ENTERED INTO THE STORM DRAIN SYSTEM, THE COUNTY ENGINEER, PROJECT ENGINEER OR WORCESTER CONSERVATION DISTRICT MAY REQUIRE THE PIPES BE FLUSHED AND VIDEO INSPECTED. ALL COSTS FOR THE PIPE FLUSHING AND VIDEO INSPECTION SHALL BE AT THE SOLE COST OF THE CONTRACTOR.

1. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
2. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO OBTAIN THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
3. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS. WARNING SIGNS AND ANY DANGER SIGNS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ALL NECESSARY WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL PREPARE AND MAINTAIN AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
5. MARYLAND REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

	BOUNDARY LINE
	PROPERTY LINE
	EASEMENT
	ROAD CENTERLINE / BASELINE & STATIONING
	CONTOUR ELEVATION AND LABEL
	CATCH BASIN
	STORM PIPE
	STORM MANHOLE
	SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
	SANITARY SEWER CLEANOUT
	WATER MAIN, W/ VALVES
	FIRE HYDRANT ASSEMBLY
	FORCE MAIN
	UTILITY POLE
	MAILBOX
	TELEPHONE
	SIGN
	FENCE STOCKADE
	FENCE CHAINLINK
	FENCE SPLIT RAIL
	SWALE
	ELEVATION
	HEDGEROW
	PAVEMENT
	TREE LINE
	UNDERGROUND GAS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SHRUB
	SOIL BORING LOCATION
	CURB
	GUARDRAIL - STEEL BEAM
	GUARDRAIL - WIRE ROPE
	TREE

	RIGHT-OF-WAY / BOUNDARY LINE
	PROPERTY LINE
	EASEMENT
	FORESTED BUFFER
	WETLANDS BUFFER
	STREAM BUFFER
	ROAD CENTERLINE / BASELINE & STATIONING
	CONTOUR ELEVATION AND LABEL
	DRAINAGE INLET
	STORM PIPE
	STORM MANHOLE
	MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
	SANITARY SEWER LATERAL
	FORCE MAIN
	WATER MAIN, TEE W/ VALVES, PIPE SIZE
	FIRE HYDRANT ASSEMBLY
	WATER LATERAL

	LOT IDENTIFICATION NUMBER
	SIGN
	SWALE
	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	SIDEWALK
	PAVERS
	IRON ROD WITH CAP SET
	CONCRETE MONUMENT SET
	RIP-RAP
	RAISED DOMES
	ALTERNATE IMPROVEMENTS
	TREE LINE
	GAS
	LIMIT OF DISTURBANCE
	LOD/SILT FENCE
	LOD/REINFORCED SILT FENCE
	LOD/SUPER SILT FENCE
	FLARED END SECTION
	UTILITY POWER POLE
	FLOW ARROW
	SOIL BORING LOCATION
	TAX DITCH RIGHT OF WAY
	WETLANDS BUFFER
	BENCHMARK
	FENCE STOCKADE
	FENCE CHAINLINK
	FENCE SPLIT RAIL
	TREE (DECIDUOUS)
	TREE (EVERGREEN)
	SHRUB
	RIPRAP
	CATCH BASIN
	OUTFALL STRUCTURE
	ADJUST BY CONTRACTOR
	RELOCATE BY CONTRACTOR
	REMOVE BY CONTRACTOR
	ADJUST BY OTHERS
	RELOCATE BY OTHERS
	REMOVE BY OTHERS
	CURB OPENING
	DND
	FLARED END
	JUNCTION BOX
	CONVERT TO JUNCTION BOX
	UNDERDRAIN
	CURB
	CURB RAMP
	BARRIER
	GUARD RAIL
	MONUMENT
	SILT FENCE

**DAVIS
BOWEN &
FRIEDEL, INC.**

ARCHITECTS • ENGINEERS • SURVEYORS

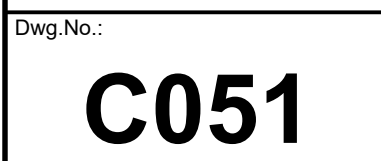
**EASTON, MARYLAND
410.770.4744**

**MILFORD, DELAWARE
302.424.1441**

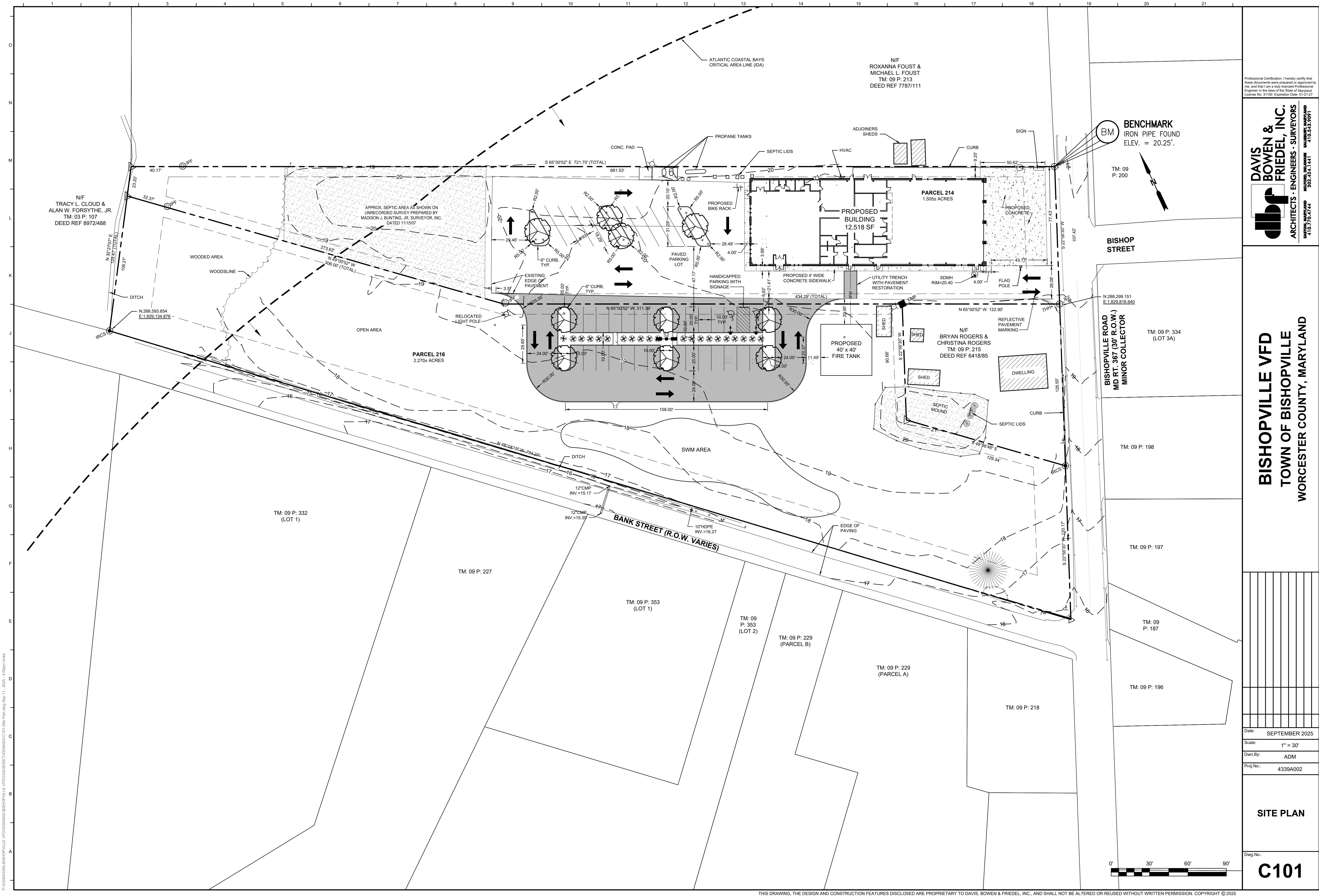
**SALISBURY, MARYLAND
410.343.7091**

BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

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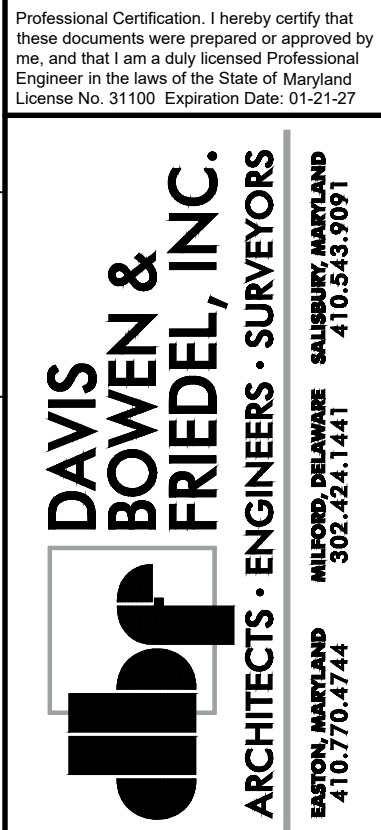
**BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND**

SITE PLAN

C101

Date: SEPTEMBER 2025
Scale: 1" = 30'
Dwn.By: ADM
Proj.No.: 4339A002

Dwg.No.:



BISHOPVILLE VFD
TOWN OF BISHOPVILLE
WORCESTER COUNTY, MARYLAND

[illegible]

**LANDSCAPE &
LIGHTING
PLAN**

Dwg.No.:

L101

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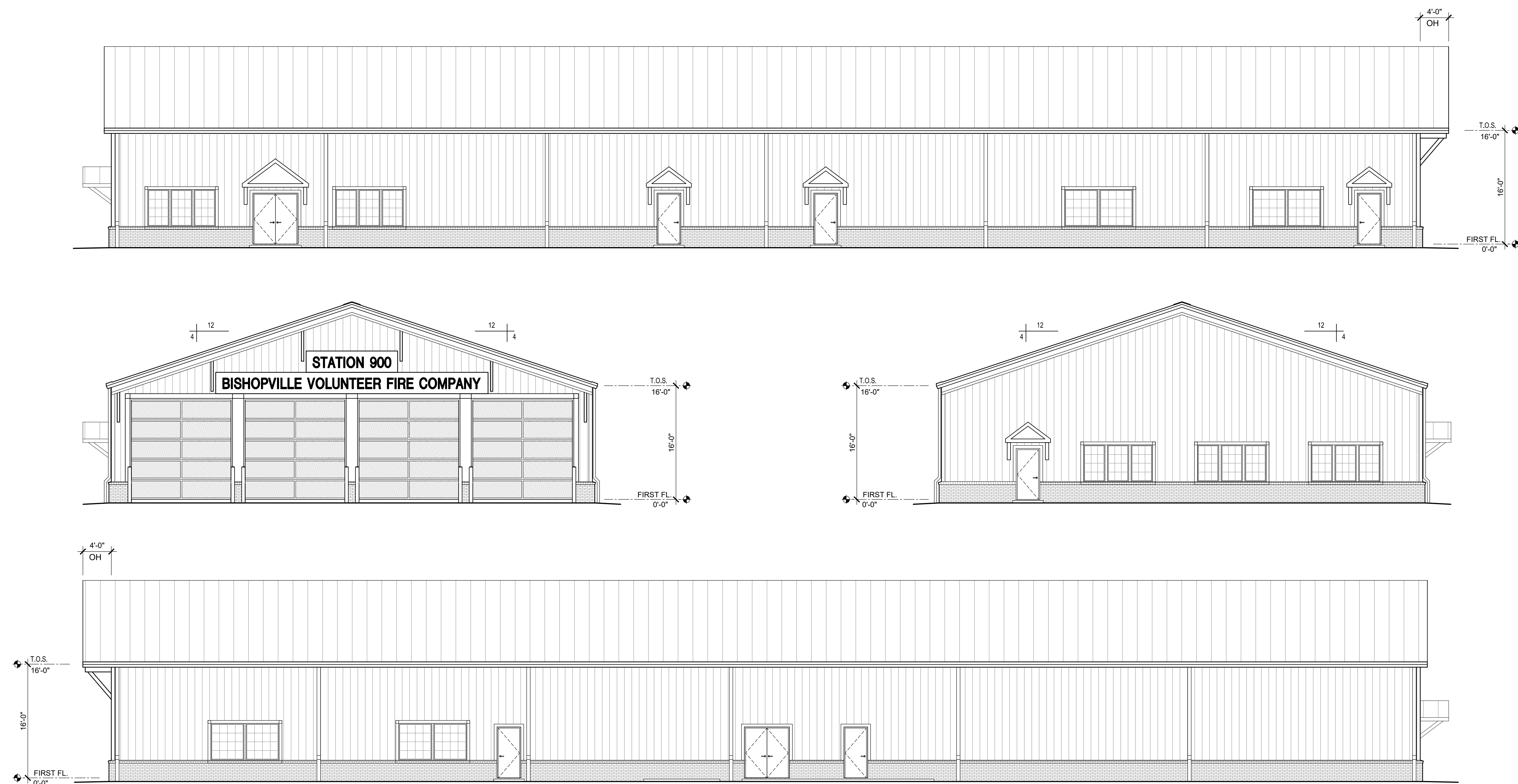
BISHOPVILLE VFD
MAIN STREET (RT. NO. 367)
BISHOPVILLE, MARYLAND 21811

[illegible]

Proj.No.:	4339A001.A0
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PROPOSED BUILDING ELEVATIONS

A-201



PROPOSED BUILDING ELEVATIONS

$$1/8'' = 1'-0''$$

TECHNICAL REVIEW COMMITTEE

DATE OF MEETING: December 10, 2025

PROJECT: RLG

APPLICANT(S) IN ATTENDANCE:

TRC MEMBERS IN ATTENDANCE:

____ Tremblay, Zoning Administrator
____ Zito, DRP Specialist III
____ Miller, Building Plans Reviewer III
____ Mitchell, Environmental Programs
____ White, Environmental Programs
____ Soper, Environmental Programs
____ Birch, Environmental Programs
____ Mathers, Environmental Programs
____ Owens, Fire Marshal
____ Korb, Deputy Fire Marshal
____ Lynch, County Roads
____ Berdan, County Roads
____ Wilson, State Highway Admin.
____ Fritts, State Highway Admin.
____ Beauchamp, W & WW, DPW
____ Knight, Planning Commission Rep.

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DEPARTMENT OF  
DEVELOPMENT REVIEW AND PERMITTING

## Worcester County

ZONING DIVISION  
BUILDING DIVISION  
BOARD OF LICENSE  
COMMISSIONERS

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1201  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1200 / FAX: 410.632.3008  
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION  
CUSTOMER SERVICE DIVISION  
TECHNICAL SERVICES DIVISION

### WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE MEETING

December 10, 2025

#### **Project: RLG – Major Site Plan Review**

Proposed construction of a new 13,600 sq. ft. boat construction building, create contractor storage and material laydown areas and construct the associated support infrastructure of roads, well, septic, drainage and stormwater management components. Located at 13053 Old Stage Road, on the westerly side of Old Stage Road, approximately 430 feet south of Hammond Road, Tax Map 9, Parcel 59, Tax District 05, I-1 Light Industrial District, RLG Properties, LLC, owner / Vista Design, Inc., engineer.

**Prepared by:** Ben Zito, DRP Specialist

**Contact:** [bmzito@worcestermid.gov](mailto:bmzito@worcestermid.gov) or (410) 632-1200, extension 1134

**Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.**

#### **General Requirements:**

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
  - a. A complete Building Permit Application along with the initial fee of \$350 made payable to "Worcester County."
  - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
  - c. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.

3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. **Please note that it is unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

**Project Specific Comments:** This project is subject to, but not limited to, the following sections of the Zoning and Subdivision Control Article:

|          |                                                                                |
|----------|--------------------------------------------------------------------------------|
| §ZS1-212 | I-1 Light Industrial District                                                  |
| §ZS1-305 | Lot Requirements Generally                                                     |
| §ZS1-306 | Access to Structures                                                           |
| §ZS1-319 | Access and Traffic Circulation Requirements                                    |
| §ZS1-320 | Off-Street Parking Areas                                                       |
| §ZS1-321 | Off Street Loading Spaces                                                      |
| §ZS1-322 | Landscaping and Buffering Requirements                                         |
| §ZS1-323 | Exterior Lighting                                                              |
| §ZS1-324 | Signs                                                                          |
| §ZS1-325 | Site Plan Review                                                               |
| §ZS1-326 | Classification of Highways                                                     |
| §ZS1-327 | Additional Setbacks from Drainage Ditches and Stormwater Management Facilities |

\*This project is also subject to the *Design Guidelines and Standards for Commercial Uses*.

1. According to §ZS 1-320(f)(1), all parking areas and vehicular travelways shall be constructed of materials that provide a hard and durable surface that precludes or limits particulate air pollution. This requirement may be requested to be waived by the Planning Commission.
2. The proposed height of the building is 46' 1." The maximum permitted height in the I-1 is 45.' The Board of Zoning Appeals, as a special exception, may authorize a structure of greater height. §ZS 1-212(e). <https://ecode360.com/14019958>.

**Other Agency Approvals:**

1. Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs prior to the Department granting signature approval.

2. Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.
3. Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.

**\*Please provide a detailed listing of all site plan changes along with any resubmission.**

**NEXT STEPS:** For a Major Site Plan, please address all comments provided by the TRC and resubmit any changes as needed for the Planning Commission. If approved by the Planning Commission, final approval of the site plan will not be granted until all comments provided to the applicant by the TRC have been addressed on the site plan and any associated documents. Once the site plan and other documents have been adjusted, it will need to be resubmitted to the TRC for ‘final signature approval’ before building/zoning permits will be issued.

The approval of the site plan or the installation of the improvements as required in this Title shall in no case serve to bind the County to accept such improvements for maintenance, repair or operation thereof. Acceptance of improvements shall be subject to applicable County or state regulations.

No public easement, right-of-way or public improvement shall be accepted for dedication unless approved by the County Commissioners. Such approval shall not be given by the County Commissioners until any such easement, right-of-way or improvement complies with all the requirements set forth by the approving body, including such other requirements that the approving body might impose for public utilities, streets, roads, drainage, etc. All improvements accepted for dedication shall be depicted on an instrument to be recorded in the land records of Worcester County.

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**FW: 12/10/25 TRC - Roads comments**

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**From** Tony Fascelli <tfascelli@worcestermd.gov>

**Date** Wed 12/3/2025 9:28 AM

**To** Benjamin M. Zito <bmzito@worcestermd.gov>; Kristen Tremblay <ktremblay@worcestermd.gov>

**Cc** Kevin Lynch <klynch@worcestermd.gov>

Ben/Kristen,

I didn't want you guys to be missing any comments for TRC so I am forwarding these up. If you need something more formal please let me know.

Thanks,

Tony Fascelli

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**From:** Kevin Lynch <klynch@worcestermd.gov>

**Sent:** Tuesday, December 2, 2025 9:39 AM

**To:** Tony Fascelli <tfascelli@worcestermd.gov>

**Subject:** 12/10/25 TRC - Roads comments

Chaberton Solar Stillpond LLC - Change site plan to show Worcester County Commercial entrance detail, will also need to obtain a commercial entrance bond with the Road's Division

Bishopville Volunteer FD - No comments at this time

RLG - No comments at this time, using existing commercial entrance and is in good condition

Kevin A. Lynch  
Superintendent  
Worcester County Department Of Public Works  
Roads Division  
5764 Worcester Hwy  
Snow Hill, MD 21863  
O: (410) 632-2244, ext. 2104  
C: 443-783-9731  
F: 410-632-0020





**Worcester County**  
Department of Environmental Programs  
Natural Resources Division

## Memorandum

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**To:** Worcester County Technical Review Committee

**From:** Joy S. Birch, Natural Resources Planner III (JB)

**Subject:** December 10, 2025 - Technical Review Committee Meeting

**Date:** November 26, 2025

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- **RLG – Major Site Plan Review**

Proposed construction of a new 13,600 sq. ft. boat construction building, create contractor storage and material laydown areas and construct the associated support infrastructure of roads, well, septic, drainage and stormwater management components. Located at 13053 Old Stage Road, Tax Map 9, Parcel 59, Tax District 05, I-1 Light Industrial District, RLG Property LLC, owner / Vista Design Inc., applicant/surveyor/engineer. This is located outside of the Atlantic Coastal and Chesapeake Bay Critical Area Program. **No Comment.**



**Worcester County**  
Department of Environmental Programs  
Environmental Programs Division

## Memorandum

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**To:** Technical Review Committee (TRC) for a December 10, 2025 Meeting

**From:** Environmental Programs Staff

**Subject:** RLG Major Site Plan Review – Tax Map: 9, Parcel: 59

**Date:** December 5, 2025

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Environmental Programs comments are based on the plans submitted. These comments are subject to change every time a change is made to the plans that affect water and/or sewage for this site.

1. A plumbing permit will be required. A septic permit for the tank which includes the force main will also need to be obtained. A state licensed septic contractor will need to perform the installation.
2. Regarding the nature of the manufacturing at this complex, the laydown areas of the course will not be assessed for flow, but the wastewater flows for the proposed new building will have to be considered when the current system fails.
3. Plumbing Code is the 2021 International Plumbing Code (IPC) Illustrated (National). The Gas Code is the 2021 International Fuel Gas Code (IFGC), for natural gas.

**Citizens and Government Working Together**



GOVERNMENT CENTER

ONE WEST MARKET STREET, ROOM 1302

SNOW HILL, MARYLAND 21863-1294

TEL: 410-632-5666

FAX: 410-632-5664

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## TECHNICAL REVIEW COMMITTEE COMMENTS

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PROJECT: **RLG**

TRC #: **2025493**

LOCATION: **13053 Old Stage Road – Bishopville, Maryland 21851**

CONTACT: **RLG Property LLC**

MEETING DATE: **December 10, 2025**

COMMENTS BY: **Robert Korb, Jr.**

**Chief Deputy Fire Marshal**

---

As you requested, this office has reviewed plans for the above project. Construction shall be in accordance with applicable Worcester County and State of Maryland fire codes. This review is based upon information contained in the submitted TRC plans only, and does not cover unsatisfactory conditions resulting from errors, omissions, or failure to clearly indicate conditions. A full plan review by this office is required prior to the issuance of a building permit. The following comments are noted from a fire protection and life safety standpoint.

### **Scope of Project:**

Proposed a new 13,600 sf boat construction building, contractor storage and material laydown areas.

### **Specific Comments:**

1. A complete set of building plans shall be submitted and approved prior to start of construction.
2. The building will be required to be protected throughout by an automatic fire sprinkler system.
3. The building will be required to be protected throughout by an automatic fire alarm system.
4. Check with the Worcester County Department of Emergency Services – Electronic Services Division - if an in-building two-way radio communication system (ERCES/DAS) will be required. 410-632-3080
5. No further comments at this time.




**Worcester County**  
Department of Environmental Programs  
Natural Resources Division

## Memorandum

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**To:** Technical Review Committee

**From:** David Mathers, Natural Resources Planner IV 

**Subject:** Forest Conservation & Stormwater Management Review

**Date:** December 4, 2025

**Date of Meeting:** December 10, 2025

**Project:** RLG

**Location:** 13053 Old Stage Road, Tax Map: 9, Parcel: 59

**Owner/Developer:** RLG Property, LLC

**Engineer:** Vista Design, Inc.

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**This project is not subject to the Worcester County Forest Conservation Law.** In accordance with Subtitle IV, Section 1-403(b)(15) of the Natural Resources Article of the Worcester County Code of Public Local Laws, a minor and major site plan is exempt from the County's Forest Conservation Law when the area of forested non-tidal wetland including any regulated buffer is greater than or equal to the reforestation and afforestation requirement as established in Section 1-408 herein and established in Section 1-410 herein. Any future approval of this land for a regulated activity shall be subject to the County's Forest Conservation Law.

**This project is subject to the Worcester County Stormwater Ordinance.** The project has obtained Stormwater Final Plan approval. The approved plans shall be submitted along with application for a SWM/SEC permit.

All projects over one acre shall be required to file for a General Permit/Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.



DEPARTMENT OF  
ENVIRONMENTAL PROGRAMS

**Worcester County**

GOVERNMENT CENTER  
ONE WEST MARKET STREET, ROOM 1306  
SNOW HILL, MARYLAND 21863  
TEL: 410.632.1220 / FAX: 410.632.2012

LAND PRESERVATION PROGRAMS  
STORMWATER MANAGEMENT  
SEDIMENT AND EROSION CONTROL  
SHORELINE CONSTRUCTION  
AGRICULTURAL PRESERVATION  
ADVISORY BOARD

WELL & SEPTIC  
WATER & SEWER PLANNING  
PLUMBING & GAS  
CRITICAL AREAS  
FOREST CONSERVATION  
COMMUNITY HYGIENE

## MEMORANDUM

DATE: January 1, 2024

TO: Applicant

FROM: David M. Bradford, Deputy Director

SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

---

Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Deputy Director, David Bradford, at (410) 632-1220, ext. 1143.

RLG Property, LLC - Bishopville Industrial Complex —TRC Meeting 12/10/2025

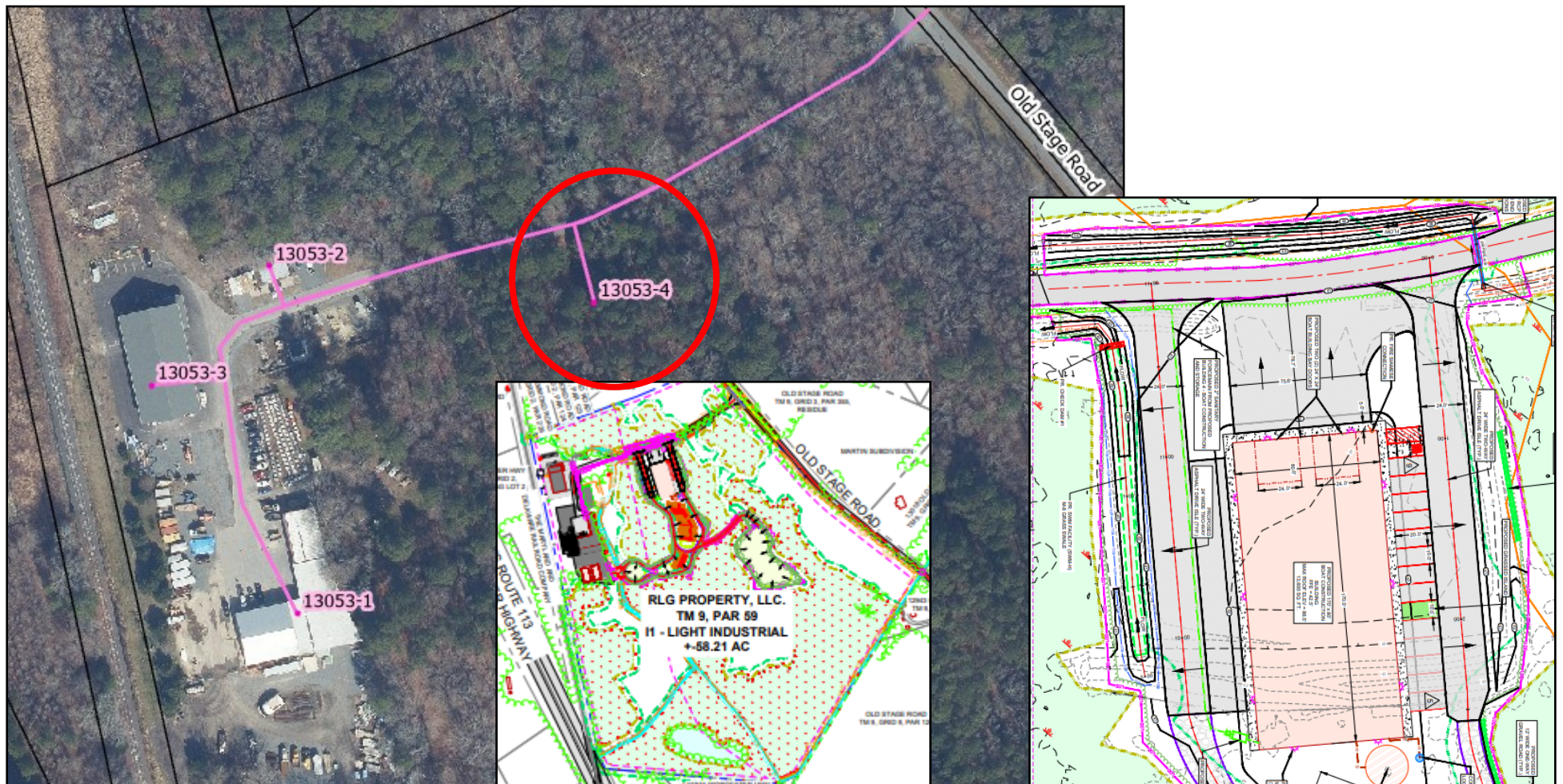
Confirmation of Address Assignment: Old Stage Road .....EVEN

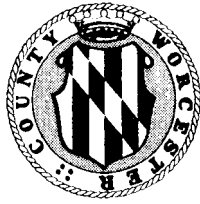
Account ID No. 24-05-003741 —Tax Map 9, Parcel 59

Emergency Services assigned 1 street no for this complex of industrial buildings—13053 Old Stage Road. Each building has been assigned a number. The proposed building will be No. 4. This is to confirm the address for this building will be 13053 Old Stage Road Building 4.

**Please post this address at the entrance along Peerless Road to be clearly visible in both directions by emergency personnel. In addition the Building No. should be posted on the front of the building to be in clear view by emergency personnel.**

DRP/TSD:KHenry11182025





## WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE

Department of Development Review & Permitting  
Worcester County Government Center  
1 W. Market St., Room 1201  
Snow Hill, Maryland 21863  
410-632-1200, Ext. 1151  
pmiller@co.worcester.md.us

\*\*\*\*\*

Project: Titan Yachts, 13053 Old Stage Road, Bishopville, Md.

Date: 12/10/2025

Tax Map: 9 Parcel: 59 Section: Lot:

### STANDARD COMMENTS

1. Items listed in this review are not required for Technical Review Committee approval.
2. Provide complete code review. List type of construction, use groups, height and area, occupant loads, live, dead, and other structural loads.
3. Soils report required at time of building permit application.
4. Compaction reports are due at all footings and slab inspections as well as any site work and structural fill.
5. Complete sealed architectural, structural, mechanical, plumbing, and electrical plans are required.
6. Provide information for wind, snow, floor, roof, and seismic loads.
7. Special inspections (Third party) required per IBC Chapter 17 for steel, concrete, masonry, wood, prepared fill, foundations, and structural observations.
8. Provide plans for owner's special inspection program, list inspections and inspection agencies.
9. A Maryland Registered Architect must seal plans. This architect or architectural firm will be considered the architect of record.
10. A pre-construction meeting will be required before any work starts.
11. Provide complete accessibility code requirements and details.
12. List on construction documents all deferred submittals.
13. Truss and other shop drawings will be required prior to installation. The design professional in responsible charge shall review and approve all shop drawings.
14. Please provide your design professional with a copy of these comments.

## Site specific comments

1. Current Codes: 2021 International Building Code  
2021 International Residential Code  
2021 International Energy Conservation Code  
2021 International Mechanical Code  
2020 NEC  
Maryland Accessibility Code  
2010 Standards for Accessible Designs
2. Wind Design: 123 MPH (assumed); Risk category II; Exposure "C"  
Snow load: 20 psf. Provide floor loading information
1. Complete sealed architectural including an egress plan with occupant load, structural, mechanical, plumbing and electrical plans are required.
2. Soils report at time of permit application.
3. Provide an Energy Compliance Report for mechanical equipment, building envelope and a lighting plan with wattage report.
4. Provide air barrier design and details. Third party inspection and certification required for the air barrier.
5. Soils report at time of permit application.
6. A list of special inspections list comprised during plan review.
7. Third party inspections will not be accepted in leu of Worcester County inspection.

There is not enough information provided at this time to provide additional comments.

Additional information may be requested at the time of plan review.

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**RE: 12/10/2025 TRC Transmittal - RLG Properties, LLC**

---

**From** Tony Fascelli <tfascelli@worcestermd.gov>  
**Date** Mon 11/17/2025 10:57 AM  
**To** Benjamin M. Zito <bmzito@worcestermd.gov>

Ben,

No comment for water and wastewater division.

Thanks,

Tony

---

**From:** Benjamin M. Zito <bmzito@worcestermd.gov>  
**Sent:** Monday, November 17, 2025 9:56 AM  
**To:** Kristen Tremblay <ktremblay@worcestermd.gov>; Brian M. Soper <bmsoper@worcestermd.gov>; Cathy Zirkle <czirkle@worcestermd.gov>; Dallas Baker <dbaker@worcestermd.gov>; Dwilson12@sha.state.md.us; David M. Bradford <dbradford@worcestermd.gov>; David Mathers <dmathers@worcestermd.gov>; Gary Serman <gserman@worcestermd.gov>; Gary R. Pusey <grpusey@worcestermd.gov>; jfritts@mdot.maryland.gov; Jennifer Keener <jkkeener@worcestermd.gov>; Joy Birch <jbirch@worcestermd.gov>; Kevin Lynch <klynch@worcestermd.gov>; Laurie Bew <lbew@worcestermd.gov>; Lisa Lawrence <llawrence@worcestermd.gov>; Mmknight@comcast.net; Matt Owens <mowens@worcestermd.gov>; Matthew Laick <mllaick@worcestermd.gov>; Paul Miller <pmiller@worcestermd.gov>; Robert Korb Jr. <rkorb@worcestermd.gov>; Robert Mitchell <bmitchell@worcestermd.gov>; Stuart White <swhite@worcestermd.gov>; Tony Fascelli <tfascelli@worcestermd.gov>; Kelly Henry <khenry@worcestermd.gov>  
**Subject:** 12/10/2025 TRC Transmittal - RLG Properties, LLC

All,

Please see the attached transmittal for RLG.

The site plan is too large to send over email so I have placed it in the following OneDrive link:

 [December 10 2025 TRC Meeting](#)

Hard copies have been sent out today as well.

Thank you,

Ben Zito  
DRP Specialist III  
Dept. of Development, Review and Permitting  
Worcester County Government  
One West Market Street, Room 1201  
Snow Hill, MD 21863



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PLUMBING & GAS  
CRITICAL AREAS  
FOREST CONSERVATION  
COMMUNITY HYGIENE

## MEMORANDUM

DATE: 10/3/2024

TO: Applicant

FROM: Brian Soper, Natural Resources Administrator

SUBJECT: Stormwater/Sediment Erosion Control Plan/Permit

---

Please note, if a Stormwater plan is approved by this office and does not include phasing, the corresponding permit can only receive Stormwater Final approval once all improvements are completed and the entire site is stabilized. This includes properties which have multiple Building or Zoning permits associated with the Stormwater plans. If a Stormwater Bond is required per the permit, the bond will only be released once a Stormwater Final approval takes place.

Additionally, if pervious pavement (i.e. asphalt, concrete) is proposed as a Stormwater Best Management Practice (BMP), an engineer will be required to ensure that this BMP is installed per the approved plan and the correct sequence is detailed on approved plans. Furthermore, all site disturbance must be stabilized prior to beginning the BMP installation process to avoid any contamination or performance issues. If components of the BMP become contaminated, excavation may be required. A detail/schematic must be site specific and reflect how associated sub drains are connected to piping and also illustrate all material being used in subgrade when using this BMP.

If you have any questions, please feel free to contact the Natural Resources Administrator, Brian Soper, at (410) 632-1220, ext. 1147.

SITE DATA

OWNER ENGINEER/SURVEYOR WETLAND DELINEATION:

TAX MAP & ZONING INFORMATION

TAX MAP: 9 GRID: 2 PARCEL: 59  
13053 OLD STAGE ROAD  
BISHOPVILLE, MARYLAND 21813

EXISTING LAND USE INDUSTRIAL & FOREST (MDP 210)  
PROPOSED LAND USE INDUSTRIAL & FOREST

EXISTING ZONING I-1 (LIGHT INDUSTRIAL DISTRICT)-1

SITE AREA

TOTAL AREA OF PROPERTY 58.21 ACRES

SITE INFORMATION

BUILDING RESTRICTION REQUIREMENTS

FRONT YARD 35 FT  
SIDE YARD 20 FT  
REAR YARD 25 FT

EXISTING FORESTED AREAS 49.97 ACRES

ANTICIPATED LIMIT OF DISTURBANCE +/-4.82 ACRES  
LOD WITHIN FORESTED AREA +/-4.68 ACRES  
FORESTED AREA TO BE CLEARED +/-4.40 ACRES

ANTICIPATED FORESTED AREAS TO REMAIN +/-45.29 ACRES

WATERSHED

ISLE OF WIGHT BAY 9-DIGIT WATERSHED 02130103  
BISHOPVILLE PRONG 12-DIGIT WATERSHED 021301030692

FLOOD ZONE

PORTIONS OF THIS PROJECT IS LOCATED WITHIN FLOOD ZONE "X"  
PER MAP #24047C0030 H AND MAP #24047C0040 H, BOTH DATED JULY 16, 2015

WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW

THIS PROPERTY IS LOCATED OUTSIDE OF THE ATLANTIC COASTAL AND CHESAPEAKE BAY  
CRITICAL AREA PROGRAM.

WOTUS/NON-TIDAL WETLANDS

WATERS OF THE US AND NON-TIDAL WETLANDS HAVE BEEN IDENTIFIED ON THE PROPERTY. AN APPLICATION TO ALTER  
FLOODPLAIN, WATERWAY, TIDAL OR NON-TIDAL WETLANDS WAS SUBMITTED TO MDE ON JUNE 29, 2023 AND IS UNDER  
REVIEW. THE EXISTING PROJECT SITE HAS 83,779 SQ. FT. (1.92 ACRES) OF WOTUS, 1,306,186 SQ. FT. (29.99 ACRES) OF  
NON-TIDAL WETLANDS AND 27,438 SQ. FT. (0.63 ACRES) OF NON-TIDAL WETLAND BUFFER. THE PROJECT PROPOSES TO  
CONVERT 330 SQ. FT. OF WOTUS FOR A CULVERTED CROSSING AND FILL/CONVERT 530 SQ. FT. OF NON-TIDAL WETLANDS  
TO UPLANDS. THE PROPOSED PROJECT POST CONSTRUCTION WILL HAVE 83,449 SQ. FT. (1.92 ACRES) OF WOTUS,  
1,305,656 SQ. FT. (29.98 ACRES) OF NON-TIDAL WETLANDS AND 297,968 SQ. FT. (6.84 ACRES) OF NON-TIDAL WETLAND  
BUFFER. THE PROJECT SITE WILL HAVE 36.82 ACRES OF NON-TIDAL WETLAND AND ASSOCIATED BUFFERS AND 1.92  
ACRES OF WOTUS POST CONSTRUCTION TOTALING 38.74 ACRES.

WORCESTER COUNTY FOREST CONSERVATION EXEMPTION REQUEST

IN ACCORDANCE WITH ARTICLE 1-408 OF THE NATURAL RESOURCES ARTICLE OF THE WORCESTER COUNTY CODE  
OF PUBLIC LAWS, THIS PROJECT IS EXEMPT FROM THE COUNTY'S FOREST CONSERVATION LAW SINCE THE AREA OF  
FORESTED NON-TIDAL WETLAND INCLUDING ANY REGULATED BUFFER IS GREATER THAN OR EQUAL TO THE AREA OF  
REFORESTATION AND AFFORESTATION REQUIRED UNDER SECTION 1-408 AND 1-410 OF THE AFOREMENTIONED LAW.

TOPOGRAPHY/EXISTING CONDITIONS

PORTIONS OF THE EXISTING CONDITIONS SHOWN ARE FROM STATE OF MARYLAND AND  
WORCESTER COUNTY G.I.S. DATA.

HORIZONTAL & VERTICAL CONTROL

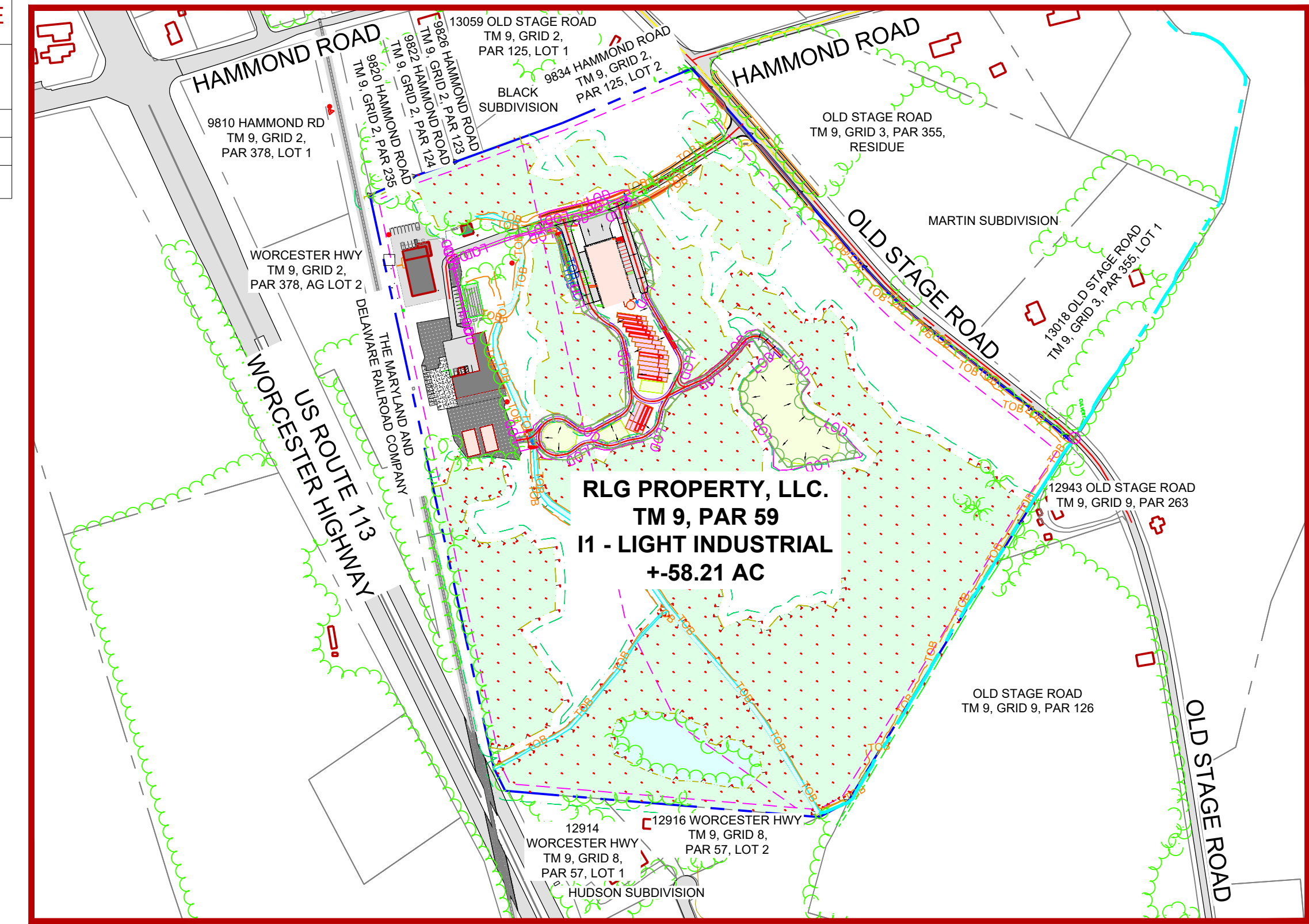
HORIZONTAL: NAD 83 MARYLAND STATE PLANE, US FEET  
VERTICAL: NAVD 88

SHEET INDEX

|          |                                         |          |                              |
|----------|-----------------------------------------|----------|------------------------------|
| 1 of 22  | COVER                                   | 19 of 22 | A111-FLOOR PLAN              |
| 2 of 22  | OWNER MOSAIC & EXISTING CONDITIONS PLAN | 20 of 22 | A201-FRONT & SIDE ELEVATIONS |
| 3 of 22  | PROPOSED OVERALL SITE PLAN              | 21 of 22 | A202-PERSPECTIVE ELEVATIONS  |
| 4 of 22  | PROPOSED SITE PLAN                      | 22 of 22 | A301-CROSS SECTIONS          |
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| 6 of 22  | PROPOSED SITE PLAN                      |          |                              |
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| 9 of 22  | SITE PLAN DETAILS                       |          |                              |
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| 11 of 22 | EROSION & SEDIMENT CONTROL PLAN OVERALL |          |                              |
| 12 of 22 | EROSION & SEDIMENT CONTROL PLAN AREA 1  |          |                              |
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| 16 of 22 | EROSION & SEDIMENT CONTROL PLAN AREA 5  |          |                              |
| 17 of 22 | EROSION & SEDIMENT CONTROL PLAN DETAILS |          |                              |
| 18 of 22 | EROSION & SEDIMENT CONTROL PLAN DETAILS |          |                              |

WETLANDS AND WATERS OF THE US TABLE

| EXPANSION TO INDUSTRIAL COMPLEX | WATERS OF U.S. AREA (SQ. FT.) | NON-TIDAL WETLANDS (SQ. FT.) |
|---------------------------------|-------------------------------|------------------------------|
| EXISTING                        | 83,779                        | 1,306,186                    |
| PROPOSED                        | 83,449                        | 1,305,656                    |
| NET CHANGE                      | -330                          | -530                         |



GENERAL NOTES

- ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW. WHEREVER THE WORD "PROPOSED" IS USED IT IS CONSIDERED TO BE INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK.
- THE CONTRACTOR SHALL EXAMINE PLANS AND VISIT THE SITE IN ORDER TO DETERMINE, TO HIS/her SATISFACTION THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS AND TO ALL APPLICABLE FEDERAL, STATE OF MARYLAND, AND WORCESTER COUNTY REQUIREMENTS.
- ANY DISCREPANCIES BETWEEN THE INFORMATION PROVIDED ON THESE PLANS AND THE EXISTING SITE CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER.
- THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AND PIPE INVERTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY STAKEOUT OF THE LINE AND GRADE FOR THE CONSTRUCTION.
- NO INFORMATION REGARDING DEPTH TO ANY SEASONAL OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS. THE CONTRACTOR SHALL INVESTIGATE TO THEIR SATISFACTION THE SITE CONDITIONS REGARDING DEPTH TO GROUND WATER. GENERALLY, PILING, TRENCH AND STRUCTURE CONSTRUCTION SHALL BE EXECUTED IN A DE-WATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICE. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DE-WATERED UNTIL THE BACK-FILL OPERATION HAS BEEN COMPLETED.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING PARTIES, FIVE (5) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY 1-800-282-8555

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS FOR ANY EARTH MOVING, REMOVAL, STOCKPILING OF EARTH OR OTHER MATERIALS ON SITE.
- THERE ARE NO STEEP SLOPES OR ERODIBLE SLOPES WITHIN THE LIMITS OF DISTURBANCE.
- NO TEST PITS HAVE BEEN PERFORMED ON EXISTING UTILITIES. MISS UTILITY MARKED UTILITIES ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR TO PERFORM ADDITIONAL UTILITY LOCATION SERVICES AS NEEDED TO ENSURE EXISTING UTILITIES ARE NOT DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR AND OWNER SHALL PROVIDE SUPERVISION AND CERTIFICATION OF ALL CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES THAT PROVIDE INFILTRATION AND FILTERING, BY A PROFESSIONAL ENGINEER DULY LICENSED IN THE STATE OF MARYLAND.
- ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN, AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.
- ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.
- ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREA HAVE PASSED FINAL INSPECTION.
- UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY NOTICE OF CONSTRUCTION COMPLETION (NOC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS. ONCE REVIEW IS COMPLETE AND APPROVED, OCCUPANCY CAN BE ISSUED.

The property owner shall be responsible for the operation and maintenance of all Stormwater Management features within the site as shown on the construction drawings. They shall be operated and maintained per the requirements of the Maryland Environmental Site Design Manual, as noted on the drawings.

PROJECT NOTES

- THE PRIMARY INTENT OF THIS PROJECT IS TO:
  - CONSTRUCT A NEW 13,600 SQ. FT. BOAT CONSTRUCTION BUILDING
  - CREATE CONTRACTOR STORAGE AND MATERIAL LAYDOWN AREAS & CONSTRUCT ASSOCIATED ROADS, WELL, SEPTIC, DRAINAGE AND STORMWATER MANAGEMENT INFRASTRUCTURE TO SUPPORT THE DESCRIBED IMPROVEMENTS.
- THE SITE CONTAINS NO STEEP SLOPES.
- THE SITE IS NOT PART OF A FOREST BLOCK GREATER THAN 100 ACRES.
- THE SITE DOES NOT CONTAIN ANY EVIDENCE OF ANY STATE OR FEDERALLY LISTED RARE, THREATENED OR ENDANGERED SPECIES.
- THE SITE DOES NOT CONTAIN ANY HISTORIC PROPERTIES OR CULTURAL RESOURCES.

WETLAND CERTIFICATION

I, Edward M. Launay, SPWS, I, CERTIFY THAT BOTH THE BOUNDARIES OF THE WATERS OF THE STATE OF MARYLAND AND UNITED STATES INCLUDING WETLANDS, SUBJECT TO MARYLAND DEPARTMENT OF ENVIRONMENT AND THE CORPS OF ENGINEERS REGULATORY PROGRAMS DELINEATED WITHIN THE LIMITS OF INVESTIGATION ILLUSTRATED ON THESE PLANS HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND SUPPLEMENTAL GUIDANCE INCLUDING THE ATLANTIC AND GULF COAST REGIONAL MANUAL (VERSION 2.0). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH DIRECT TIDAL WETLAND MAPS, THERE ARE NO STATE REGULATED NON TIDAL WETLANDS ON THE SITE.

EDWARD M. LAUNAY, SENIOR PWS No. 875  
SOCIETY OF WETLANDS SCIENTISTS  
CORPS OF ENGINEERS, CERTIFIED WETLAND  
DELINEATOR WDPC93MD05100368

CONSULTANTS CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2011 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR CURRENT REVISIONS THEREOF, AND DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT REGULATIONS.

MD P.E. LICENSE # 36310

MD LAND SURVEYOR LICENSE # N/A

MD LANDSCAPE ARCHITECT # N/A

NAME RICHARD F. POLK

FIRM NAME VISTA DESIGN, INC.

STREET ADDRESS 11634 WORCESTER HWY  
SHOWELL, MD 21862

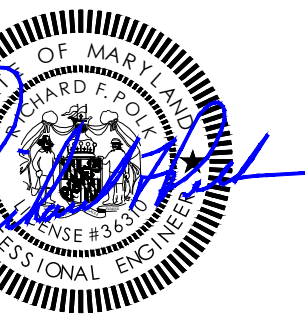
ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN MEETS OR EXCEEDS THE REQUIREMENTS OF THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES I & II, ALL STATE AND FEDERAL CODES, THE WORCESTER COUNTY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION MANUAL, THE APPROVED SITE PLAN OR PRELIMINARY PLAN, OTHER ORDINANCES AND REGULATIONS AND ANY CONDITIONS IMPOSED BY WORCESTER COUNTY.

MARYLAND REGISTERED PROFESSIONAL ENGINEER

DATE 11/14/2025

36310  
LICENSE NUMBER



STORMWATER CERTIFICATION STATEMENTS

- ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.
- ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.
- ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION.
- UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE COUNTY, EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS. ONCE REVIEW IS COMPLETE AND APPROVED, A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- THE CONTRACTOR AND OWNER SHALL PROVIDE SUPERVISION AND CERTIFICATION OF ALL CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES THAT PROVIDE INFILTRATION AND FILTERING, BY A PROFESSIONAL ENGINEER DULY LICENSED IN THE STATE OF MARYLAND.

RUSSELL GARUFI, RLG PROPERTY, LLC, OWNER

DATE 11/14/2025

SITE DATA TABLE

| TOTAL SITE AREA | DISTURBED AREA | EXISTING IMPERVIOUS AREA IN LOD | PROPOSED IMPERVIOUS AREA IN LOD | TOTAL IMPERVIOUS AREA IN LOD | VOLUME OF EXCAVATION (C.Y.)* | VOLUME OF FILL (C.Y.)* | NET VOLUME OF FILL (C.Y.)* | AREA OF EXISTING FOREST | AREA OF FOREST DISTURBED |
|-----------------|----------------|---------------------------------|---------------------------------|------------------------------|------------------------------|------------------------|----------------------------|-------------------------|--------------------------|
| 58.21 AC        | 0.00 AC        | 0.00 AC                         | 1.47 AC                         | 1.47 AC                      | ±200 C.Y.                    | ±600 C.Y.              | ±400 C.Y.                  | 49.97 AC                | 4.68 AC                  |

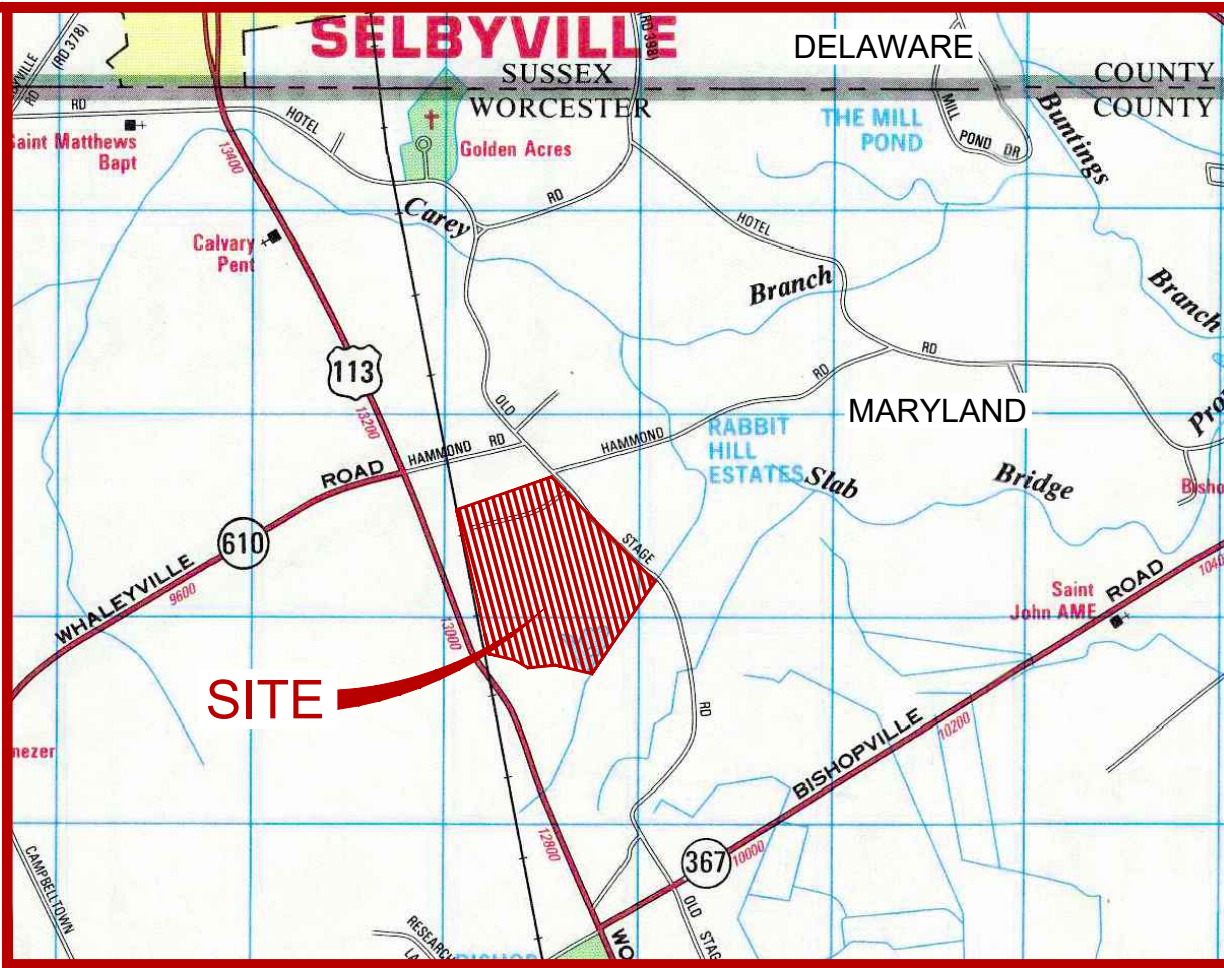
\*THE EARTHWORK QUANTITIES SHOWN HEREON ARE FOR INFORMATION PURPOSES ONLY. VISTA DESIGN, INC. MAKES NO GUARANTEES OF THE ACCURACY OF QUANTITIES OR BALANCE OF SITE. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY OF ACTUAL EARTHWORK QUANTITIES ENCOUNTERED DURING CONSTRUCTION.

OWNER/DEVELOPER CERTIFICATION

- ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND FURTHER AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE WORCESTER SOIL CONSERVATION DISTRICT BOARD OF SUPERVISORS OR THEIR AUTHORIZED AGENTS.
- ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN.
- THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE DEPARTMENT APPROVED TRAINING PROGRAM (GREEN-CARD CERTIFICATION) FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. (CERTIFICATION MAY BE WAIVED BY THE APPROVAL AUTHORITY ON ANY PROJECT INVOLVING FOUR OR FEWER RESIDENTIAL UNITS AND AS APPLICABLE PER COUNTY.)
- THE DEVELOPER WILL PROVIDE ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY REQUIRING A STATE POND PERMIT.

RUSSELL GARUFI, RLG PROPERTY, LLC - OWNER

DATE 11/14/2025



VICINITY MAP  
SCALE 1" = 2,000'  
ADC MAP 3 GRID D3, D4 & E3  
SCALE: 1" = 2000'

PERMIT INFORMATION

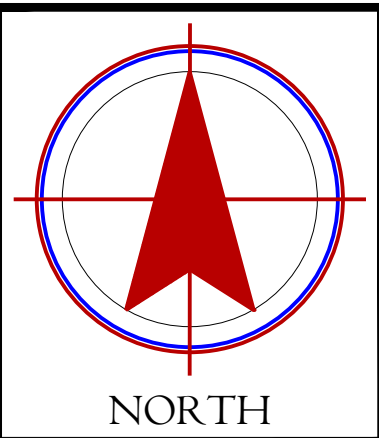
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| MARYLAND DEPARTMENT OF THE ENVIRONMENT NON-TIDAL WETLANDS AND WATERWAYS AUTHORIZATION | 23-NT-2040/<br>202360933 | 9/8/2023        | 9/8/2028              |
| MARYLAND DEPARTMENT OF THE ENVIRONMENT NOTICE OF INTENT (NOI)                         | 20CPX090B/<br>MORCX090B  | 2/25/2025       | State Permit Issuance |
| WORCESTER SOIL CONSERVATION DISTRICT                                                  | -                        | 9/11/2024       | 9/11/2027             |
| WORCESTER COUNTY ENVIRONMENTAL PROGRAMS                                               | -                        | -               | -                     |
| WORCESTER COUNTY ENVIRONMENTAL PROGRAMS STORMWATER CONCEPT                            | N/A                      | 9/7/2023        | -                     |
| WORCESTER COUNTY ENVIRONMENTAL PROGRAMS STORMWATER PLAN APPROVAL                      | N/A                      | 9/11/2024       | 9/11/2026             |
| WORCESTER COUNTY ENVIRONMENTAL PROGRAMS FOREST CONSERVATION                           | N/A                      | EXEMPT 9/8/2023 | -                     |
| WORCESTER COUNTY DEVELOPMENT REVIEW & PERMITTING                                      | -                        | -               | -                     |

LEGEND

|                                     |     |
|-------------------------------------|-----|
| PROPERTY LINE                       | --- |
| EXISTING 1X CONTOUR                 | --- |
| EXISTING 5X CONTOUR                 | --- |
| EXISTING BUILDING                   | --- |
| EXISTING SOIL BOUNDARIES            | --- |
| EXISTING STREAM/WATER BODY          | --- |
| EXISTING EDGE OF PAVEMENT           | --- |
| EXISTING EDGE OF GRAVEL             | --- |
| EXISTING UTILITIES                  | --- |
| EXISTING STORM PIPE                 | --- |
| EXISTING ROAD                       | --- |
| EXISTING CONCRETE WALK              | --- |
| EXISTING GRAVEL DRIVEWAY            | --- |
| EXISTING NON-TIDAL WETLANDS         | --- |
| EXISTING 100' CRITICAL AREA BUFFER  | --- |
| EXISTING 1000' CRITICAL AREA BUFFER | --- |
| EXISTING TOP OF BANK                | --- |
| EXISTING LANDSCAPE/MULCH AREA       | --- |
| PROPOSED 1X CONTOUR                 | --- |
| PROPOSED 5X CONTOUR                 | --- |
| PROPOSED COT SURFACE                | --- |
| PROPOSED SIDEWALK                   | --- |
| PROPOSED STORM STRUCTURE            | --- |
| PROPOSED STORM PIPE                 | --- |
| PROPOSED SWALE BOTTOM               | --- |
| LIMITS OF DISTURBANCE               | --- |
| PROPOSED PARKING PAINT              | --- |
| PROPOSED SILT FENCE                 | --- |
| PROPOSED SUPER SILT FENCE           | --- |
| PROPOSED RIP-RAP CHECK DAM          | --- |
| PROPOSED ELEVATION SHOT             | --- |
| DRAINAGE FLOW ARROW                 | --- |
| PROPOSED TOP OF BANK                | --- |

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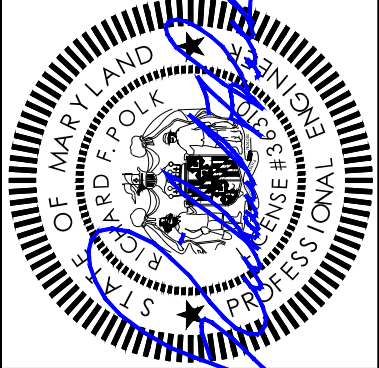
REVISIONS

PROJECT DATA  
Project No.: 20-081  
File Name: CE 111425.dwg  
BISHOPVILLE  
WORCESTER COUNTY, MARYLAND  
Date: 11/14/2025  
Scale: 1" = 300'

COVER

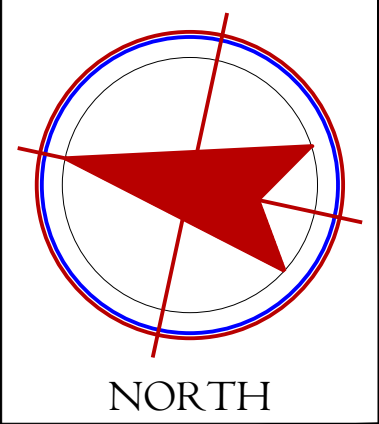
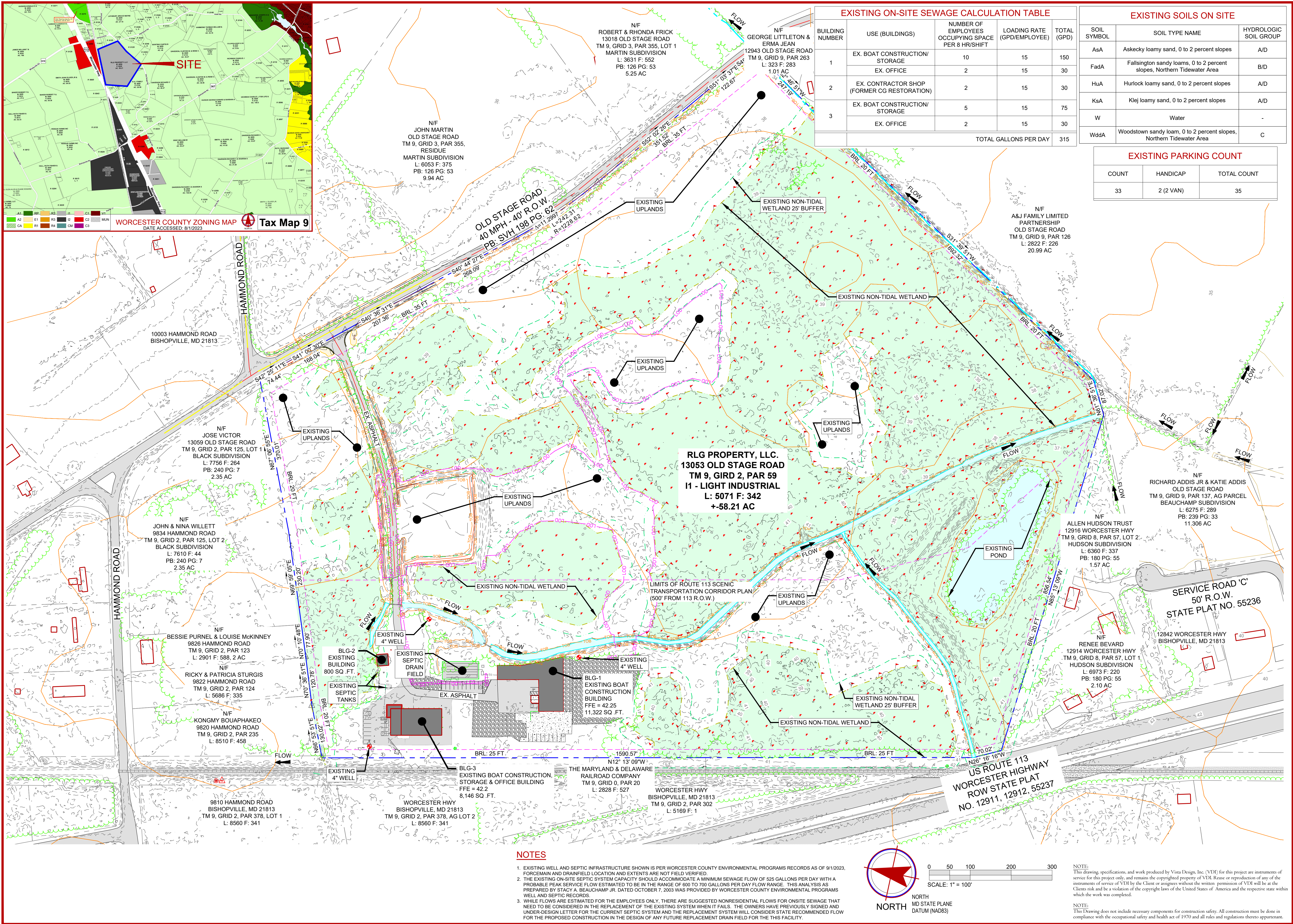
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1 of 22



NORTH

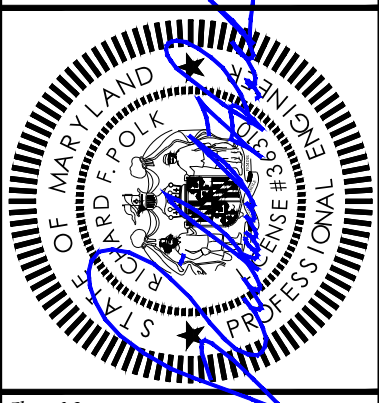
REVISIONS

PROJECT DATA

OWNER MOSAIC & EXISTING CONDITIONS

BISHOPVILLE INDUSTRIAL COMPLEX

VISTA DESIGN, INC.



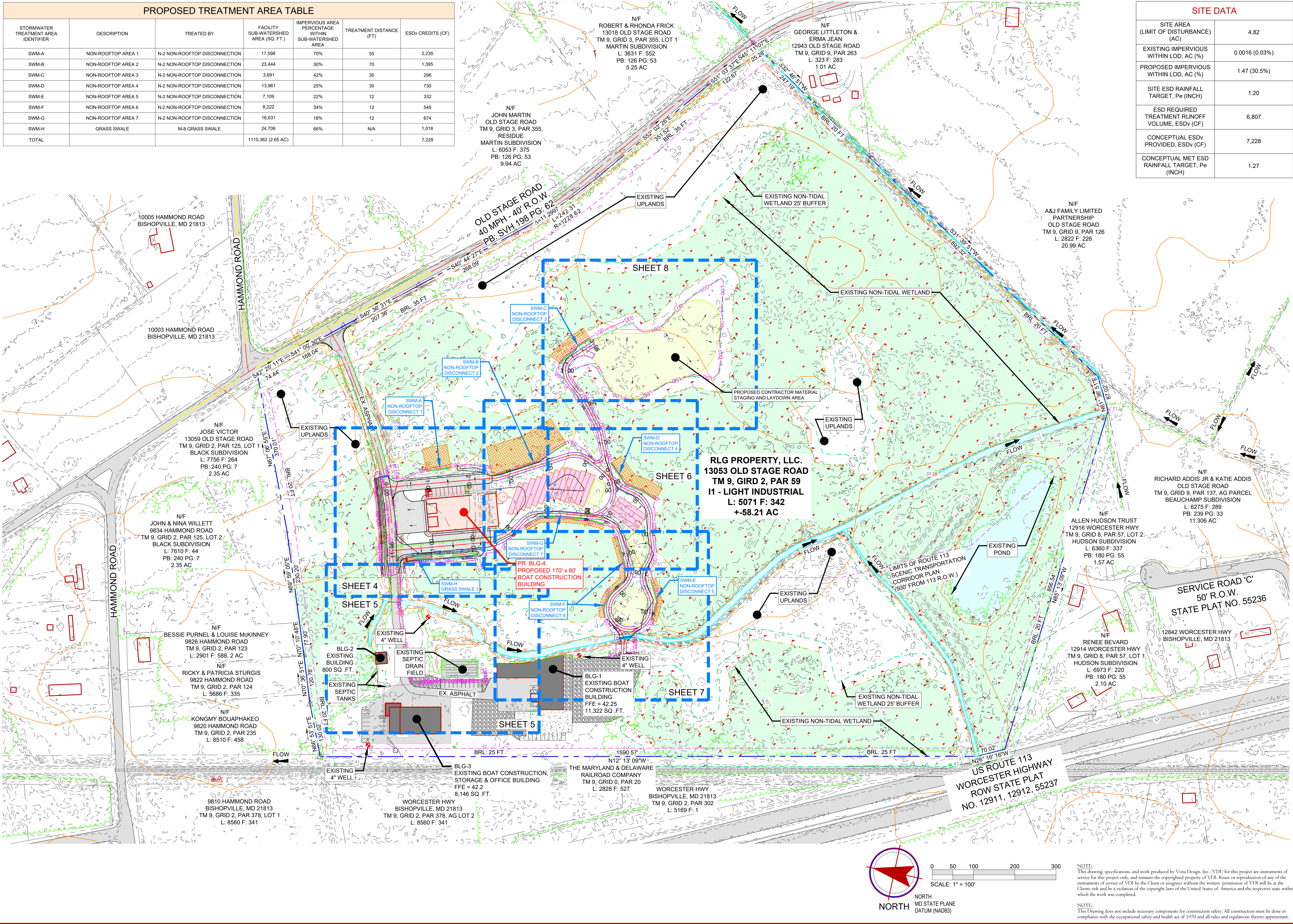
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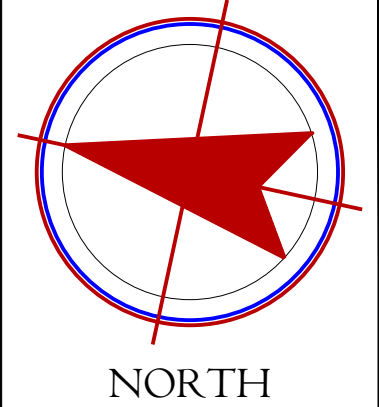
BISHOPVILLE INDUSTRIAL COMPLEX - MAJOR SITE PLAN - TRC SUBMISSION - 11/14/2025

MAJOR SITE PLAN - TRC SUBMISSION - 11/14/2025

| PROPOSED TREATMENT AREA TABLE        |                    |                               |                                       |                                                      |                         |                   |
|--------------------------------------|--------------------|-------------------------------|---------------------------------------|------------------------------------------------------|-------------------------|-------------------|
| STORMWATER TREATMENT AREA IDENTIFIER | DESCRIPTION        | TREATED BY                    | FACILITY SUB-WATERSHED AREA (SQ. FT.) | IMPERVIOUS AREA PERCENTAGE WITHIN SUB-WATERSHED AREA | TREATMENT DISTANCE (FT) | ESDv CREDITS (CF) |
| SWM-A                                | NON-ROOFTOP AREA 1 | N-2 NON-ROOFTOP DISCONNECTION | 17,598                                | 70%                                                  | 55                      | 2,235             |
| SWM-B                                | NON-ROOFTOP AREA 2 | N-2 NON-ROOFTOP DISCONNECTION | 23,444                                | 30%                                                  | 70                      | 1,395             |
| SWM-C                                | NON-ROOFTOP AREA 3 | N-2 NON-ROOFTOP DISCONNECTION | 3,691                                 | 42%                                                  | 30                      | 296               |
| SWM-D                                | NON-ROOFTOP AREA 4 | N-2 NON-ROOFTOP DISCONNECTION | 13,961                                | 25%                                                  | 30                      | 730               |
| SWM-E                                | NON-ROOFTOP AREA 5 | N-2 NON-ROOFTOP DISCONNECTION | 7,109                                 | 22%                                                  | 12                      | 332               |
| SWM-F                                | NON-ROOFTOP AREA 6 | N-2 NON-ROOFTOP DISCONNECTION | 8,222                                 | 34%                                                  | 12                      | 549               |
| SWM-G                                | NON-ROOFTOP AREA 7 | N-2 NON-ROOFTOP DISCONNECTION | 16,631                                | 18%                                                  | 12                      | 674               |
| SWM-H                                | GRASS SWALE        | M-8 GRASS SWALE               | 24,706                                | 66%                                                  | N/A                     | 1,018             |
| TOTAL                                |                    |                               | 1115,362 (2.65 AC)                    |                                                      | -                       | 7,228             |



| SITE DATA                                       |                |
|-------------------------------------------------|----------------|
| SITE AREA (LIMIT OF DISTURBANCE) (AC)           | 4.82           |
| EXISTING IMPERVIOUS WITHIN LOD, AC (%)          | 0.0016 (0.03%) |
| PROPOSED IMPERVIOUS WITHIN LOD, AC (%)          | 1.47 (30.5%)   |
| SITE ESD RAINFALL TARGET, Pe (INCH)             | 1.20           |
| ESD REQUIRED TREATMENT RUNOFF VOLUME, ESDv (CF) | 6,807          |
| CONCEPTUAL ESDv PROVIDED, ESDv (CF)             | 7,228          |
| CONCEPTUAL MET ESD RAINFALL TARGET, Pe (INCH)   | 1.27           |



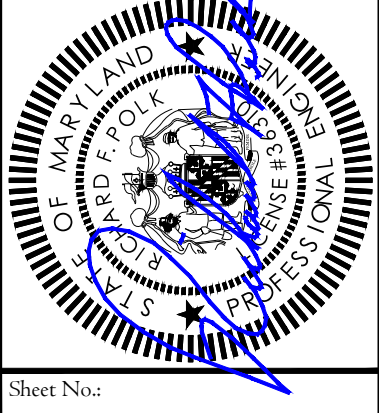
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| PROJECT DATA                                 | REVISIONS |
|----------------------------------------------|-----------|
| Project No.: 20481                           |           |
| File Name: CT 111425.dwg                     |           |
| Project Name: BISHOPVILLE INDUSTRIAL COMPLEX |           |
| Location: WORCESTER COUNTY, MARYLAND         |           |
| Date: 11/14/2025                             |           |
| Scale: 1" = 100'                             |           |

PROPOSED OVERALL SITE PLAN

BISHOPVILLE INDUSTRIAL COMPLEX  
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MAJOR SITE PLAN

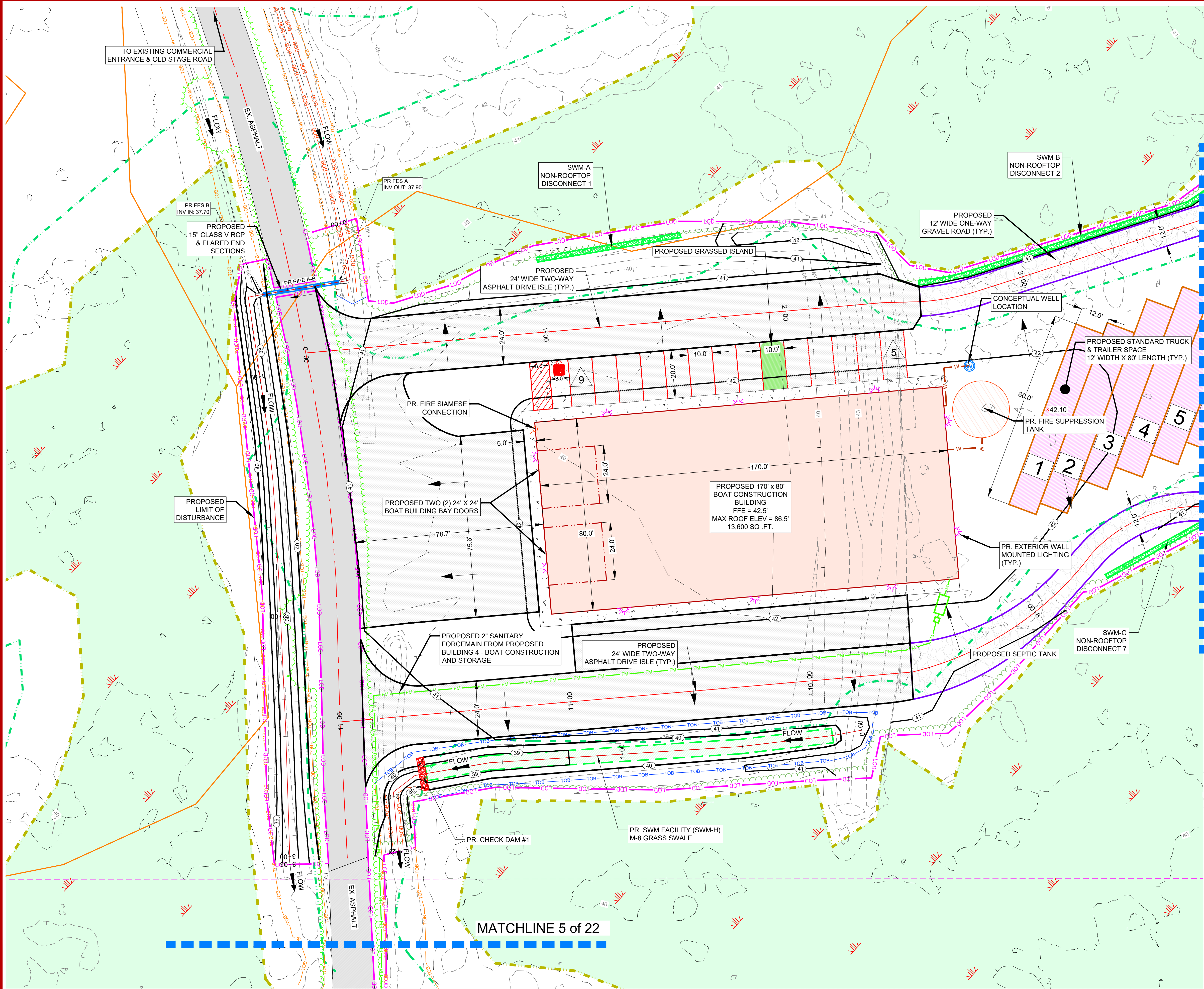
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| EXTERIOR LIGHTING SCHEDULE |          |                                                                                    |
|----------------------------|----------|------------------------------------------------------------------------------------|
| SYMBOL ID                  | QUANTITY | DESCRIPTION                                                                        |
|                            | 10       | 4,375 LUMENS 35 WATT PLT WALL PACT MOUNTED ON BUILDING AT 15' ABOVE ADJACENT GRADE |

| PROPOSED PARKING COUNT                 |        |                                        |                                        |                 |
|----------------------------------------|--------|----------------------------------------|----------------------------------------|-----------------|
| USE                                    | AREA   | MINIMUM REQUIREMENT                    | MAXIMUM REQUIREMENT                    | SPACES PROVIDED |
| PROPOSED BUILDING (BOAT CONSTRUCTION)  | 11,200 | 10 SPOTS PLUS 1 PER EACH SERVICE BAY   | 10 SPOTS PLUS 2 PER EACH SERVICE BAY   | 12              |
| PROPOSED BUILDING (STORAGE AREA)       | 2,400  | 1 SPOT PER 4,000 SQ. FT. 2 SPACES MIN. | 1 SPOT PER 2,000 SQ. FT. 5 SPACES MIN. | 2               |
| TOTAL PROPOSED PARKING SPACES PROVIDED |        |                                        |                                        | 14              |

| PROPOSED ON-SITE SEWAGE CALCULATION TABLE |                                             |                                                    |                             |             |
|-------------------------------------------|---------------------------------------------|----------------------------------------------------|-----------------------------|-------------|
| BUILDING NUMBER                           | USE (BUILDINGS)                             | NUMBER OF EMPLOYEES OCCUPYING SPACE PER 8 HR/SHIFT | LOADING RATE (GPD/EMPLOYEE) | TOTAL (GPD) |
| 1                                         | EX. BOAT CONSTRUCTION/STORAGE               | 10                                                 | 15                          | 150         |
|                                           | EX. OFFICE                                  | 2                                                  | 15                          | 30          |
| 2                                         | EX. CONTRACTOR SHOP (FORMER CG RESTORATION) | 2                                                  | 15                          | 30          |
|                                           | EX. BOAT CONSTRUCTION/STORAGE               | 5                                                  | 15                          | 75          |
| 3                                         | EX. OFFICE                                  | 2                                                  | 15                          | 30          |
|                                           | PR. NEW BUILDING (BOAT CONSTRUCTION AREA)   | 10                                                 | 15                          | 150         |
| 4                                         | PR. NEW BUILDING (STORAGE AREA)             | 0                                                  | 0                           | 0           |
| TOTAL GALLONS PER DAY                     |                                             |                                                    |                             | 465         |

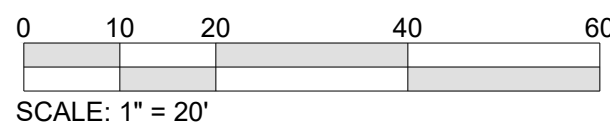
NOTES

- THE EXISTING ON-SITE SEPTIC SYSTEM CAPACITY SHOULD ACCOMMODATE A MINIMUM SEWAGE FLOW OF 525 GALLONS PER DAY WITH A PROBABLE PEAK SERVICE FLOW ESTIMATED TO BE IN THE RANGE OF 600 TO 700 GALLONS PER DAY FLOW RANGE. THIS ANALYSIS WAS PREPARED BY STACY A. BEAUCHAMP JR. DATED OCTOBER 7, 2003 WAS PROVIDED BY WORCESTER COUNTY ENVIRONMENTAL PROGRAMS WELL AND SEPTIC RECORDS.
- WHILE PROPOSED FLOWS ARE ESTIMATED FOR THE EMPLOYEES ONLY, THERE ARE SUGGESTED NONRESIDENTIAL FLOWS FOR ONSITE SEWAGE THAT NEED TO BE CONSIDERED IN THE REPLACEMENT OF THE EXISTING SYSTEM WHEN IT FAILS. THE OWNERS HAVE PREVIOUSLY SIGNED AND UNDER-DESIGN LETTER FOR THE CURRENT SEPTIC SYSTEM AND THE REPLACEMENT SYSTEM WILL CONSIDER STATE RECOMMENDED FLOW FOR THE PROPOSED CONSTRUCTION IN THE DESIGN OF ANY FUTURE REPLACEMENT DRAIN FIELD FOR THE THIS FACILITY.

| GRASS SWALE STRUCTURE TABLE |         |                      |                |
|-----------------------------|---------|----------------------|----------------|
| CHECK DAM                   | STATION | CENTERLINE ELEVATION | WEIR ELEVATION |
| CD-1                        | 1+84    | 38.7                 | 39.7           |

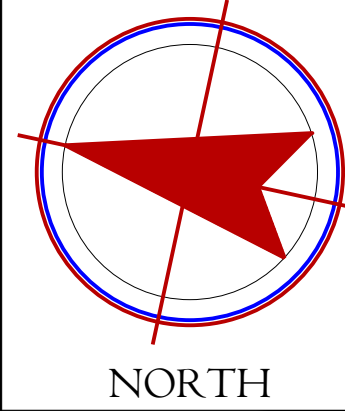
| PROPOSED PIPE SCHEDULE SHEET 4 |             |           |             |           |              |               |
|--------------------------------|-------------|-----------|-------------|-----------|--------------|---------------|
| PIPE ID                        | TYPE        | SIZE (IN) | LENGTH (FT) | SLOPE (%) | INV. IN (FT) | INV. OUT (FT) |
| A-B                            | CLASS V RCP | 15"       | 32          | 0.63      | 37.90        | 37.70         |

| PROPOSED STRUCTURE SCHEDULE SHEET 4 |                                           |                       |
|-------------------------------------|-------------------------------------------|-----------------------|
| STRUCTURE ID                        | TYPE                                      | INVERT ELEVATION (FT) |
| PR FES A                            | 15" ADS FLARED END SECTION (DETAIL SHEET) | 37.90                 |
| PR FES B                            | 15" ADS FLARED END SECTION (DETAIL SHEET) | 37.70                 |



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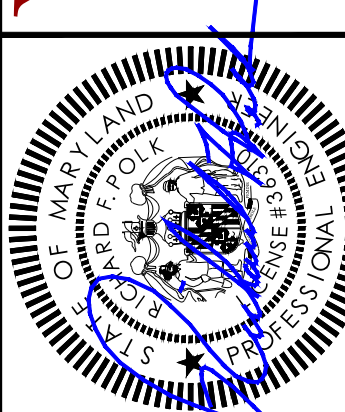
PROJECT DATA

Project No.: 20-081  
File Name: CT 111425.dwg  
BISHOPVILLE  
WORCESTER COUNTY, MARYLAND  
Date: 11/14/2025  
Scale: 1" = 20'

PROPOSED  
SITE  
PLAN

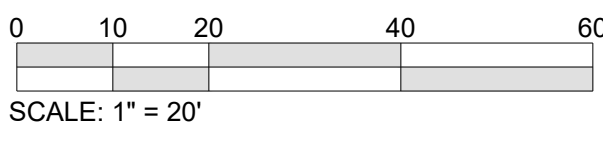
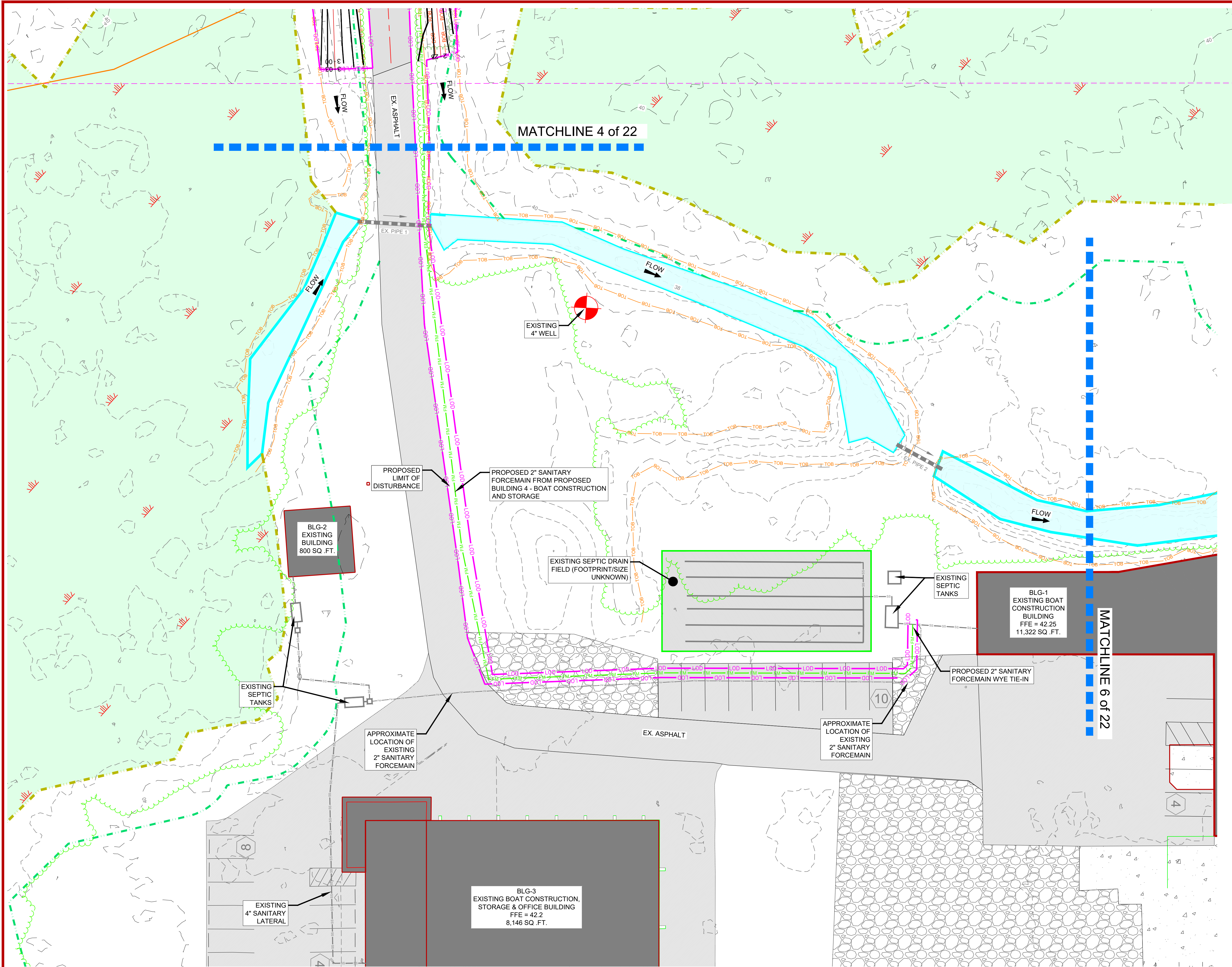
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MAJOR SITE PLAN

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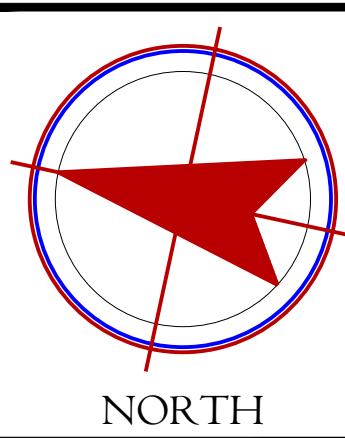
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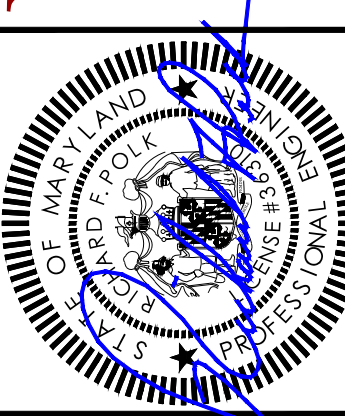


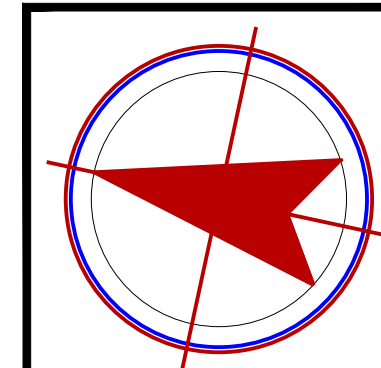
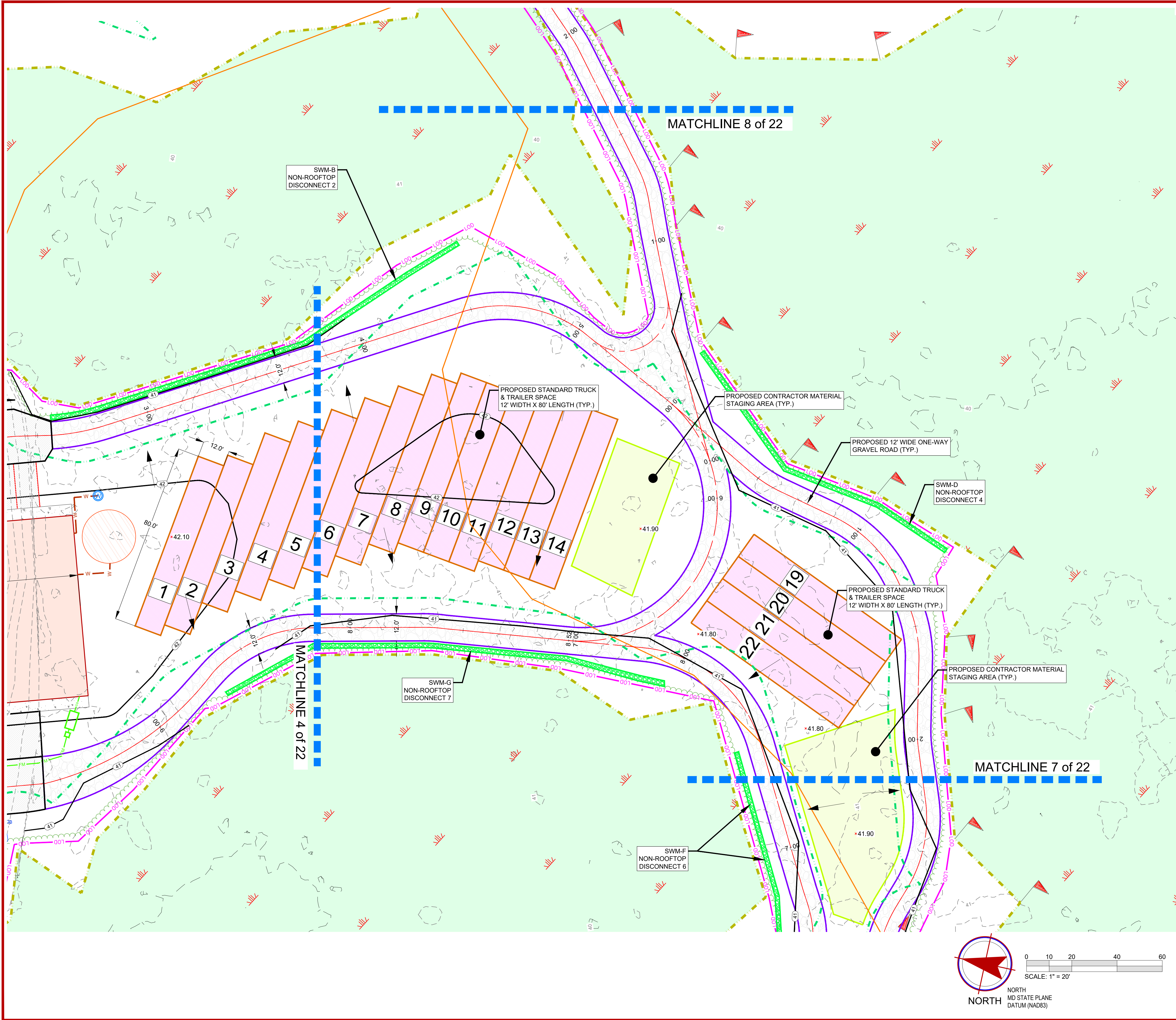
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| Project No.  | 20-081                                    |           |
| File Name    | CT 111425.dwg                             |           |
| Location     | BISHOPVILLE<br>WORCESTER COUNTY, MARYLAND |           |
| Date         | 11/14/2025                                |           |
| Scale        | 1" = 20'                                  |           |

PROPOSED  
SITE  
PLAN

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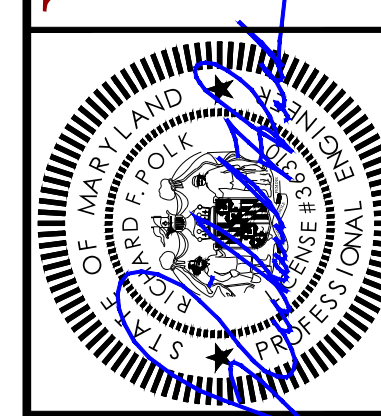
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| PROJECT DATA |                                           | REVISIONS |  |
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| File Name    | CT 111425.dwg                             |           |  |
| Location     | BISHOPVILLE<br>WORCESTER COUNTY, MARYLAND |           |  |
| Date         | 11/14/2025                                |           |  |
| Scale        | 1" = 20'                                  |           |  |

PROPOSED  
SITE  
PLAN

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RLG PROPERTY, LLC.  
MAJOR SITE PLAN

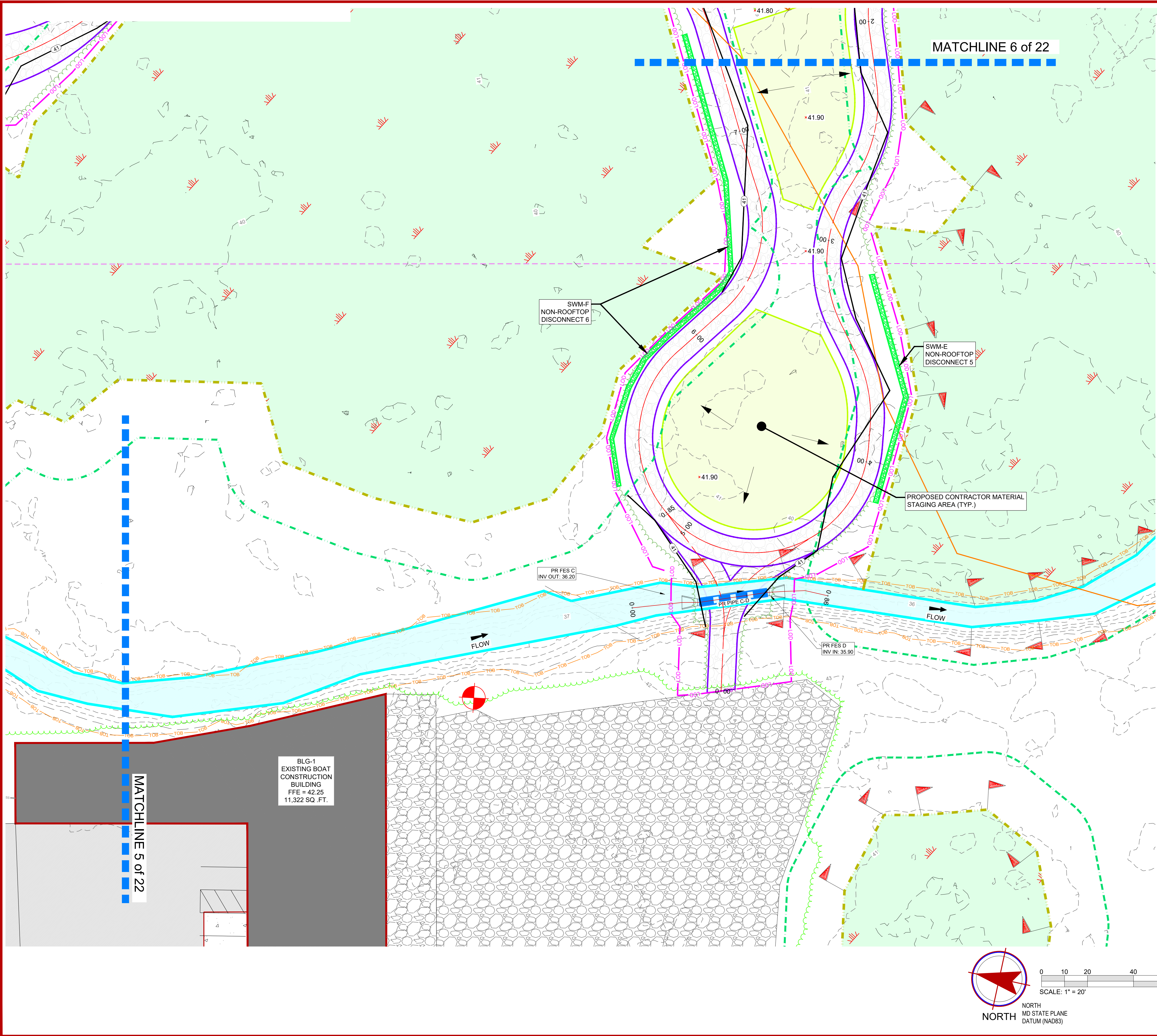
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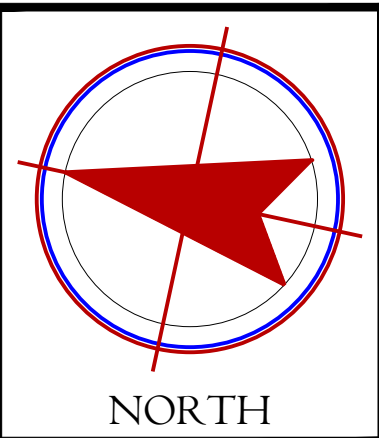
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| PROPOSED PIPE SCHEDULE SHEET 7 |             |           |             |           |              |               |
|--------------------------------|-------------|-----------|-------------|-----------|--------------|---------------|
| PIPE ID                        | TYPE        | SIZE (IN) | LENGTH (FT) | SLOPE (%) | INV. IN (FT) | INV. OUT (FT) |
| C-D                            | CLASS V RCP | 36"       | 30          | 0.33      | 36.20        | 35.90         |

| PROPOSED STRUCTURE SCHEDULE SHEET 7 |                                                    |                       |
|-------------------------------------|----------------------------------------------------|-----------------------|
| STRUCTURE ID                        | TYPE                                               | INVERT ELEVATION (FT) |
| PR FES C                            | CONCRETE PRECAST FLARED END SECTION (DETAIL SHEET) | 36.20                 |
| PR FES D                            | CONCRETE PRECAST FLARED END SECTION (DETAIL SHEET) | 35.90                 |



| REVISIONS |  |
|-----------|--|
| 01/01/00  |  |

| PROJECT DATA               |          |
|----------------------------|----------|
| Project No.: 20-081        | 01/01/00 |
| File Name: CT 111425.dwg   |          |
| BISHOPVILLE                |          |
| WORCESTER COUNTY, MARYLAND |          |
| Date: 11/14/2025           |          |
| Scale: 1" = 20'            |          |

| PROPOSED SITE PLAN |  |
|--------------------|--|
|--------------------|--|

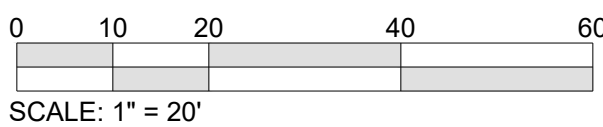
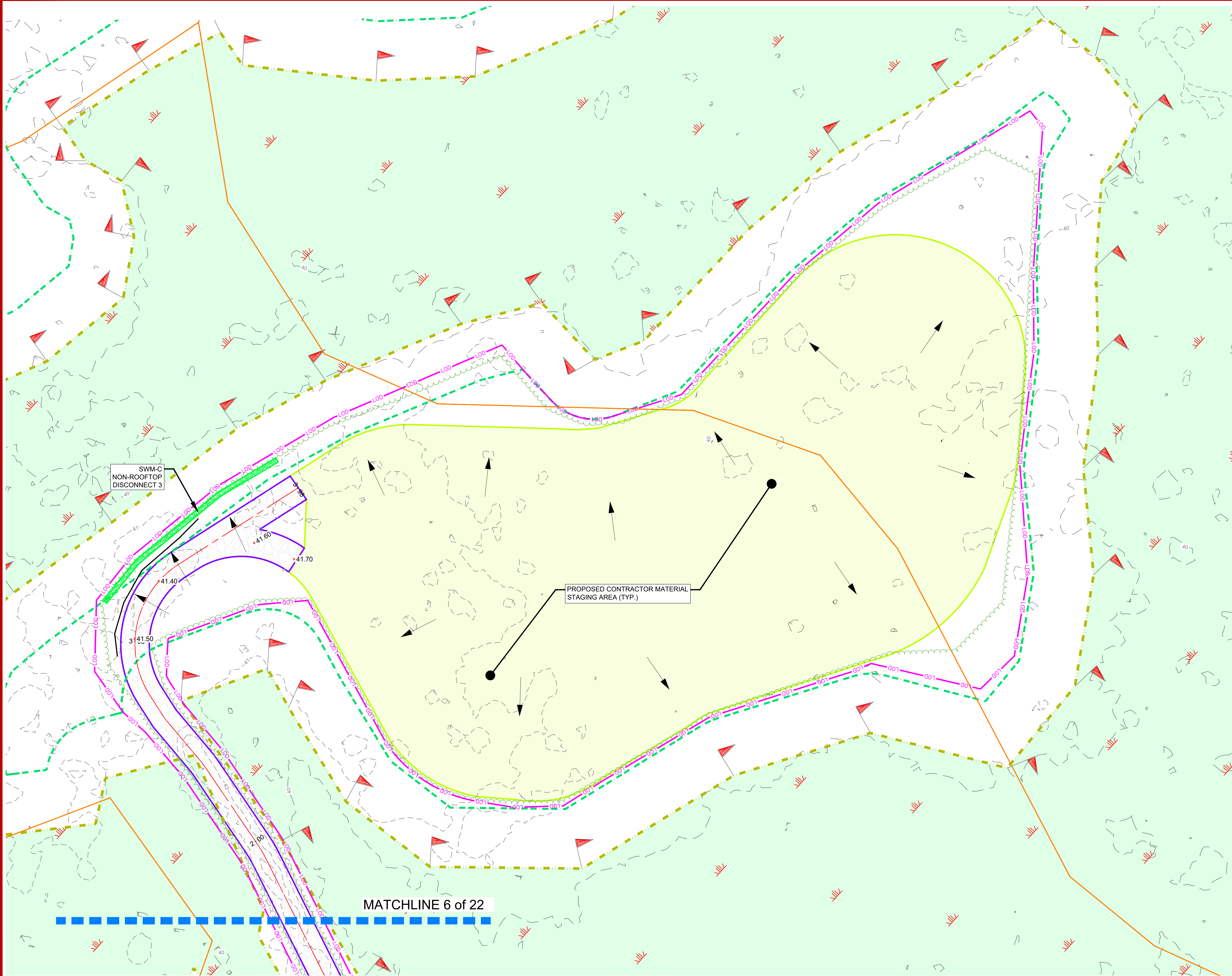
| BISHOPVILLE INDUSTRIAL COMPLEX |                 |
|--------------------------------|-----------------|
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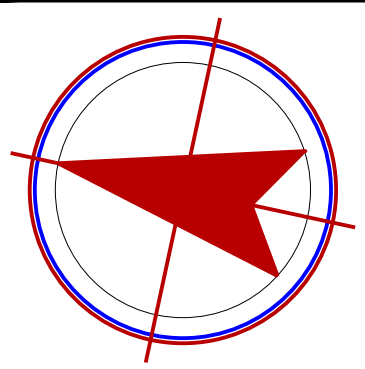
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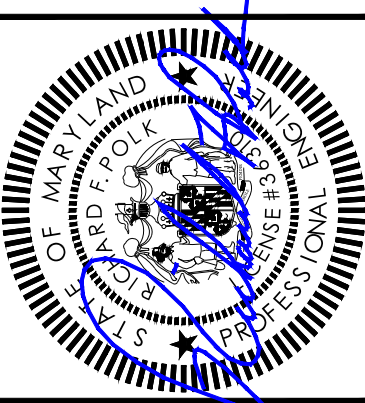
NORTH

| PROJECT DATA |                                           | REVISIONS |  |
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| Project No.  | 20-081                                    |           |  |
| File Name    | CT 111425.dwg                             |           |  |
| Location     | BISHOPVILLE<br>WORCESTER COUNTY, MARYLAND |           |  |
| Date         | 11/14/2025                                |           |  |
| Scale        | 1" = 20'                                  |           |  |

| PROPOSED SITE PLAN |  |
|--------------------|--|
|                    |  |

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8 of 22





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# AIII

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STATE OF MARYLAND.

CHRISTOPHER S. FERGER, AIA NCARB  
 LICENSE NO.: 13302  
 EXPIRATION DATE: 11-30-2024

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*Engineers • Architects • Surveyors • Landscape Architects • Land Planning Consultants*

11634 Worcester Highway, Shovell, Maryland 21862  
Phone: (410) 352-3874 email: info@vistadesigninc.com

Project Title: **TITAN BOATS MANUFACTURING  
BUILDING  
NEW CONSTRUCTION**

13053 OLD STAGE ROAD  
BISHOPVILLE, MARYLAND 21813

Sheet Title:

**PROJECT DATA:**

**Project Number:** 20-081

**File:** Titan\_Boats\_Warehouse\_SDI.vwx

**Project Date:** 5/20/2023

**Plot Date:** Sep 14, 2023 12:02:53 PM

**Sheet Date:** 9/14/2023

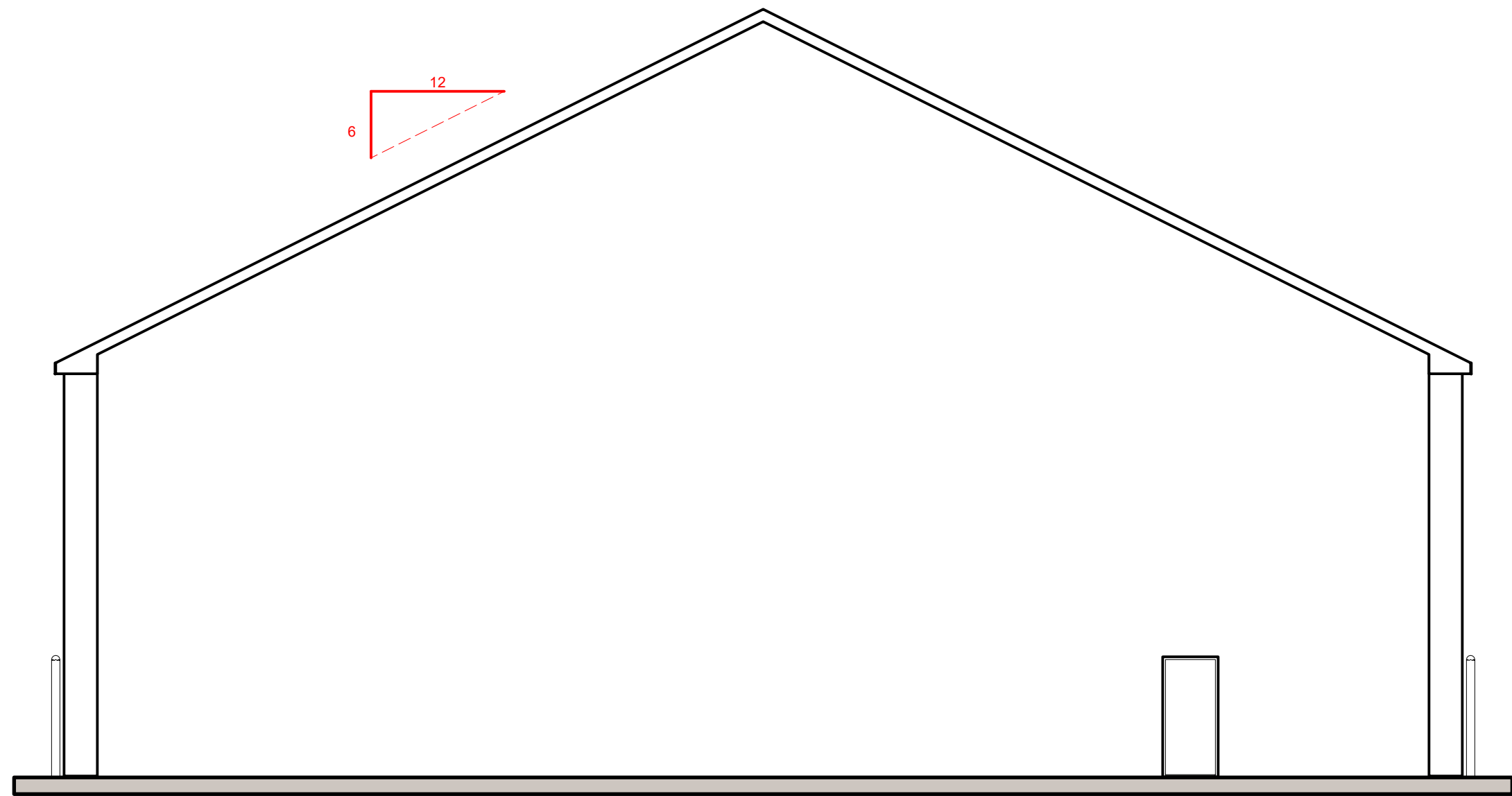
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### Submission Notes:

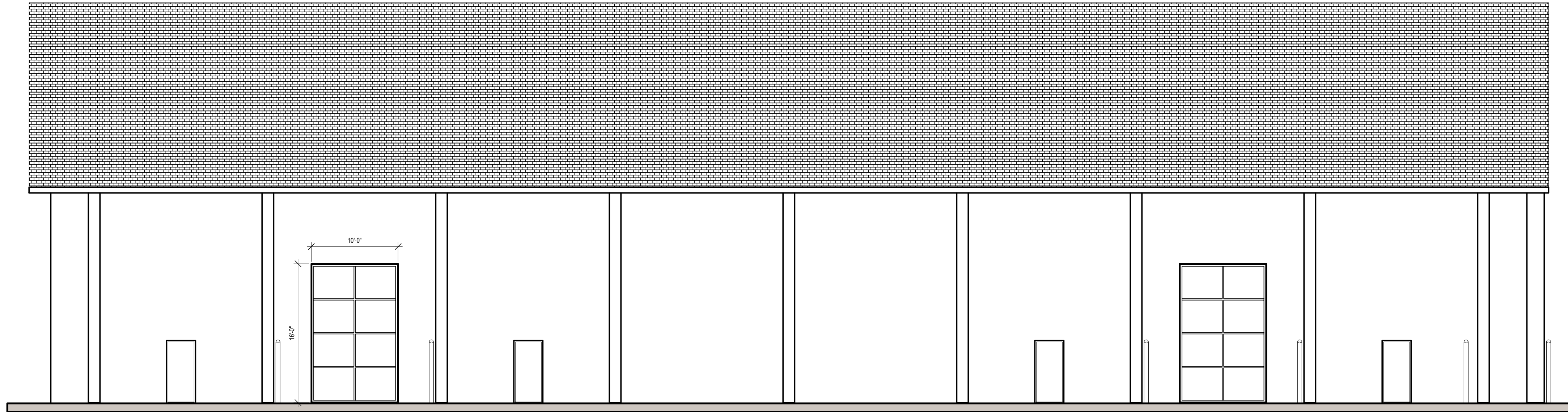
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Date:

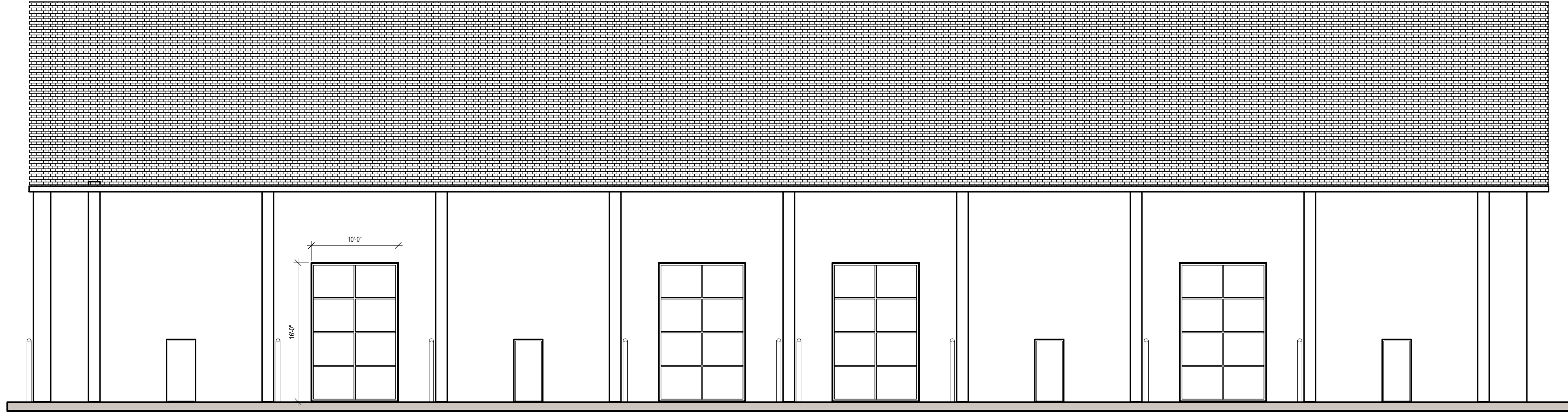
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| File:           | Titan_Boats_Warehouse_SDI.lwx |             |  |
| Project Date:   | 5/20/2023                     |             |  |
| Plot Date:      | Sep 14, 2023                  | 12:02:53 PM |  |
| Sheet Date:     | 9/14/2023                     |             |  |
| Sheet Scale:    | 1/8" = 1'-0"                  |             |  |



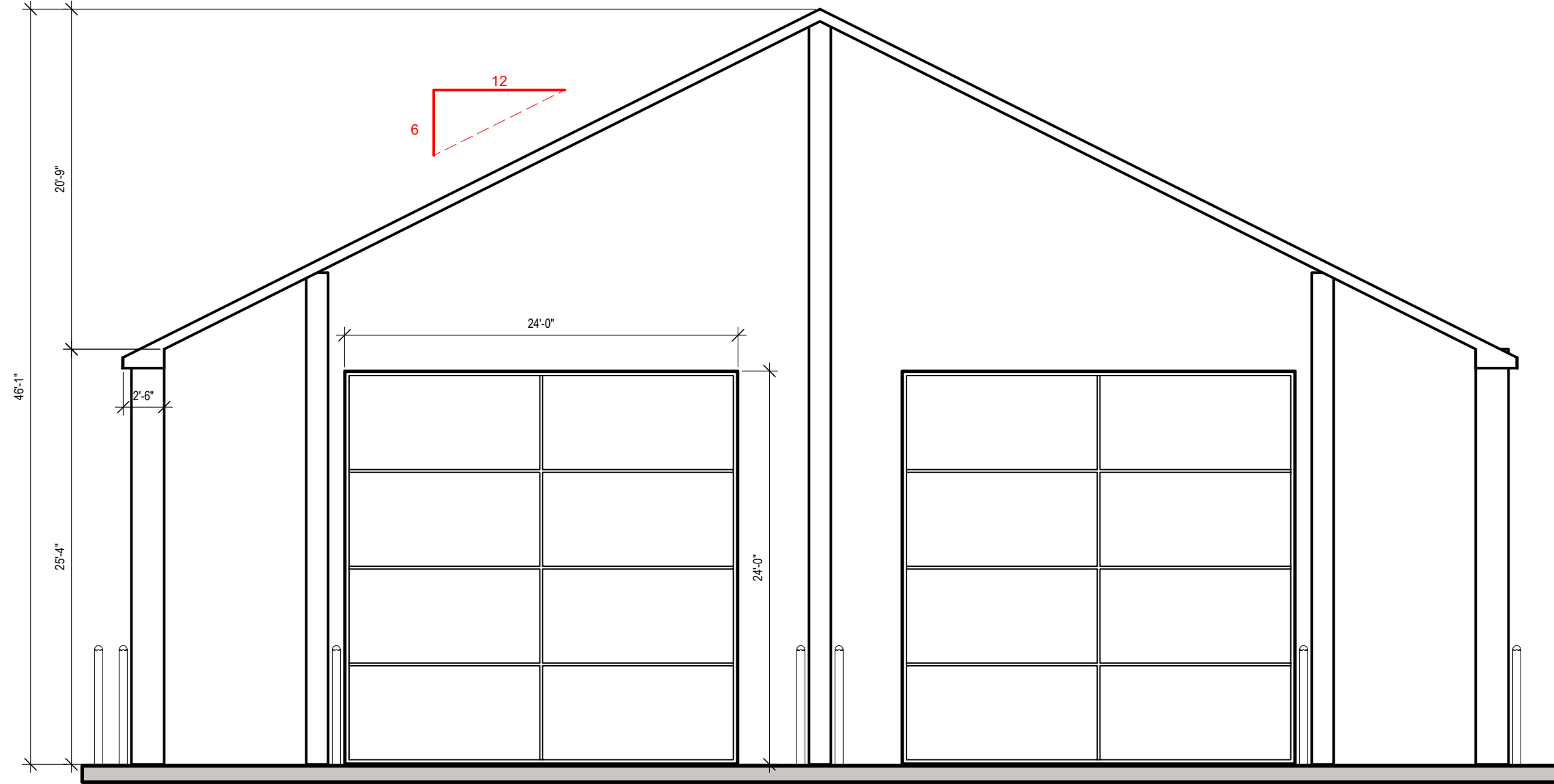
4 SOUTH SIDE ELEVATION  
A201 Scale: 1/8" = 1'-0"



3 WEST SIDE ELEVATION  
A201 Scale: 1/8" = 1'-0"



1 EAST ELEVATION  
A201 Scale: 1/8" = 1'-0"



2 NORTH SIDE ELEVATION  
A201 Scale: 1/8" = 1'-0"

PRELIMINARY - 9/14/2023

|                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                         |  |
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| VISTA<br>DESIGN, INC.<br><small>Engineers • Architects • Surveyors • Landscape Architects • Land Planning Consultants</small><br>11634 Westover Highway Shovel, Maryland 21862<br>Phone: (410) 532-5873 email: info@vistadesigninc.com                                               |  | Project Title:<br><b>TITAN BOATS MANUFACTURING<br/>BUILDING<br/>NEW CONSTRUCTION</b><br>Project Address:<br><b>13053 OLD STAGE ROAD<br/>BISHOPVILLE, MARYLAND 21813</b> |  |
| PROJECT DATA:<br>Project Number: 20-081<br>File: Titan_Boats_Warehouse_SDI.rvt<br>Project Date: 5/20/2023<br>Plot Date: Sep 14, 2023 12:02:54 PM<br>Sheet Date: 9/14/2023<br>Sheet Scale: 1/8" = 1'-0"                                                                               |  | FRONT & SIDE<br>ELEVATIONS                                                                                                                                              |  |
| #                                                                                                                                                                                                                                                                                    |  | Date: Submission Notes:                                                                                                                                                 |  |



PRELIMINARY - 9/14/2023

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LICENSE NO.: 13302  
EXPIRATION DATE: 11-30-2024

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Project Title: **TITAN BOATS MANUFACTURING  
BUILDING  
NEW CONSTRUCTION**

13053 OLD STAGE ROAD  
BISHOPVILLE, MARYLAND 21813

PERSPECTIVE  
ELEVATIONS

**PROJECT DATA:**

Project Number: 20-081  
 File: Titan\_Boats\_Warehouse\_SDI.vwx  
 Project Date: 5/20/2023  
 Plot Date: Sep 14, 2023 12:02:54 PM  
 Sheet Date: 9/14/2023  
 Sheet Scale: NONE

| # | Date: | Submission Notes: |
|---|-------|-------------------|
|---|-------|-------------------|

#

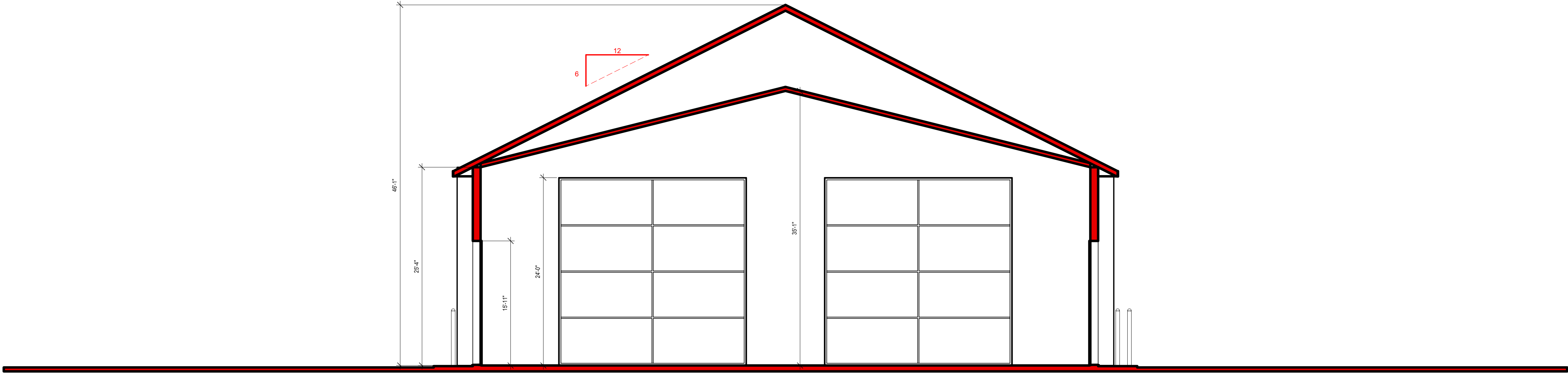
Date: \_\_\_\_\_

Short No.

A202



2  
A301 CROSS SECTION NORTH-SOUTH  
Scale: 1/8" = 1'-0"



1  
A301 CROSS SECTION WEST-EAST  
Scale: 1/8" = 1'-0"

PRELIMINARY - 9/14/2023

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EXPIRATION DATE: 11-30-2024

Sheet No.

A301

Project Title:

TITAN BOATS MANUFACTURING BUILDING NEW CONSTRUCTION

Project Address:

13053 OLD STAGE ROAD  
BISHOPVILLE, MARYLAND 21813

Project Data:

Project Number: 20-081  
File: Titan\_Boats\_Warehouse\_SDI.rvt  
Project Date: 5/20/2023  
Plot Date: Sep 14, 2023 12:02:59 PM  
Sheet Date: 9/14/2023  
Sheet Scale: 1/8" = 1'-0"

CROSS SECTIONS

Sheet Title:

TITAN BOATS MANUFACTURING BUILDING NEW CONSTRUCTION

Submission Notes:

# Date

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